



CITY OF CONCORD
New Hampshire's Main Street™
Community Development Department
Planning Division

Staff Report for Planning Board

Meeting on September 17, 2025

Project Summary – Major Site Plan and Architectural Design Review

Project: Urgent care clinic (2025-95)
Property Owner: Cafua Realty Trust CXXXIX, LLC
Applicant: Fulmer Lucas and Manchester Health Services, LLC
Property Address: 161 North State Street
Tax Map Lot: 583Z 30

Determination of Completeness:

When determining the completeness of a major site plan application, the Board shall consider the requirements of Sections 11.05 and 36.14(1) of the Site Plan Regulations, the written recommendation of the Planning Division, and any written communications from the applicant, abutters, and parties of interest; **however, no hearing shall be opened nor shall testimony be received on a determination of completeness.**

While the regulations require that the determination of completeness and the public hearing be held at separate meetings for a major site plan, the applicant has requested a waiver from Sections 6.03(2)(c) and 11.05 of the Site Plan Regulations to allow for the determination of completeness and public hearing in the same meeting. If the waiver from Sections 6.03(2)(c) and 11.05 is granted and it is determined that the application is complete, the Board shall then open the public hearing on the application.

Staff reviewed the application for completeness based upon the criteria of the Site Plan Regulations, and concluded that all criteria for completeness have been met, or will be met with granting of waiver requests, and that the application contains sufficient information and detail for a full review and action by the Board.

Based upon staff's review of the application, it is recommended that the Board move to:

- **Grant the waiver from Sections 6.03(2)(c) and 11.05 of the Site Plan Regulations based on the evidence provided showing that the criteria of RSA 674:44(III)(e) and Section 36.08 of the Site Plan Regulations are met;**
- **Determine the application complete;**
- **State that the project does not meet the criteria for a development of regional impact per RSA 36:55; and**
- **Open the public hearing.**

The Board has 65 days within which to consider and act on the application once the application is determined complete, per RSA 676:4(I)(c). Provided the Board determines the application complete, the 65-day period shall commence on September 17, 2025, and end on **November 21, 2025**. If the applicant has not demonstrated compliance with the Site Plan Regulations by the end of the statutory timeline (**November 21, 2025**), the applicant may waive the requirement for Planning Board action within the 65-day time period and consent to an extension of the public hearing as may be mutually agreeable, or the Board may approve, approve conditionally, or deny the application based on the information provided at that time.

Project Description:

The applicant is seeking major site plan and architectural design review approvals for the construction of an 11,150-square-foot urgent care clinic, at the southwest corner of the Penacook Street/North State Street intersection. The site is currently developed with an abandoned building that served as a bank. The existing building will be demolished, and the existing parking lot and associated parking lot landscaping will be removed as part of the project. The site has an existing access from Penacook Street, as well as one from North State Street, both of which will remain. The site is served by municipal water and sewer services.

The site is in the Urban Commercial (CU) District, with the southerly rectangular strip of the site being in the Neighborhood Residential (RN) District. The properties to the south and east of the site are in the same RN District with existing residential development. The properties north of the site are in the Urban Commercial (CU) District and Urban Transitional (UT) District, and the properties east of the site are in the Institutional (IS) District.

Compliance:

The following analysis of compliance with the Zoning Ordinance and Site Plan Regulations is based on a 19-sheet civil plan set, dated August 20, 2025, prepared by Fulmer Lucas Engineering, LLC; waiver requests; a drainage report, dated July 10, 2025, prepared by Fulmer Lucas Engineering, LLC; a 2-sheet landscape plan, dated July 16, 2025, revised August 20, 2025, prepared by Heibert + Ball Land Design; and a 7-sheet architectural elevation set, dated July 16, 2025, prepared by Hereford Dooley Architects.

1. Project Details and Zoning Ordinance Compliance:

Zoning District:	Urban Commercial (CU) District Neighborhood Residential (RN) District
Existing Use:	Abandoned building formerly occupied by a bank
Proposed Use:	Urgent care clinic
Overlay Districts:	
Flood Hazard (FH) District	No
Shoreland Protection (SP) District	No
Historic (HI) District	No
Penacook Lake Watershed (WS) District	No
Aquifer Protection (AP) District	No
Wetland:	No
Wetland Buffer:	No

Zoning Code Item	Required	Proposed
Minimum Total Area	12,500 square feet	1.78 acres
Minimum Buildable Land	6,250 square feet	1.78 acres
Minimum Lot Frontage	100 feet	Penacook St = 220.03 feet

		N. State St = 263.5 feet
Minimum Front Yard	15 feet	Over 15 feet
Minimum Rear Yard	15 feet	Over 15 feet
Minimum Side Yard	15 feet	Over 15 feet
Maximum Lot Coverage	80%	62%
Maximum Building Height	45 feet	30 feet
Parking Spaces	1 space per 225 square feet 11,150 divided by 225 = 49.5 Total Required = 50	 50 spaces
Accessible Spaces	26 to 50 total spaces in parking area = 2 required accessible spaces, one of which must be van accessible	Of the 50 spaces, 4 will be accessible with 1 being van accessible

- 1.1 Per Section 29.2-1-2(a)(1) of the Zoning Ordinance, any person or entity which seeks to undertake new development within the City, shall pay impact fees in the manner and in the amounts set forth in the ordinance. An applicant for the development of permitted nonresidential uses shall qualify for a waiver of the transportation facilities impact fees, but the waiver request must be received prior to the Clerk's calculation of the impact fees. The official waiver request was received on August 5, 2025, and this issue is considered resolved.
- 1.2 The proposed use of an emergency urgent care clinic is allowed in the CU District as per Section 28-2-4 *Allowable Principal and Accessory Uses in Zoning Districts*. The site is not in any of the overlay districts listed in Article 28-3 *Overlay Districts*. All requirements of Section 28-4-1 *Dimensional Standards* are being met as noted in the table above. Section 28-4-2 *Buffer Requirements for Residential District Boundaries* has buffer requirements for nonresidential uses in nonresidential districts abutting residential districts. The required 15-foot-wide buffer is shown on the site plan and the landscaping plan, and compliance is addressed further in the staff report under Item 3. An analysis of compliance with Article 28-7 *Access, Circulation, Parking and Loading* is also provided under Item 3 of the staff report.
- 2. General Comments:**
 - 2.1 Per Section 6.01(4), staff was unaware of any nonconformities with the Zoning Ordinance at the time the abutter notifications were mailed.
 - 2.2 Per Section 6.01(5), a completed conditional use permit application if required shall be made at the same time as the site plan application. No conditional use permits are required for this project.
 - 2.3 Per Section 12.01 *Research*, applicants are responsible for familiarizing themselves with all city, state, and federal regulations relative to zoning, site plan design and approval, land sales, utilities,

drainage, health, buildings, roads, and other pertinent data so that the applicants are aware of the obligations, standards expected, and documents to be submitted.

- 2.4 Per Section 25.01 *Nonmunicipal Utilities General Requirements*, the applicant is responsible for all coordination with the utility companies to ensure that utilities are installed in accordance with the Board-approved plans. Staff recommends that the applicant coordinate with all nonmunicipal utilities providing services to the site to ensure the existing services are adequate. Any changes to the utilities after the Board's conditional approval will require either administrative approval or an amendment to the conditional approval depending upon the modifications proposed.
- 2.5 The Assessing Department, Engineering Services Division, and Fire Department reviewed the application and had no general comments.
- 2.6 The General Services Department reviewed the application and commented that Utility Billing will provide the 2-inch water meter and would prefer to see the meter inside the main building along with the backflow preventer.
- 2.7 Langley Parkway:

- 2.7.1 **Overview of Subject Property and Required Property Rights:** This property parcel has 220.03' of frontage on Penacook Street, and 263.5' of frontage on North State Street, respectively. Additionally, this property is located at the intersection of Penacook Street and North State Street.

In accordance with the City's 2030 Master Plan (2008), and as conceptually designed in the City's 2015 Transportation Feasibility Study for Langley Parkway Phase 3, significant future improvements have been planned for Penacook and North State Street, as well as this intersection, as part of the Langley Parkway Project (Capital Improvement Program Project #40). Said improvements will require the City to secure additional rights-of-way at this property. Specifically, using the 2015 Feasibility Study Plan, the City's Engineering Division has prepared the graphic below denoting that a dedication of 16' along frontage of Penacook Street (with additional at the intersection of Penacook and North State Street) would be required.



Please see the attached plan which depicts the 16-foot right-of-way dedication line in red and the 15-foot setback line, from what would be the new property line after the dedication, in green. This property is required to ensure appropriate configuration of the signalized intersection.

- 2.7.2 **History and Purpose of Langley Parkway; City Master Plans:** As the Planning Board knows, Langley Parkway (formerly known as the Northwest Bypass) was conceived in 1956. Langley Parkway has been included in every City Master Plan, or major transportation plan, for the City since.

The purpose of the roadway is to eliminate cut through traffic in the City's downtown and surrounding residential neighborhoods which is accessing the medical corridor, State Office Park campus, and surrounding areas.

As documented in the 2015 Feasibility Study, without the roadway, cut through traffic will continue to intensify and the level of service of various intersections / roadways will deteriorate to Level F (the worst standards for level of service). Additionally, extensive improvements to Pleasant Street and other neighborhood roadways will likely be required which will likely have adverse impacts on such locations.

In 1995, Phase 1 of Langley Parkway (Pleasant Street to northerly end of Concord Hospital Campus) was completed.

In 2008, Phase 2 of Langley Parkway (Clinton Street to Pleasant Street) was completed.

In 2008, the City adopted the 2030 Master Plan (as noted above). Part 4 of Section G of the Transportation Chapter of the 2030 Master Plan's Transportation Chapter ("Improvements to the City's Roadway System") stated the following with respect to recommended corridor improvements to in the City:

"a. Langley Parkway – From a more local perspective, the most important and needed upgrade of the City's roadway system is the construction of the north end of the Langley Parkway. Providing motorists the ability to travel to the City's growing medical area at the wester end of Pleasant Street by way of this new 2-lane roadway would substantially reduce the traffic volumes and congestion along roadways such as Centre Street and Pleasant Street as well as numerous neighborhood streets and streets in the downtown area." (Page VI-15 of 2030 Master Plan)

As such, the Transportation Policies and Recommendations included in Section K of Transportation Chapter of the 2030 Master Plan called for the following "long-term" highway improvements" as set forth in Table VI-3 therein (see page VI-35 of the 2030 Master Plan):

*"Langley Parkway: Construction of a 2-lane controlled access street from Pleasant St to North State St, including upgrade of Penacook St from Rumford to N State
Intersection improvements at Auburn, Penacook, and Rumford Streets"*

As also noted above, in 2015, the City completed Transportation Feasibility Study for Langley Parkway Phase 3. The study included detailed preliminary design layout for the roadway from the Concord Hospital campus to North State Street, including improvements to the Penacook and North State Street intersection, as detailed in the graphic above.

Since its conception in 1956, has assembled and secured nearly all of the property rights required to construct Langley Parkway in its entirety. However, the City still must acquire the necessary rights from this property to facilitate proposed improvements to the Penacook and North State Street intersection.

On June, 9, 2022, the City Council, as part of the FY2023 budget process, removed Phase 3 of Langley Parkway from the FY2023 Capital Improvement Program (CIP). The City Council also directed City Administration to take steps to negotiate the release of rights associated with Langley Parkway Phase 3-B (which is located over the Lincoln Financial property) and return to the City Council when / if any such agreements related thereto are negotiated. Staff notes that the City Council took this action as it desired to support development of a 23+/- acre portion of the former Lincoln Financial property encumbered by deed restrictions associated with Langley Parkway rights-of-way. However, on December 9, 2024 the City Council approved Resolution #9705, which authorized the City Manager to accept said 23-acre parcel as a donation with the condition that in the event any portion of the parcel is divested of in the future, those portions of the property will be used for a taxable real estate development. The City's pending ownership of this parcel, as authorized by Resolution #9705, gives the City unilateral control to facilitate future development of said property while balancing transportation needs related to Langley Parkway, and supersedes the City Council's 2022 directive. However, staff further notes that, if for any reason the City's rights over the former Lincoln Financial property were to be released, the result of any such action would require extensive improvements to Penacook Street (North State to Auburn Street). Regardless of whether Langley is constructed over portions of the former Lincoln Financial property, or via extensive upgrades to Penacook Street (North State to Auburn Street), proposed intersection improvements at North State and Penacook Street, as shown in the City's 2015 Feasibility Study, would be required. Additionally, recognizing that the Capital Improvement Program is reviewed annually by the City Council, Langley Parkway Phase 3 (or success project) could be restored to the CIP in the future by City Administration or the City Council.

- 2.7.3 **Site Plan Review Regulations:** Staff notes that 32.04 of the Site Plan Review Regulations states the following:

"Section 32.04 Future Streets. Where the Master Plan, Official Map, or the adopted Capital Improvements Plan indicate plans for realignment or widening a road that would require use of some of the land within the site plan, the Board may require the applicant to dedicate such areas for widening or realignment of such roads."

As noted above, Langley Parkway is included in the City's 2030 Master Plan, and has been consistently included in all City Master Plans since the 1960s. Additionally, staff notes the 2015 Feasibility Study which was prepared for Phase 3 of the Parkway, which specifically noted the need to acquire rights as this property for future widening of Penacook Street and intersection improvements at Penacook and North State Streets. Recognizing these plans, criteria set forth in 32.04 above are satisfied. Therefore it would be appropriate for the Planning Board to require dedication of rights-of-way at this property as a condition of approval for this application for the described future highway improvements as shown on the 2015 Langley Parkway Phase 3 Feasibility Study.

- 2.7.4 **Staff Recommendation:** Recognizing that Langley Parkway is included in the 2030 Master Plan, the recommendations for substantial highway and intersection improvements along those portions Penacook Street and North State Street as set forth

within the City's 2015 Transportation Feasibility Study for Langley Parkway Phase 3, and the ability to acquire rights-of-way from the applicant for these purposes per 32.04 of the Subdivision Regulations, staff recommends that the Planning Board proceed with one of the options below regarding rights-of-way dedications for future Langley Parkway Improvements:

- Option #1: Condition approval of this application upon the Applicant entering into an "Agreement to Convey Right-of-Way Easement" with the City for the purposes of future improvements to Penacook Street, the Penacook Street / North State Street intersection, and North State Street, as conceptually designed within the City's 2015 Transportation Feasibility Study for Langley Parkway Phase 3, or other highway improvements by the City in the future.

Staff notes that the City has used this option for similar projects and highway improvements, including Storrs Street South in conjunction with development projects in the South End Rail Yard and Langdon Avenue. An example agreement is attached.

As part of this option, the area of future easement would be depicted on the plan with appropriate notation, and said Agreement executed with the City. The Agreement would allow the City to acquire the necessary rights in the future for the sum of \$1. Any such agreement for this application would be subject to review and approval by the City Solicitor. The Agreement and plat would be recorded at the Merrimack Registry of Deeds.

This approach is preferred as it will allow the applicant to proceed with its project without any redesign. Additionally, no future loss of parking or buildings will be necessitated as the applicant's improvements are located outside of the 16' area.

Upon formal taking of the easement, any zoning issues arising therewith will be treated as nonconformities under the City's ordinance.

- Option #2 (Not Recommended): Require the applicant to dedicate the required easement now. However, staff anticipates that this would present a variety of issues related to dimensional requirements for the applicant's project, thus requiring significant redesign. As such, staff does not recommend this alternative option.

- 2.8 Bus Stop: Staff notes that an existing bus stop for Concord Area Transit (CAT) is located along the North State Street frontage of the parcel. Presently, there is a small 3' X 10' (30 Square Feet) jog in the right-of-way, presumably to accommodate a pedestrian shelter for patrons of the CAT system. The City's standard design for bus shelter enclosure requires a 6' X 12' pad in order to accommodate a 4' X 10' enclosure. As such, staff recommends that the applicant provide an easement to expand the size of the 3' X 10' right-of-way area to 5' X 12'. Receipt of said easement is required as a precedent condition herein.

3.Site Plan Regulations Determination of Completeness:

The items below are missing from the submittal and **the Site Plan Regulations REQUIRE the items for the application to be deemed complete (unless a waiver from the requirement is otherwise approved).**

- 3.1 With approval of the waivers listed in Item 5.1(a)-(f), the application provides all the information required to deem the application complete.

Site Plan Regulations Compliance:

The application was found to be compliant with all other sections of the Site Plan Regulations, except as listed below, noting that the items below are missing as required for full compliance but are **not required to deem the application complete.**

- 3.2 Section 18 *Parking Lot Design Standards* requires certain information be shown, as well as requiring that parking lots shall be constructed as set forth in both Article 28-7 of the Zoning Ordinance and the Construction Standards and Details. All required information is present except as follows:

- 18.11 *Perimeter Buffers.* Sheet L1.0 states that the buffer option is option number 1 and mostly depicts how option number 1 is being met along the westerly boundary and the westerly portion of the southerly boundary buffer. However, there is a requirement for 100 evergreen shrubs in this 6,695-square-foot buffer area. While the plant schedule lists 40 yew and 64 arborvitae, the shrubs actually depicted as being planted in this 6,695-square-foot buffer area are 22 yew and 45 arborvitae. Additional yew and arborvitae need to be added to the plantings in the 6,695-square-foot buffer to total at least 100 evergreen shrubs on sheet L1.0, and the plant schedule on sheet L1.1 for the buffer shrubs needs to be updated to match what is shown as being planted on sheet L1.0.

Also, the labeling on sheet L1.0 for the plantings around the generator enclosure lists 14 NW, 18 CA2, and 15 TH, while the actual plantings shown count as 18 NW, 23 CA2, and 19 TH. Accordingly, the 14 NW label needs to be changed to 18 NW, the 18 CA2 label needs to be changed to 23 CA2, and the 15 TH label needs to be changed to 19 TH. Finally, all shrubs planted in the buffer area must be at least four feet in height at the time of planting. Revise the plant schedule for the buffer shrubs to add “four feet” in the size column. Revise the size of the gallon containers listed to ensure that the buffer shrubs will be four feet in height at the time of planting and will grow to at least six feet tall and four feet wide within five years of planting.

For the 2,158-square-foot perimeter buffer along the easterly portion of the southerly boundary, no vegetation is depicted on sheet L1.1 and there is only a note stating that the buffer requirement is met with existing tree canopy and understory vegetation. No information is provided regarding the number, type, height, and location of the existing trees and shrubs. When the buffer contains existing vegetation, where the existing vegetation fails to meet the standards, new landscape material needs to supplement the existing vegetation in order to comply with the number, size, and distribution requirements. Where the number of existing trees of qualified size exceeds the minimum number required, then the number of required shrubs shall be reduced by a factor of two shrubs for each additional qualified tree. Without knowing the size, placement, and type (deciduous or evergreen) of existing trees, and the placement and type (deciduous and evergreen) of existing shrubs, it is not possible to determine if/where additional plant material is required. Accordingly, the location, height, and type of existing trees and shrubs in the easterly portion of the southerly 2,158-square-foot perimeter buffer shall be shown and labeled on sheet L1.0, along with proposed plantings if the existing vegetation

does not meet the buffer option requirements, and respective updates to the plant schedule on sheet L1.1, for compliance with Section 28-4-2 of the Zoning Ordinance as required by this section. Note that with 2,158 square feet of buffer area, there needs to be at least five trees (no more than 60% can be deciduous and no less than 40% can be evergreen), and at least 54 shrubs (no more than 40% can be deciduous and no less than 60% can be evergreen). Further, the applicant is advised that existing trees must be at least 30 feet tall, and existing shrubs must be at least six feet tall and four feet wide to create a dense visual screen in order to meet the ordinance requirements.

- 18.12 *Perimeter Landscaping.* Sheet L1.0 does not include the required perimeter landscaping information showing compliance with Section 28-7-10(a) *Parking Lot Perimeter Landscaping* of the Zoning Ordinance as required by this section. The parking lot perimeter landscaping shall include at least one of the following features: a hedge or other dense planting at least four feet in height consisting of at least 50% evergreen shrubbery; an earth berm or change in grade of not less than four feet vertical measure above the elevation of the parking area surface; a solid wall at least four feet in height; or any combination of the three options which will achieve four (4) feet in height. A note needs to be added to sheet L1.1 stating how the perimeter landscaping is achieving compliance with this requirement, and the plan view needs to illustrate the selection option.
- 18.13 *Interior Parking Lot Landscaping.* Sheet L1.0 does not provide enough information to determine compliance with this section that requires at least 5% of the interior parking area to contain landscaping. All such landscaped areas shall be computed as an addition to the gross parking lot area required for parking spaces, aisles, and circulation. The landscaped open space shall have no horizontal dimension of less than nine feet and shall be located so that no parking space is more than 120 feet from a portion of such landscaped areas. Internal parking lot islands shall be considered as part of the overall parking lot area, while perimeter landscaping and sidewalks shall not be included in the area used to determine the amount of interior parking lot area required. Internal parking lot landscape islands shall be a minimum of nine feet in width.
- 18.17 *Tree Plantings.* Sheet L1.0 does not include the required calculations of one tree being planted for each 1,000 square feet of proposed parking area including spaces, internal landscape islands, access aisles, driveways, fire lanes, and other vehicular circulation areas, nor does it depict the required tree plantings in the parking area to meet the requirement. A waiver is requested to reduce this number to one tree being planted for each 2,000 square feet of parking area including spaces, internal landscape islands, access aisle, driveway, fire lanes, and other vehicular circulation areas. Trees required shall be planted within the internal parking lot islands or around the perimeter of the parking area within 20 feet of the parking lot. Existing trees preserved on the site may count on a one for one basis when located within 20 feet of the parking lot, access aisle, or driveway.
- 3.3 Section 21.05 *Design Standards* requires that all sidewalks, both on the site and off the site, shall be constructed in conformity with the City's Construction Standards and Details, including minimum width of five feet exclusive of curbing, a maximum transverse slope of 2%, sloping towards the street, driveway, or parking area, with all measurements taken from the top of the granite curbing, and an accessible route from the building entrance to a public sidewalk. Add a note to sheet C1.0 and sheet C2.0 stating that all new sidewalks shall comply with the

Construction Standards and Details, including specifically noting that all new sidewalks shall comply with Section 3.02.D and Section 3.03.M, N, and O, of the Construction Standards and Details, shall be a minimum of five feet in width, exclusive of curbing, and shall have a maximum transverse slope of 2%, sloping towards the street, driveway, or parking area. Add a note stating that an accessible route shall be provided from the building entrance to a public sidewalk that meets federal standards for an accessible route to the public way. Revise note 6 on sheet C1.0 to state that all sidewalks shall be at least five feet wide exclusive of curbing.

- 3.4 To ensure compliance with Section 25 *Nonmunicipal Utilities*, a note shall be added to sheet C3.0 stating the following: *"The applicant is responsible for all coordination with the utility companies to ensure that nonmunicipal utilities are installed in accordance with the plans approved the Planning Board pursuant to the Site Plan Regulations. All utility facilities shall be located underground through the proposed development with existing utility facilities located above ground being removed and placed underground except where existing on public streets and rights-of-way. All service connections shall be constructed to the standards contained in the Construction Standards and Details and established by the private utility company."*
- 3.5 Section 26.01 *Residential District Boundaries* requires providing buffer areas as set forth in Section 28-4-2 of the Zoning Ordinance. The easterly portion of the southerly boundary buffer shown on sheet L1.0 does not show, illustrate, or label how the required buffer option is being met.
- 3.6 Section 26.02 *Mechanical Equipment* requires that all rooftop and ground-mounted mechanical equipment is provided with full screening from abutting properties and public rights-of-way. Proposed rooftop mechanical equipment is shown as being screened by the building itself with walls and parapets. An enclosure is proposed for the generator. To ensure continued compliance with this requirement, a note shall be placed on the site plan stating that all rooftop and ground-mounted mechanical equipment shall be fully screened from view from abutting properties and public rights-of-way.
- 3.7 It is unclear from sheets L1.0 and L1.1 if full compliance with Section 27 *Landscaping* is being achieved. The sheets shall be revised to ensure and show compliance with the following:

General	Delete note 5 of plan notes on sheet L1.1. It is inaccurate and conflicts with plan note 7.
---------	---

27.05	<i>Preservation of Existing Trees.</i> Requires that the methods for the preservation of existing trees shall be noted on the landscape plan. Protective barriers such as silt fencing or construction fencing shall be installed around each plant and/or group of plants that are to remain. Sheet L1.0 notes that existing vegetation along the easterly portion of the southerly boundary is to remain, but the required protective barrier is not shown and labeled as required by this section. The plan set shall be revised accordingly.
-------	--

27.06(3)	<i>Placement of Landscape Material.</i> Requires that plant material shall be located to avoid interference with vehicular sight distance at intersections and driveways, and shall not project over sidewalks below a height of eight feet, and shall have a structure and growth form which prevents them from obstructing sidewalks and walkways. On sheet L1.0, show and label the sight distance triangles on both
----------	---

sides of both driveways, and the intersection, and ensure no plantings are taking place that interfere with required sight vision areas. Also ensure that the plant and tree species proposed for planting along sidewalks comply with this section, and add a plan note stating that no plant material shall project over sidewalks below a height of eight feet. The plan set shall be revised accordingly.

- 27.06(5) *Underground Utilities.* Prohibits planting of trees within 10 feet of existing or proposed underground utility lines. Revise note 6 of plan notes on sheet L1.1 to state: “No trees shall be planted within 10 feet of existing or proposed underground utility lines.”
- 27.07(1) *Tree Plantings.* Deciduous trees, other than buffer deciduous trees, must have a caliper no less than 2 ½ inches at the time of planting. The kwanzan cherry is listed with a planting size of 2 inches and needs to be revised to 2 ½ inches and remove the height of 8 feet. The heights of 12 feet for the maple and honey locust also need to be removed. The plant schedule for all deciduous buffer trees needs to list a planting height of 12 feet, and the caliper size needs to be removed for the deciduous buffer trees. The plan set shall be revised accordingly.
- 27.07(2) *Landscape Bumpouts and Islands.* Requires all landscape bumpouts and islands within parking lots to contain at least one deciduous shade tree and shall be protected with curbing. Review the landscape plan to ensure that all landscape bumpouts and islands within the parking lot have at least one deciduous shade tree and are protected with curbing as sheet L1.0 currently shows an island on the west boundary that does not contain a deciduous shade tree, nor does it meet the required dimension of nine feet in width. The plan set shall be revised accordingly.
- 27.07(4) *Biodiversity.* Requires that no more than 25% of the trees to be planted shall be of the same species. When adding any tree plantings that may be necessary to meet buffer and parking lot landscaping requirements, ensure that there are no more than 25% of the same species. The plan set shall be revised accordingly.
- 27.07(5) *Plant Material Standards.* Prohibits invasive species as listed by the State of New Hampshire and encourages native species. Review the landscaping planting plan to ensure no invasive species are being planted, and substitute as many tree, shrub, ground cover, and grass plantings as possible with native northern New England plant species, and revise the plan set accordingly.
- 3.8 Section 29 *Lighting* provides requirements for lighting in parking areas, building and façade lighting, and canopy lighting. All requirements are being met except the following:
- 29.03 *Parking Lot Lighting.* Requires showing and stating the color of the light poles, as well as providing the light pole detail from the Construction Standards and Details. None of this information is provided.
- 29.05 *Canopy Lighting.* Requires a maximum illumination of 20 foot-candles under canopies, and subject to a 4:1 uniformity ratio between average and minimum

illumination. Both canopies have illumination of more than the 20 foot-candles maximum, and the required uniformity ratio is not being met.

- 29.07 *Nuisance and Glare.* Requires no light trespass beyond property boundaries greater than 0.2 foot-candles anywhere above the horizontal plane. Portions of the lighting plan show foot-candles greater than 0.2 beyond property boundaries, and the table on the lighting plan states a 0.3-foot-candles at the property lines.
- 3.9 Section 32.07 *Project Scoping Session* requires a scoping session prior to the start of the traffic study or submittal of a site plan application. A scoping session did not take place, but the traffic study was completed and submitted with the major site plan application. Comments are contained in the attached letter to AnneMarie Skinner from VHB, dated September 3, 2025.
- 3.10 The Assessing Department and Fire Department had no compliance requirements.
- 3.11 The Engineering Services Division's compliance requirements are noted in the attached memos to AnneMarie Skinner from Paul Gildersleeve and Pete Kohalmi, dated September 2, 2025, and August 1, 2025.
- 3.12 The General Services Department reviewed the application and noted that the proposed six-inch sanitary sewer connection requires a clean-out at the right-of-way, as well as videoing the existing sewer lateral to confirm the pipe is in good condition prior to connection.
- 4 Variances:**
- 4.1 At the meeting held on July 2, 2025, the Zoning Board of Adjustment granted the applicant's requested variance as follows:
- Section 28-7-7(g)(3) *Parking*, to allow a portion of off-street parking to be located in front of the building where off-street parking is not otherwise allowed.

5 Waivers:

- 5.1 The applicant requests waivers from the following sections of the Site Plan Regulations:
- a. Section 15.03(16)
 - b. Section 15.03(19)
 - c. Section 15.03(22)
 - d. Section 15.03(23)
 - e. Section 15.04(6)
 - f. Section 15.04(21)
 - g. Section 16.02(14)(b)
 - h. Section 16.03(9)
 - i. Section 16.03(11)
 - j. Section 18.17

The applicant provided an analysis of the five waiver criteria listed in Section 36.08 of the Site Plan Regulations and criteria in RSA 674:44(III)(e). Engineering Services Division does not support approving Item 5.1g, noting that utility profiles are important for a thorough review of the

utility design and more importantly, aiding the contractor during construction. Planning Division notes that not all the criteria have been satisfied for the granting of Item 5.1g.

6 Conditional Use Permits:

- 6.1 Conditional use permits are not required for this application.

7 Architectural Design Review:

- 7.1 The applicant appeared before the Architectural Design Review Committee on September 2, 2025. The application was reviewed for conformity with the Architectural Design Guidelines; harmony and compatibility with existing architectural character of the site, district, or location; integration into site design of significant natural features on site and abutting properties; and the integration of landscaping, parking, and site features into the overall design of the project.

The Architectural Design Review Committee recommended that the Planning Board grant architectural design review approval for the application to construct a new 11,150-square-foot urgent care center at 161 N. State St, as submitted, and with the following recommended conditions: additional landscape trees shall be placed along Penacook Street and the northeast corner of the site, and planting of a more prominent tree, such as a maple, at the northeast corner of the site.

The Committee discussed, but failed to include in the motion reference to the additional plantings not being possible due to other constraints such as utilities. Staff recommends that the Planning Board approve with the Architectural Design Review Committee's recommended condition but with the additional language "unless the additional plantings are not possible due to other constraints such as sight vision areas or utilities."

8. Conservation Commission:

- 8.1 Appearances before the Conservation Commission are not required for this application.

9. Recommendations:

- 9.1 Staff recommends that the Planning Board **adopt the findings of fact**, which include: information provided in staff reports; the applicant's submission materials; testimony provided during the public hearing; and other documents or materials provided in the public hearing.

Based on the adopted findings of fact, staff recommends that the Planning Board make the motions outlined below:

- 9.2 **Grant the waiver requests below** from the listed sections of the Site Plan Regulations, based on evidence provided showing that the criteria of RSA 674:44(III)(e) and Section 36.08 of the Site Plan Regulations are met:
- a. Section 15.03(16) *Existing Conditions Plan Signs*, to not show the size of existing ground signs on the existing conditions plan;
 - b. Section 15.03(19) *Existing Conditions Plan Setbacks and Buffers*, to not show the setbacks and buffer yards on the existing conditions plan;
 - c. Section 15.03(22) *Existing Conditions Plan Abutting Properties*, to not show the property addresses of abutting properties on the existing conditions plan;
 - d. Section 15.03(23)(d), (e), and (f) *Existing Conditions Plan Tabulations*, to not show the tabulations required by these subsections on the existing conditions plan;

- e. Section 15.04(6) *Proposed Site Plan Topography*, to not show the topography on the site plan;
 - f. Section 15.04(21) *Proposed Site Plan Signs*, to not show the location and size of existing and proposed ground signs on the site plan;
 - g. Section 16.02(14) *Site Plan Requirements Utility Plan*, to not provide all information listed as required in this section and only provide the information presented on the utility plan submitted for the public hearing on September 17, 2025;
 - h. Section 16.03(9) *Colored Rendering*, to not provide a colored rendering of proposed landscaping at the time of planting and five years after planting;
 - i. Section 16.03(11) *Signs*, to not provide the location, size, and placement of affixed and freestanding signage as part of the site plan application; and
 - j. Section 18.17 *Tree Plantings*, to allow one tree being planted for each 2,000 square feet of proposed parking area.
- 9.3 **Deny the waiver request below** from the listed section of the Site Plan Regulations because evidence was not provided showing that the criteria of RSA 674:44(III)(e) and Section 36.08 of the Site Plan Regulations were met. Specifically, the granting of the waiver would be detrimental to the public safety since without profiles, design and installation of public sewer and water may be negatively impacted; no evidence was presented that the request is based on circumstances unique to the property that are not applicable to other property; and no evidence was presented of a particular and unnecessary hardship specific to the particular physical surroundings, shape, or topographical conditions of the specific property.
- a. Section 16.02(14)(b) *Site Plan Requirements Utility Plan*, to not provide profiles of all municipal utilities.
- 9.4 **Grant architectural design review approval** for the construction of an 11,150-square-foot urgent care clinic at 161 N. State St, as submitted, and with the following condition:
- a. Additional landscape trees shall be placed along Penacook Street and the northeast corner of the site, with a more prominent tree, such as a maple, being planted at the northeast corner of site, unless the additional plantings are not possible due to constraints from sight vision areas or utilities.
- 9.5 **Grant major site plan approval** for the construction of an 11,150-square-foot urgent care clinic at 161 N. State St, as submitted, and subject to the following:
- a. Precedent Conditions – Per Section 7.08(9) *Expiration of Approval*, approved site plans shall meet all precedent conditions and obtain the signature of the Chair and Clerk of the Planning Board within one year of the date of the Planning Board meeting where conditional final approval was granted; otherwise said plans shall be null and void.
 - 1. Unless a specific variance, waiver, or conditional use permit is granted stating otherwise, revise the plan sheet/set to fully comply with the Site Plan Regulations, Zoning Ordinance, and Construction Standards and Details, including but not limited to the following:
 - a. Sheet L1.0 states that the buffer option is option number 1 and mostly depicts how option number 1 is being met along the westerly boundary and the westerly portion of the southerly boundary buffer. However, there is a requirement for 100 evergreen shrubs in this 6,695-square-foot buffer area.

While the plant schedule lists 40 yew and 64 arborvitae, the shrubs actually depicted as being planted in this 6,695-square-foot buffer area are 22 yew and 45 arborvitae. Additional yew and arborvitae need to be added to the plantings in the 6,695-square-foot buffer to total at least 100 evergreen shrubs on sheet L1.0, and the plant schedule on sheet L1.1 for the buffer shrubs needs to be updated to match what is shown as being planted on sheet L1.0. Also, the labeling on sheet L1.0 for the plantings around the generator enclosure lists 14 NW, 18 CA2, and 15 TH, while the actual plantings shown count as 18 NW, 23 CA2, and 19 TH. Accordingly, the 14 NW label needs to be changed to 18 NW, the 18 CA2 label needs to be changed to 23 CA2, and the 15 TH label needs to be changed to 19 TH. Finally, all shrubs planted in the buffer area must be at least four feet in height at the time of planting. Revise the plant schedule for the buffer shrubs to add “four feet” in the size column. Revise the size of the gallon containers listed to ensure that the buffer shrubs will be four feet in height at the time of planting and will grow to at least six feet tall and four feet wide within five years of planting. (Section 18.11)

For the 2,158-square-foot perimeter buffer along the easterly portion of the southerly boundary, no vegetation is depicted on sheet L1.1 and there is only a note stating that the buffer requirement is met with existing tree canopy and understory vegetation. No information is provided regarding the number, type, height, and location of the existing trees and shrubs. When the buffer contains existing vegetation, where the existing vegetation fails to meet the standards, new landscape material needs to supplement the existing vegetation in order to comply with the number, size, and distribution requirements. Where the number of existing trees of qualified size exceeds the minimum number required, then the number of required shrubs shall be reduced by a factor of two shrubs for each additional qualified tree. Without knowing the size, placement, and type (deciduous or evergreen) of existing trees, and the placement and type (deciduous and evergreen) of existing shrubs, it is not possible to determine if/where additional plant material is required. Accordingly, the location, height, and type of existing trees and the location, height, width, and type of existing shrubs in the easterly portion of the southerly 2,158-square-foot perimeter buffer shall be shown and labeled on sheet L1.0, along with proposed plantings if the existing vegetation does not meet the buffer option requirements, and respective updates to the plant schedule on sheet L1.1, for compliance with Section 28-4-2 of the Zoning Ordinance as required by this section. Note that with 2,158 square feet of buffer area, there needs to be at least five trees (no more than 60% can be deciduous and no less than 40% can be evergreen), and at least 54 shrubs (no more than 40% can be deciduous and no less than 60% can be evergreen). Since the vegetation is existing, it is assumed that the trees are at least 30 feet tall, and the shrubs are at least six feet tall and four feet wide to create a dense visual screen, all of which are needed to meet the ordinance requirements. (Section 18)

- b. A note shall be added to sheet L1.1 stating how the perimeter landscaping is achieving compliance with the perimeter landscaping requirement, and the plan view shall illustrate and label the selection option. (Section 18.12)

- c. Revise sheet L1.0 to provide information that will show compliance with the 5% interior parking area requirement and Section 18.13.
- d. Sheet L1.0 does not list the required calculations of one tree being planted for each 1,000 square feet of proposed parking area including spaces, internal landscape islands, access aisles, driveways, fire lanes, and other vehicular circulation areas, nor does it depict the required tree plantings in the parking area to meet the requirement. A waiver is requested to reduce this number to one tree being planted for each 2,000 square feet of parking area including spaces, internal landscape islands, access aisle, driveway, fire lanes, and other vehicular circulation areas. Trees required shall be planted within the internal parking lot islands or around the perimeter of the parking area within 20 feet of the parking lot. Existing trees preserved on the site may count on a one for one basis when located within 20 feet of the parking lot, access aisle, or driveway. (Section 18.17)
- e. Add a note to sheet C1.0 and sheet C2.0 stating that all new sidewalks shall comply with the Construction Standards and Details, including specifically noting that all new sidewalks shall comply with Section 3.02.D and Section 3.03.M, N, and O, of the Construction Standards and Details, shall be a minimum of five feet in width, exclusive of curbing, and shall have a maximum transverse slope of 2%, sloping towards the street, driveway, or parking area. Add a note stating that an accessible route shall be provided from the building entrance to a public sidewalk that meets federal standards for an accessible route to the public way. Revise note 6 on sheet C1.0 to state that all sidewalks shall be at least five feet wide exclusive of curbing. (Section 21.05)
- f. A note shall be added to sheet C3.0 stating the following: “The applicant is responsible for all coordination with the utility companies to ensure that nonmunicipal utilities are installed in accordance with the plans approved the Planning Board pursuant to the Site Plan Regulations. All utility facilities shall be located underground through the proposed development with existing utility facilities located above ground being removed and placed underground except where existing on public streets and rights-of-way. All service connections shall be constructed to the standards contained in the Construction Standards and Details and established by the private utility company.” (Section 25)
- g. Sheet L1.0 shall show, illustrate, and label how the required buffer option is being met for the easterly portion of the southerly boundary residential district buffer. (Section 26.01)
- h. A note shall be placed on the site plan stating that all rooftop and ground-mounted mechanical equipment shall be fully screened from view from abutting properties and public rights-of-way. (Section 26.02)
- i. Delete note 5 of plan notes on sheet L1.1. It is inaccurate and conflicts with plan note 7.
- j. Show and label on Sheet L1.0 the required protective barrier during construction around the existing vegetation that is to remain. (Section 27.05)
- k. On sheet L1.0, show and label the sight distance triangles on both sides of both driveways, and the intersection, and ensure no plantings are taking place that interfere with required sight vision areas. Also ensure that the plant and tree species proposed for planting along sidewalks comply with this section,

- and add a plan note stating that no plant material shall project over sidewalks below a height of eight feet. (Section 27.06(3))
- l. Revise note 6 of plan notes on sheet L1.1 to state: “No trees shall be planted within 10 feet of existing or proposed underground utility lines.” Show and label all existing and proposed underground utility lines on sheet L1.1 for confirmation that no trees are being planted within 10 feet of either. (Section 27.06(5))
 - m. In the plant schedule, revise the planting size of the kwanzan cherry to 2 ½ inches, remove the height of 8 feet, remove the heights of 12 feet for the maple and honey locust, add the height of 12 feet to all deciduous buffer trees, and remove the caliper size of all deciduous buffer trees. (Section 27.07(1))
 - n. Review the landscape plan to ensure that all landscape bumpouts and islands within the parking lot have at least one deciduous shade tree and are protected with curbing as sheet L1.0 currently shows an island on the west boundary that does not contain a deciduous shade tree, nor does it meet the required dimension of nine feet in width. (Section 27.07(2))
 - o. When adding any tree plantings that may be necessary to meet buffer and parking lot landscaping requirements, and the additional planting requirements for architectural design review approval, ensure that there are no more than 25% of the same species. (Section 27.07(4))
 - p. Review the landscaping planting plan to ensure no invasive species are being planted, and substitute as many tree, shrub, ground cover, and grass plantings as possible with native northern New England plant species. (Section 27.07(5))
 - q. Provide the light pole detail from the Construction Standards and Details and add to the detail the color of the light poles. (Section 29.04)
 - r. Reduce the illumination under both canopies to less than 20 foot-candles, and ensure that the 4:1 uniformity ratio between average and minimum illumination is being met under both canopies. (Section 29.06)
 - s. Reduce the foot-candles at all property lines to no more than 0.2 foot-candles both in the plan view and the table on the lighting plan. (Section 29.08)
 - t. Revise the plan set for compliance with the Site Plan Regulations and Construction Standards and Details as noted in the attached letter from VHB to AnneMarie Skinner, dated September 3, 2025. (Section 32.07)
 - u. Revise the plan set for compliance with the Site Plan Regulations and Construction Standards and Details as noted in the attached memos to AnneMarie Skinner from Paul Gildersleeve and Pete Kohalmi, dated September 2, 2025, and August 1, 2025.
 - v. Revise the plan set to show and label a clean-out at the right-of-way for the proposed six-inch sanitary sewer connection.
2. Provide a video of the existing sewer lateral to the Engineering Services Division to review to confirm that the pipe is in good enough condition for the proposed connection. The existing sewer lateral shall be replaced or repaired if the Engineering Services Division’s review deems such replacement or repair necessary to accommodate the proposed connection.
 3. List all approved variances and waivers with the section numbers, description, and date of approval on sheet C1.0.

4. The Applicant entering into an “Agreement to Convey Right-of-Way Easement” with the City for the purposes of future improvements to Penacook Street, the Penacook Street / North State Street intersection, and North State Street, as conceptually designed within the City’s 2015 Transportation Feasibility Study for Langley Parkway Phase 3 (CIP #40) or other highway improvements by the City. The Agreement shall allow the City to acquire the necessary rights in the future for the sum of \$1. The agreement shall be similar to the example included herein and subject to the approval of the City Solicitor. The applicant shall revise the plan set to properly denote the area of future easement with appropriate notation to the satisfaction of the City Engineer and City Solicitor. The Agreement and associated plat showing the future easement area shall be recorded at the Merrimack Registry of Deeds.
5. The Applicant providing the City with a right-of-way easement to expand the size of the 3’ X 10’ right-of-way area for the bus stop on North State Street to 5’ X 12’. The plans shall be revised accordingly. The easement deed and associated easement plat shall be recorded at the Merrimack Registry of Deeds.
6. Upon notification from the Planning Division that the plan set complies with Planning Board conditions, the Zoning Ordinance, Site Plan Regulations, and Construction Standards and Details, the applicant shall deliver to the Planning Division two full-size plan sets, including civil, landscaping, and lighting plans and architectural elevations, for endorsement by the Planning Board Chair and Clerk.
- b. Subsequent Conditions – to be fulfilled as specified:
 1. The applicant is responsible for compliance with the City’s municipal code, Site Plan Regulations, and Construction Standards and Details, unless a variance, waiver, or conditional use permit is granted.
 2. Copies of all required state and federal permits shall be submitted to the Planning Division prior to the issuance of building permits or commencement of demolition or construction. (Sections 13.01(6), 13.02(8), 23.08, and 24.09)
 3. No building permit shall be issued until the site plan has been approved by the Planning Board and the pre-construction conditions of approval have been satisfactorily addressed as determined by the Clerk of the Planning Board. No certificate of occupancy shall be issued until all site and building improvements have been completed to the satisfaction of the Clerk of the Planning Board according to the approved plans and conditions of Planning Board approval. (Section 11.09(6))
 4. The applicant, successors, and assigns shall be responsible for the regular maintenance of all plantings and other landscape features. Plant materials shall be maintained alive, healthy, and free from pests and disease. Tree stakes and guys shall be removed after the first growing season. (Section 27.07(8))
 5. Existing invasive species shall be removed. All trash, construction material, and debris shall be removed. Dead and dying trees which present a potential hazard to existing and proposed structures shall be removed. (Section 27.07(10))
 6. The site shall be graded and cleared in accordance with the Construction Standards and Details and Section 27.08 of the Site Plan Regulations.
 7. Erosion control measures shall be installed and maintained in accordance with Section 27.09 of the Site Plan Regulations, the State of New Hampshire Department of Environmental Services, and the Construction Standards and Details. Sedimentation and erosion control measures shall be installed prior to the start of construction, and shall be monitored and maintained during construction, and

removed after final site stabilization as required by Section 27.09(4) *Monitoring and Maintenance*.

8. Temporary sediment and erosion control devices shall not be removed until permanent stabilization is established for the entire site. All temporary erosion and sediment control measures shall be removed after the completion of construction. (Section 27.09(5))
9. A site stabilization guarantee shall be provided to ensure that sites are properly stabilized. The City Engineer may call said financial guarantee, and stabilize a disturbed site, if upon notice, the applicant has not stabilized or restored the site. (Section 27.11)
10. The Clerk shall inspect the exterior appearance of sites to determine if the exterior of a building, site, and signage are in conformity with the architectural design review approval granted by the Planning Board. No certificate of occupancy may be issued prior to a determination by the Clerk that the site is consistent with the Board's approval. (Section 33.08)
11. If there is a conflict between regulations, rules, statutes, provisions or law, or the approved plan set, whichever provisions are the more restrictive or impose higher standards shall control, unless a specific waiver from the provision has been granted by the Planning Board. (Sections 36.04 and 36.05)
12. No site construction, or change of use of land, shall occur in violation of the Site Plan Regulations and the Zoning Ordinance. No building permits shall be issued prior to satisfactory completion of pre-construction conditions of Planning Board approval. The Clerk shall not approve any certificate of occupancy unless the site is found to comply with the approved site plan and the conditions of Planning Board approval. (Sections 36.15 and 36.24)
13. Temporary certificates of occupancy are only allowed for the items outlined in Section 36.18, and only in winter conditions to defer certain weather-dependent items to spring.
14. It shall be the duty of the Clerk to enforce the regulations and to bring any violations or lack of compliance herewith to the attention of the City Solicitor. (Section 36.19)
15. Prior to the issuance of a certificate of occupancy, digital as-built drawings shall be provided conforming to the Engineering Services Division's as-built checklist. (Sections 12.09, 13.02(11), and 36.25)
16. Where a public facility, public utility, or public improvement is to be constructed, a financial guarantee shall be provided for such. (Sections 13.02(5) and 36.26)



SITE DEVELOPMENT PLANS FOR:
CONCORD FSR
161 N STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
PARCEL: MAP 583Z LOT 30

CIVIL ENGINEER
FULMER LUCAS ENGINEERING, LLC
2002 RICHARD JONES ROAD - SUITE B200
NASHVILLE, TENNESSEE 37215

CONTACT: AVERY STEED
678-371-5954

LAND SURVEYOR
GREENMAN-PEDERSEN, INC.
44 STILES ROAD, SUITE ONE
SALEM, NEW HAMPSHIRE 03079

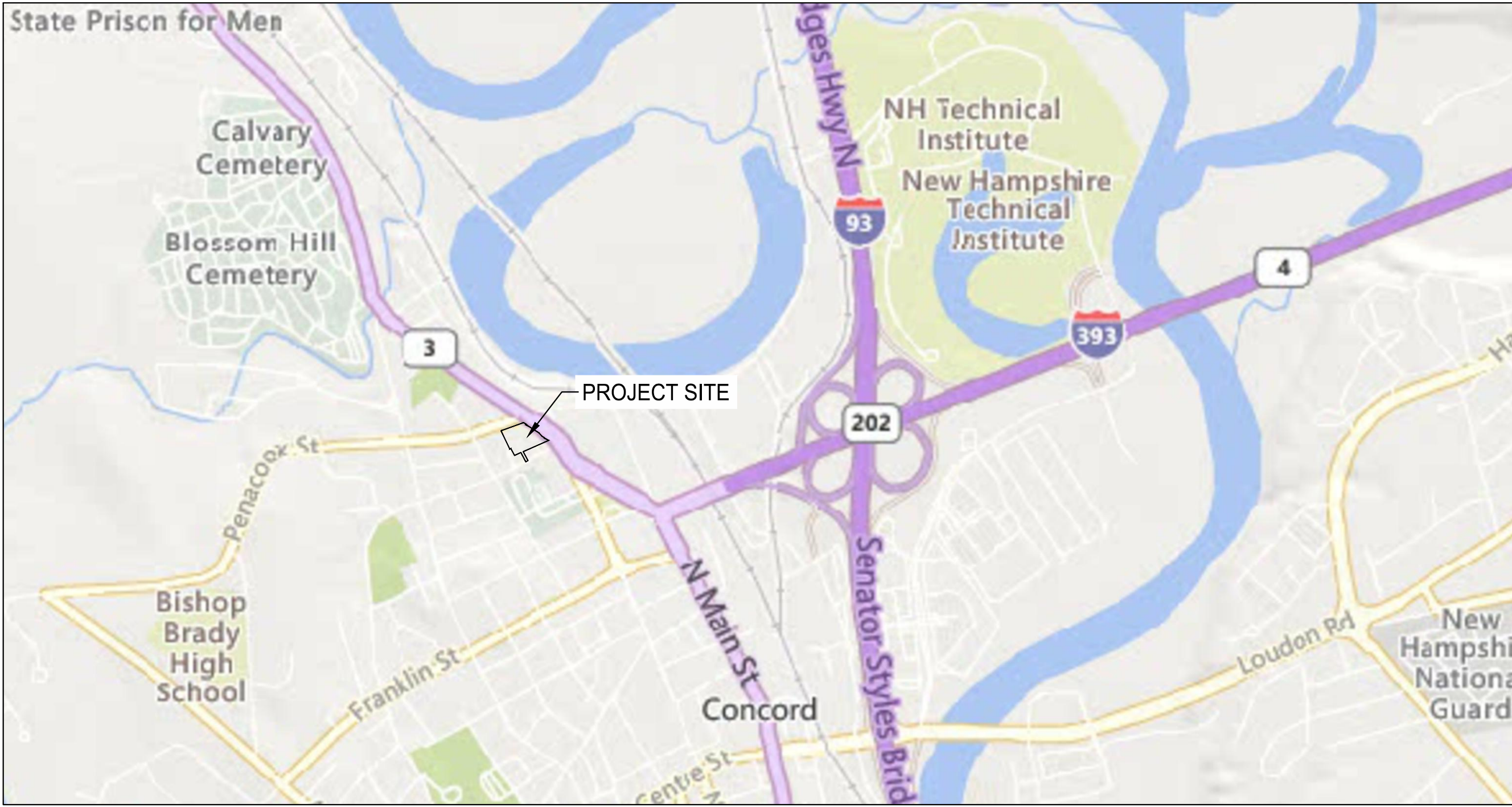
CONTACT: SCOTT M. L'ITALIEN
603-893-0720

ARCHITECT
HEREFORD DOOLEY ARCHITECTS
205 17TH AVE N. SUITE 203
NASHVILLE, TENNESSEE 37203

CONTACT: TYLER CAIN
615-244-7399

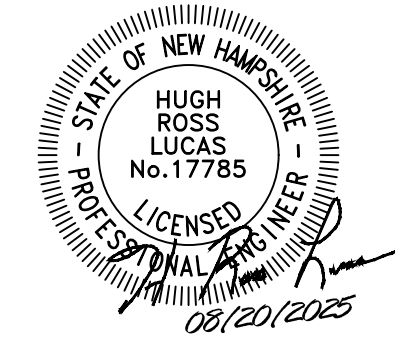
LANDSCAPE ARCHITECT
H+B LAND DESIGN
106 MISSION CT. SUITE 403B
FRANKLIN, TENNESSEE 37067

CONTACT: CONNOR BALL
615-376-2421



VICINITY MAP
SCALE: 1"=1000'

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
1-4	EXISTING CONDITIONS PLAN
C0.1	SITE DEMOLITION PLAN
C0.2	INITIAL EPSC PLAN
C0.3	INTERMEDIATE EPSC PLAN
C1.0	SITE LAYOUT PLAN
C1.1	LOCATION PLAN
C1.2	SITE ACCESS AND CIRCULATION
C2.0	SITE GRADING PLAN
C2.1	STM-A PLAN AND PROFILE
C2.2	STM-A PLAN AND PROFILE
C3.0	SITE UTILITY PLAN
C4.0	SITE DETAILS
C4.1	SITE DETAILS
C4.2	SITE DETAILS
C4.3	SITE DETAILS



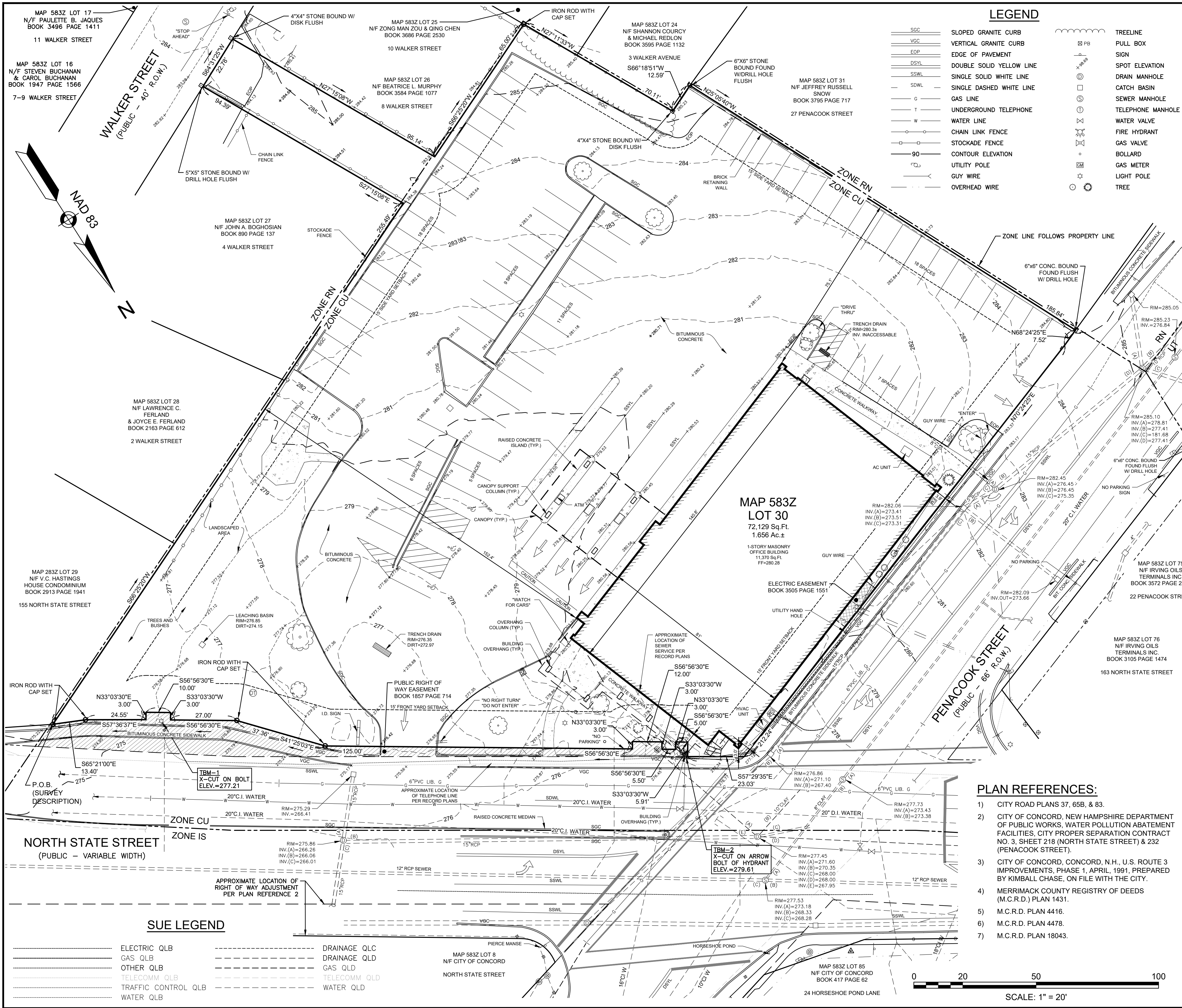
CONCORD FSR
161 NORTH STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

SR.	DATE	DESCRIPTION
001	08/20/2025	INITIAL SITE PLAN SUBMITTAL

COVER SHEET
C0.0

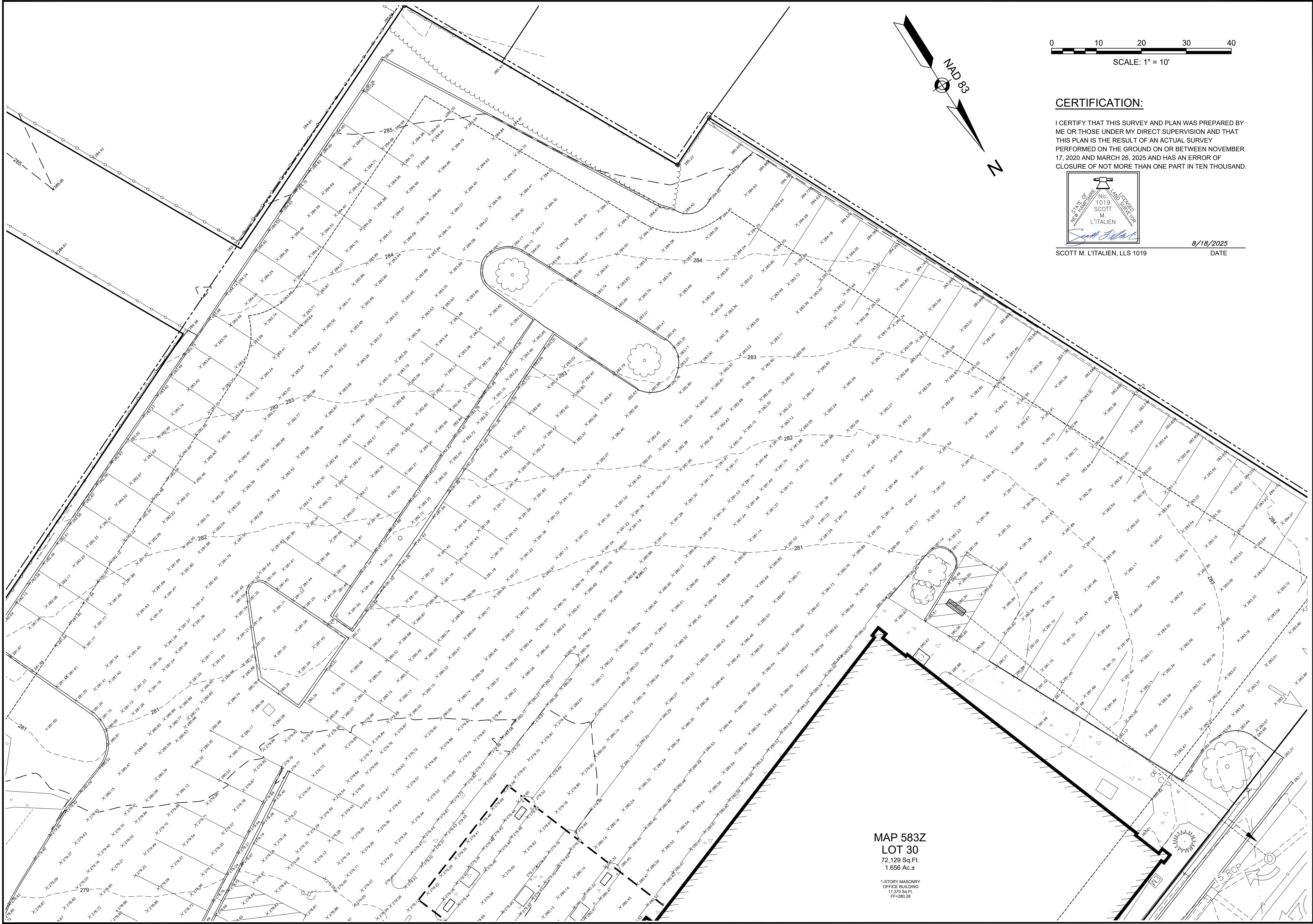
SITE CRITERIA	
MAP & PARCEL NO.	583Z - 30
COUNCIL DISTRICT	COUNCIL WARD FOUR - CM KAREN MCNAMARA
LOT SIZE:	1.66 AC (1.60 AC DISTURBED)
FEMA MAP AND PANEL NUMBER, DATE, FLOOD ZONE	33013C0533E (04/19/2010) ZONE X

SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)



EXISTING CONDITIONS PLAN	
SCALE:	1"=20'
NEX-2020293	
1 OF 4	

F:\Projects\NEX-2020293 - Concord, NH - Cafua\CAD Files\20293_SV_ECP.dwg ECP_SHEET 8/19/25 8:37am slitalien



GPI

Engineering
Design
Planning
Construction Inspection

603.893.0720
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

GPINET.COM

PREPARED FOR
HCA HEALTHCARE
ONE PARK PLAZA,
BUILDING 2, 5TH FLOOR
NASHVILLE, TN 37203

CONCORD FSR
161 NORTH STATE STREET
CONCORD, NEW HAMPSHIRE

NEW STATE OF
NEW HAMPSHIRE
LAND SURVEYOR

No.
1019
SCOTT
M.
L'ITALIEN

Scott M. L'Italien

8/18/2025

REVISIONS		
2.	CITY COMMENTS	8/18/25
1.	ADDITIONAL UTILITIES	7/3/25
NO.	REVISION	DATE
APRIL 24, 2025		
DRAWN/DESIGN BY CSS		CHECKED BY SML

EXISTING
CONDITIONS
PLAN

SCALE: 1"=10'

NEX-2020293

2 OF 4

F:\Projects\NEX-2020293 - Concord, NH - Cafua\CAD Files\20293_SV ECP.dwg ECP SH3 8/19/25 8:38am sllalien



GPI

Engineering
Design
Planning
Construction Inspection

603.893.0720
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

GPINET.COM

PREPARED FOR
HCA HEALTHCARE
ONE PARK PLAZA,
BUILDING 2, 5TH FLOOR
NASHVILLE, TN 37203

CONCORD FSR
161 NORTH STATE STREET
CONCORD, NEW HAMPSHIRE

NO. 1019
SCOTT
M.
L'ITALIEN

LAND LICENSED
SURVEYOR

8/18/2025

REVISIONS		
2.	CITY COMMENTS	8/18/25
1.	ADDITIONAL UTILITIES	7/3/25
NO.	REVISION	DATE
APRIL 24, 2025		
DRAWN/DESIGN BY		CHECKED BY
CSS		SML

EXISTING
CONDITIONS
PLAN

SCALE: 1"=10'

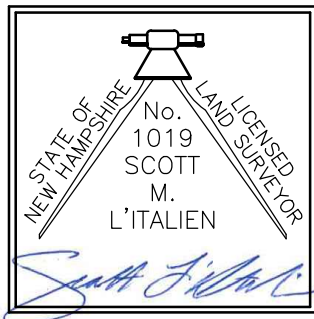
NEX-2020293

3 OF 4

F:\Projects\NEX-2020293 - Concord, NH - Cafua\CAD Files\20293_SV ECP.dwg ECP_S44 8/19/25 8:40am silitalien

CERTIFICATION:

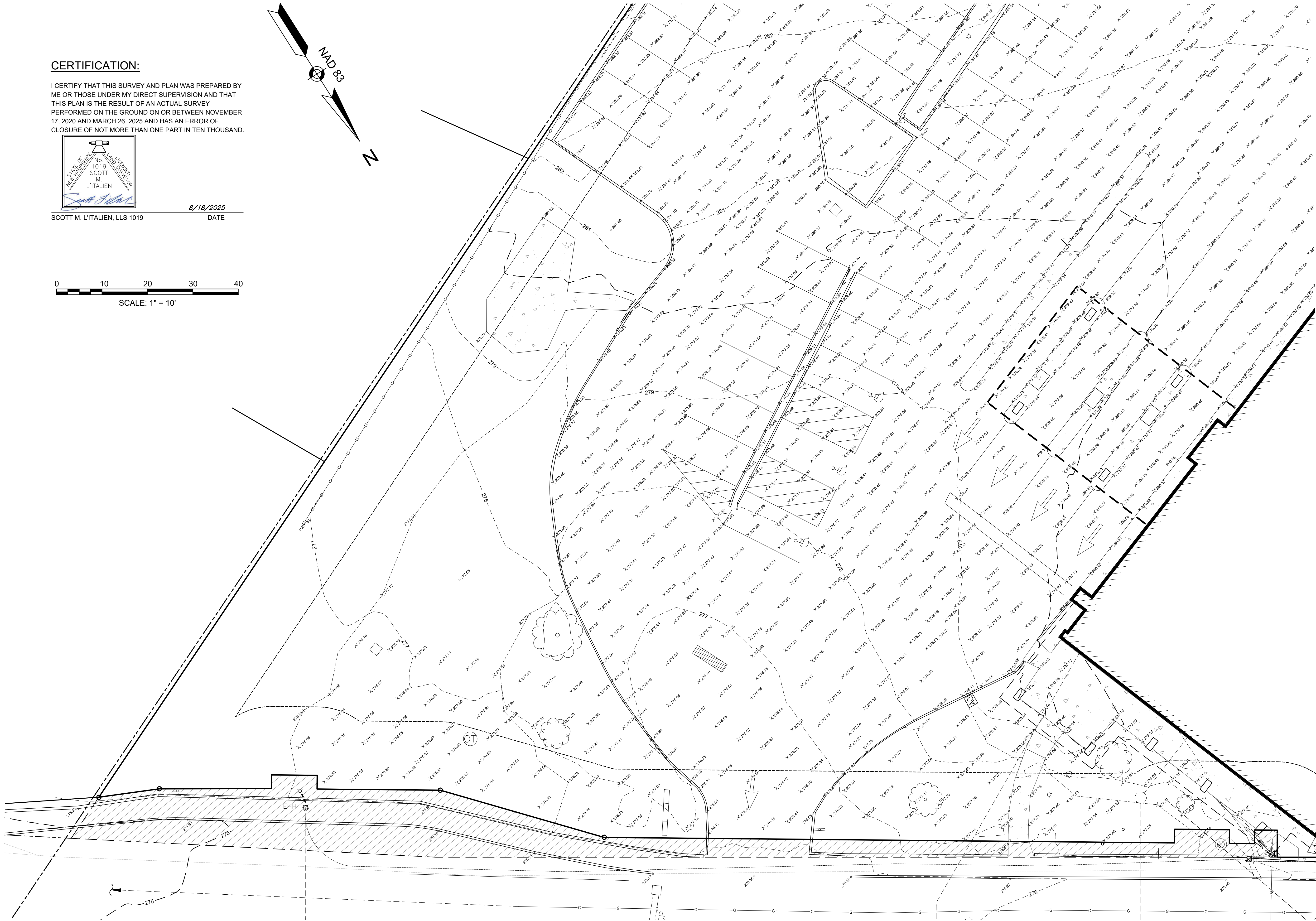
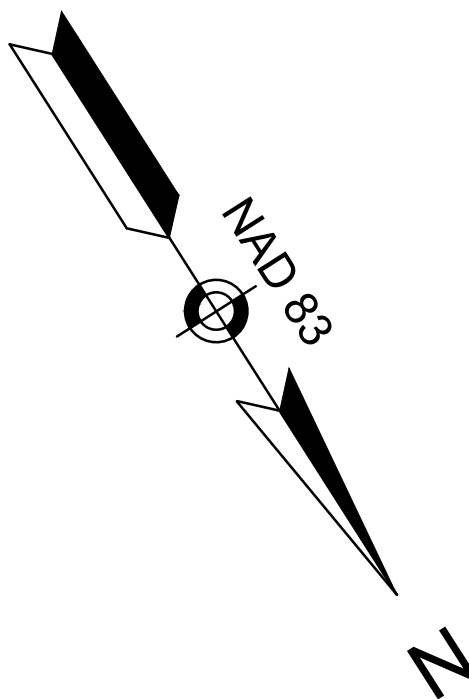
I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND ON OR BETWEEN NOVEMBER 17, 2020 AND MARCH 26, 2025 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.



SCOTT M. L'ITALIEN, LLS 1019

8/18/2025
DATE

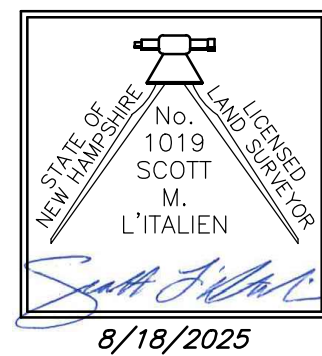
0 10 20 30 40
SCALE: 1" = 10'



GPI Engineering
Design
Planning
Construction Inspection
603.893.0720
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079
GPINET.COM

PREPARED FOR
HCA HEALTHCARE
ONE PARK PLAZA,
BUILDING 2, 5TH FLOOR
NASHVILLE, TN 37203

CONCORD FSR
161 NORTH STATE STREET
CONCORD, NEW HAMPSHIRE



8/18/2025

REVISIONS

NO.	REVISION	DATE
2.	CITY COMMENTS	8/18/25
1.	ADDITIONAL UTILITIES	7/3/25

APRIL 24, 2025

DRAWN/DESIGN BY	CSS	CHECKED BY	SML
-----------------	-----	------------	-----

**EXISTING
CONDITIONS
PLAN**

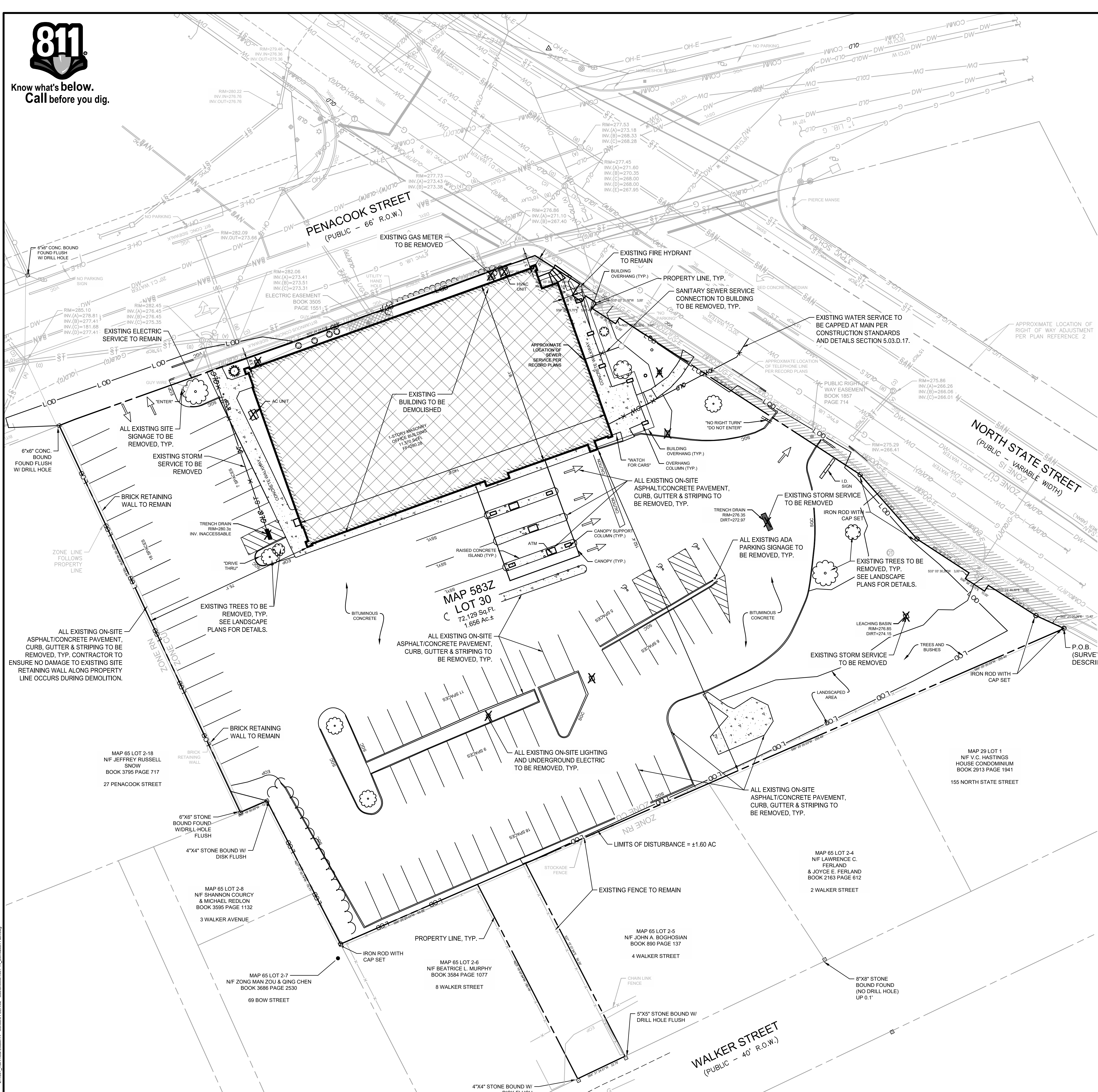
SCALE: 1"=10'

NEX-2020293

4 OF 4



Know what's below.
Call before you dig.



GENERAL NOTES:

- GENERAL CONTRACTOR (GC) IS TO CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- GC SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. GC SHALL TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ALL CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- GC SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND OR OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF ELECTRICAL WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- IN EASEMENTS AND RIGHTS-OF-WAY, GC SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT WHERE NOTED.
- GC IS TO PHOTOGRAPH ALL EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
- CLEAR THE ENTIRE CONSTRUCTION AREA OF ALL WEEDS, BUSHES, TREES NOTED FOR REMOVAL OR WITHIN GRADING BOUNDARY, STUMPS, ASPHALT, CONCRETE, CURBS AND OTHER PROTRUDING OBSTRUCTIONS NOT DESIGNATED TO REMAIN.
- ALL MATERIALS NOT TO REMAIN ARE TO BE DISPOSED OF OFF SITE AT A PROPERLY PERMITTED LOCATION.
- GC IS RESPONSIBLE FOR CLEANING AND MAINTAINING HAUL ROUTES AND CONTROLLING DUST. CLEANING SHOULD BE CONTINUOUS DURING ACTIVE WORK.
- GC IS RESPONSIBLE FOR ALL NECESSARY EROSION CONTROL TO KEEP SEDIMENT ON SITE, EVEN IF IT IS NOT DIRECTLY SHOWN ON THE PLANS. ANY EROSION CONTROL NEEDED NOT SHOWN ON THE PLANS SHALL BE MARKED ON THE PLANS.
- GC SHALL NOT DISTURB EXISTING CONDITIONS OUTSIDE OF THE PROJECT PROPERTY UNLESS SHOWN ON THE PLANS OR WITH PERMISSION OF THE PROPERTY OWNER. ANY UNAUTHORIZED DAMAGES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- ALL CURB AND GUTTER TO BE DEMOLISHED SHALL BE REMOVED TO THE NEAREST JOINT. CONTRACTOR TO FIELD VERIFY LIMITS AS JOINTS ARE NOT SHOWN ON THE PLANS.
- ALL EXISTING WATER METERS CALLED OUT TO BE REMOVED SHALL BE CUT & CAPPED AT MAIN.
- ALL SOILS ON SITE ARE HYDROLOGIC SOIL GROUP A TYPE WINDSOR-URBAN LAND COMPLEX (598B) PER USDA SOIL REPORT.
- THERE ARE NO EXISTING SOLID WASTE DISPOSAL FACILITIES.

MAP REFERENCE:

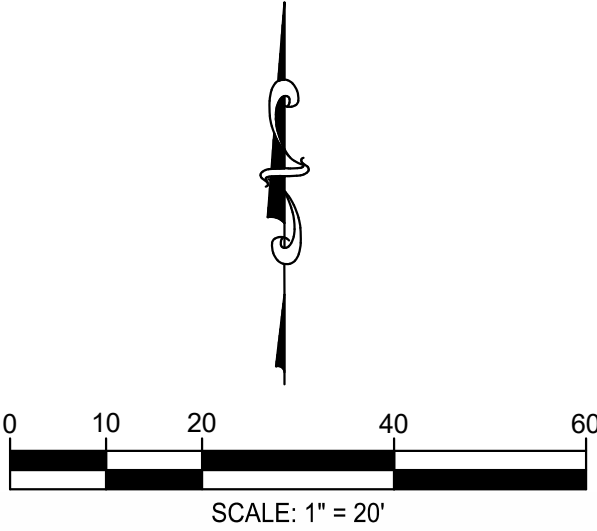
PARCEL ID FOR SUBJECT PROPERTY IS MAP 583Z LOT 30 ON CONCORD CITY PROPERTY MAP.

SITE DEMOLITION LEGEND:

- BUILDING DEMOLITION
- UTILITY LINE TO BE REMOVED
- UTILITY STRUCTURE TO BE REMOVED
- LIMITS OF DISTURBANCE

LEGEND

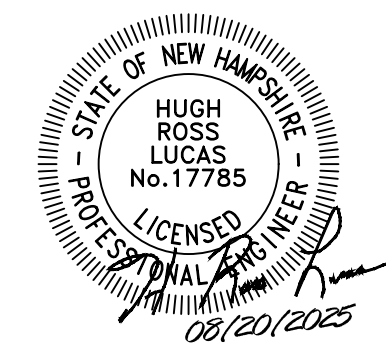
- IRON ROD (OLD)
- BENCHMARK
- CATCH BASIN
- FIRE HYDRANT
- SEWER MANHOLE
- EXISTING TREE
- WATER VALVE
- WATER METER
- IRON ROD (NEW)
- UTILITY POLE



SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



CONCORD FSER
161 NORTH STATE STREET

CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

SR.	DATE	DESCRIPTION
	08/20/2025	INITIAL SITE PLAN SUBMITTAL

SITE
DEMOLITION
PLAN

C0.1



Know what's below.
Call before you dig.



GENERAL NOTES:

1. GENERAL CONTRACTOR (GC) IS TO CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
2. GC SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. GC SHALL TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ALL CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. GC SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND OR OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF ELECTRICAL WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
4. IN EASEMENTS AND RIGHTS-OF-WAY, GC SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT WHERE NOTED.
5. GC IS TO PHOTOGRAPH ALL EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
6. CLEAR THE ENTIRE CONSTRUCTION AREA OF ALL WEEDS, BUSHES, TREES NOTED FOR REMOVAL OR WITHIN GRADING BOUNDARY, STUMPS, ASPHALT, CONCRETE, CURBS AND OTHER PROTRUDING OBSTRUCTIONS NOT DESIGNATED TO REMAIN.
7. ALL MATERIALS NOT TO REMAIN ARE TO BE DISPOSED OF OFF SITE AT A PROPERLY PERMITTED LOCATION.
8. GC IS RESPONSIBLE FOR CLEANING AND MAINTAINING HAUL ROUTES AND CONTROLLING DUST. CLEANING SHOULD BE CONTINUOUS DURING ACTIVE WORK.
9. GC IS RESPONSIBLE FOR ALL NECESSARY EROSION CONTROL TO KEEP SEDIMENT ON SITE, EVEN IF IT IS NOT DIRECTLY SHOWN ON THE PLANS. ANY EROSION CONTROL NEEDED NOT SHOWN ON THE PLANS SHALL BE MARKED ON THE PLANS.
10. GC SHALL NOT DISTURB EXISTING CONDITIONS OUTSIDE OF THE PROJECT PROPERTY UNLESS SHOWN ON THE PLANS OR WITH PERMISSION OF THE PROPERTY OWNER. ANY UNAUTHORIZED DAMAGES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
11. ALL CURB AND GUTTER TO BE DEMOLISHED SHALL BE REMOVED TO THE NEAREST JOINT. CONTRACTOR TO FIELD VERIFY LIMITS AS JOINTS ARE NOT SHOWN ON THE PLANS.

EROSION & SEDIMENT CONTROL NOTES:

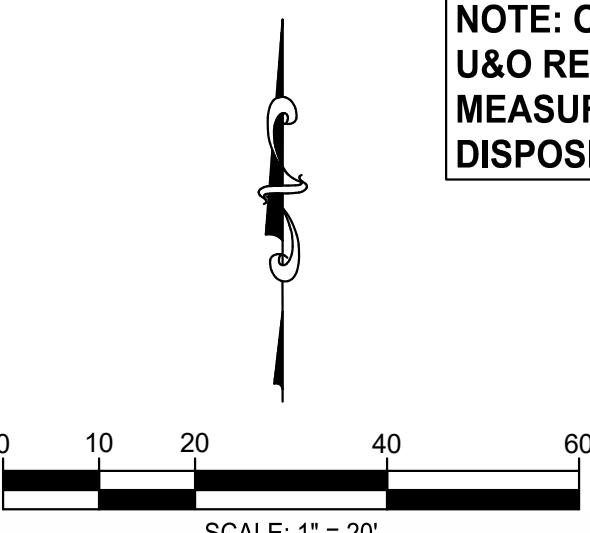
1. ALL PERIMETER MEASURES MUST BE IN PLACE BEFORE GRADING.
2. ALL STOCKPILES ARE TO BE CONTAINED ON THE PROJECT PROPERTY UNLESS WRITTEN PERMISSION IS GIVEN BY THE ADJACENT PROPERTY OWNER. INSTALL SILT FENCE AT THE BASE OF ANY STOCKPILES.
3. ALL GRADED SLOPES 3:1 OR STEEPER AND DITCH BOTTOMS SHALL RECEIVE PROPER EROSION CONTROL BLANKETS/MATTING OR SOD.
4. ALL FIELD ADJUSTMENT OF EROSION CONTROL MEASURES SHALL BE NOTED ON THE PLANS KEPT IN THE JOB TRAILER.
5. WHEN THE TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER NEEDED FOR THE INTENDED PURPOSE IN THE OPINION OF THE DESIGNATED SITE EROSION CONTROL SPECIALIST, THEY MAY BE REMOVED.
6. CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH LOCAL NPDES DEPARTMENT STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE. LOCATION OF AND/OR NOTES REFERRING TO THESE BMP'S SHALL BE SHOWN ON THE EPSC PLAN.
7. ALL DISTURBED AREAS ARE TO BE PERMANENTLY STABILIZED PER THE LANDSCAPE PLAN. ALL AREAS NOT OTHERWISE RECEIVING SOD OR OTHER PLANTING SHALL RECEIVE SEED AND STRAW PER THE SPECIFICATIONS INCLUDED WITHIN TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK.
8. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY OWNER'S REPRESENTATIVE.
9. ALL GRADED AREAS, INCLUDING SLOPES, ARE TO BE SODDED OR MULCHED AND SEEDED WITHIN 14 DAYS AFTER GRADING IS SUSPENDED OR COMPLETED.
10. ALL SLOPES EQUAL TO OR GREATER THAN 3:1 MUST BE STABILIZED WITHIN 7 DAYS AFTER GRADING IS SUSPENDED OR COMPLETED.
11. GRADING OPERATIONS ARE NOT TO BEGIN UNTIL EROSION CONTROL HAS BEEN INSTALLED AS SHOWN ON DRAWINGS, INSPECTED BY THE STORMWATER DEPARTMENT, AND THE GRADING PERMIT HAS BEEN ISSUED.
12. SILT BARRIERS SHALL BE CLEANED OF ACCUMULATED SEDIMENT OR REPLACED WHEN APPROXIMATELY 33% FILLED WITH SEDIMENT OR DIRECTED BY THE EROSION CONTROL SPECIALIST.
13. ALL DIMENSIONS AND LOCATIONS OF TEMPORARY EROSION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
14. THE CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION FOR TREES TO REMAIN IN ACCORDANCE WITH CITY SPECIFICATIONS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT NOR HANDLE OR STORE MATERIALS WITHIN THE DRIP LINES OF TREES TO REMAIN.
15. PRIOR TO FINAL ACCEPTANCE AND INSPECTION, SEDIMENT MUST BE REMOVED ALL NEW AND EXISTING STRUCTURES AND WATER QUALITY SYSTEMS.

EROSION CONTROL LEGEND:

- INLET PROTECTION
- WIRE BACKED SILT FENCE
- LIMITS OF DISTURBANCE
- CONSTRUCTION ENTRANCE/EXIT
- CONCRETE WASHOUT AREA

LEGEND

- IRON ROD (OLD)
- BENCHMARK
- CATCH BASIN
- FIRE HYDRANT
- SEWER MANHOLE
- EXISTING TREE
- WATER VALVE
- WATER METER
- IRON ROD (NEW)
- UTILITY POLE

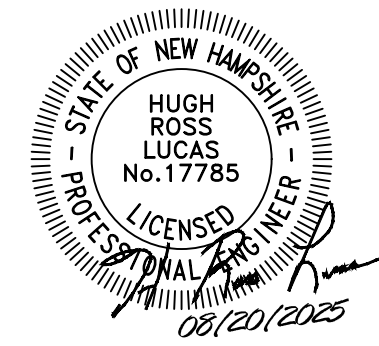


NOTE: ONCE SITE IS STABILIZED FOR U&O RELEASE ALL REMAINING EPSC MEASURES SHOULD BE REMOVED AND DISPOSED OF IN A PROPER MANNER

SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



CONCORD FSER
161 NORTH STATE STREET

CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

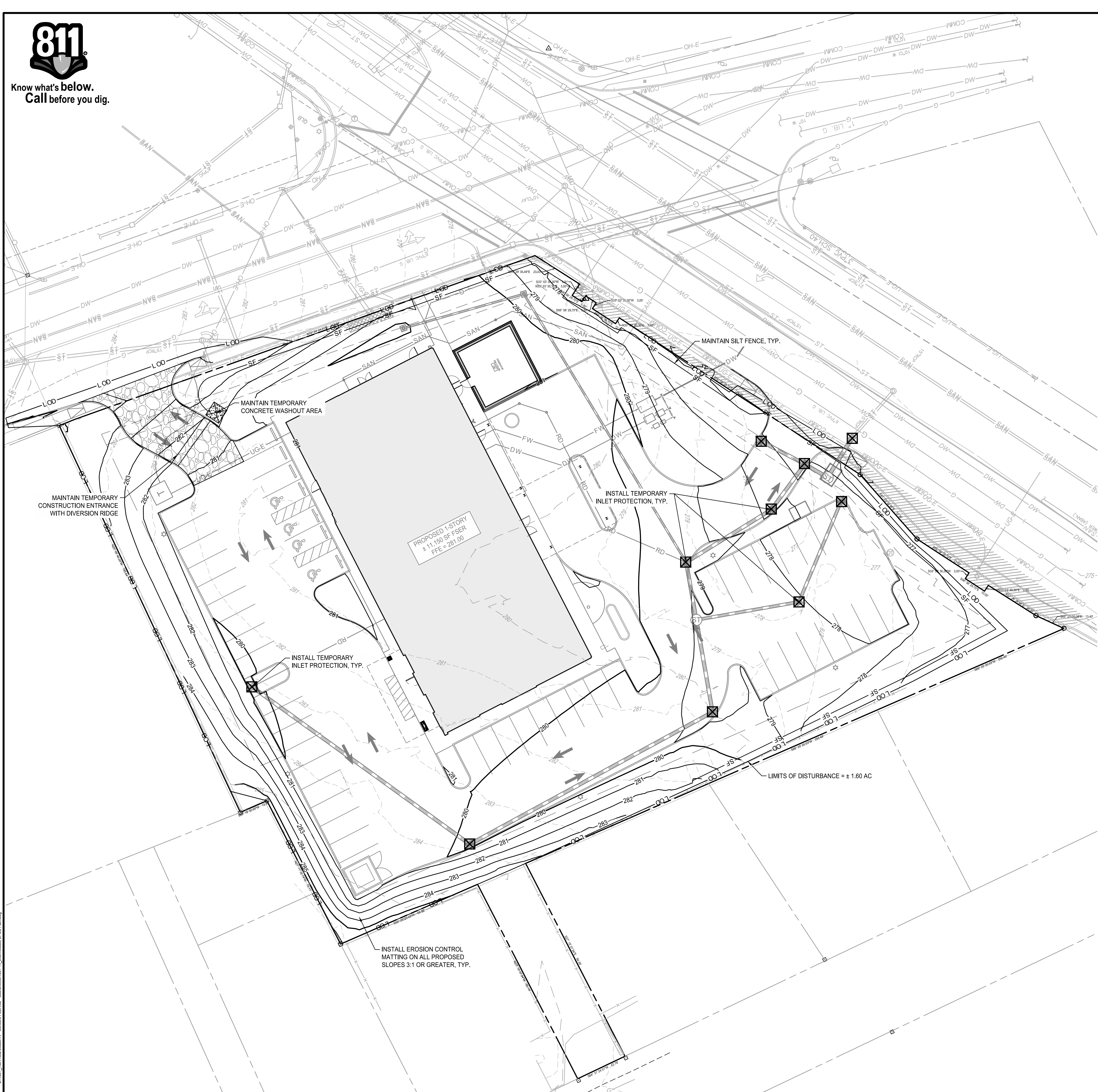
SR.	DATE	DESCRIPTION
001	08/20/2025	INITIAL SITE PLAN SUBMITTAL

INITIAL EPSC
PLAN

C0.2



Know what's below.
Call before you dig.



GENERAL NOTES:

1. GENERAL CONTRACTOR (GC) IS TO CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
2. GC SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. GC SHALL TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ALL CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. GC SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND OR OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF ELECTRICAL WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
4. IN EASEMENTS AND RIGHTS-OF-WAY, GC SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT WHERE NOTED.
5. GC IS TO PHOTOGRAPH ALL EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
6. CLEAR THE ENTIRE CONSTRUCTION AREA OF ALL WEEDS, BUSHES, TREES NOTED FOR REMOVAL OR WITHIN GRADING BOUNDARY, STUMPS, ASPHALT, CONCRETE, CURBS AND OTHER PROTRUDING OBSTRUCTIONS NOT DESIGNATED TO REMAIN.
7. ALL MATERIALS NOT TO REMAIN ARE TO BE DISPOSED OF OFF SITE AT A PROPERLY PERMITTED LOCATION.
8. GC IS RESPONSIBLE FOR CLEANING AND MAINTAINING HAUL ROUTES AND CONTROLLING DUST. CLEANING SHOULD BE CONTINUOUS DURING ACTIVE WORK.
9. GC IS RESPONSIBLE FOR ALL NECESSARY EROSION CONTROL TO KEEP SEDIMENT ON SITE, EVEN IF IT IS NOT DIRECTLY SHOWN ON THE PLANS. ANY EROSION CONTROL NEEDED NOT SHOWN ON THE PLANS SHALL BE MARKED ON THE PLANS.
10. GC SHALL NOT DISTURB EXISTING CONDITIONS OUTSIDE OF THE PROJECT PROPERTY UNLESS SHOWN ON THE PLANS OR WITH PERMISSION OF THE PROPERTY OWNER. ANY UNAUTHORIZED DAMAGES SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
11. ALL CURB AND GUTTER TO BE DEMOLISHED SHALL BE REMOVED TO THE NEAREST JOINT. CONTRACTOR TO FIELD VERIFY LIMITS AS JOINTS ARE NOT SHOWN ON THE PLANS.

EROSION & SEDIMENT CONTROL NOTES:

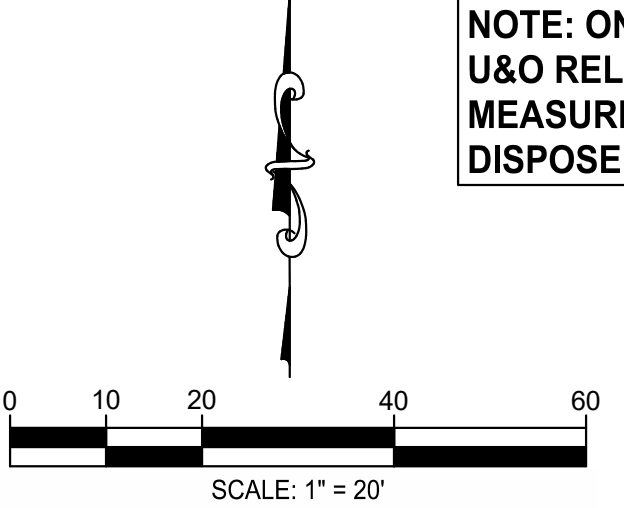
1. ALL PERIMETER MEASURES MUST BE IN PLACE BEFORE GRADING.
2. ALL STOCKPILES ARE TO BE CONTAINED ON THE PROJECT PROPERTY UNLESS WRITTEN PERMISSION IS GIVEN BY THE ADJACENT PROPERTY OWNER. INSTALL SILT FENCE AT THE BASE OF ANY STOCKPILES.
3. ALL GRADED SLOPES 3:1 OR STEEPER AND DITCH BOTTOMS SHALL RECEIVE PROPER EROSION CONTROL BLANKETS/MATTING OR SOD.
4. ALL FIELD ADJUSTMENT OF EROSION CONTROL MEASURES SHALL BE NOTED ON THE PLANS KEPT IN THE JOB TRAILER.
5. WHEN THE TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER NEEDED FOR THE INTENDED PURPOSE IN THE OPINION OF THE DESIGNATED SITE EROSION CONTROL SPECIALIST, THEY MAY BE REMOVED.
6. CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH LOCAL NPDES DEPARTMENT STANDARDS. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE. LOCATION OF AND/OR NOTES REFERRING TO THESE BMP'S SHALL BE SHOWN ON THE EPSC PLAN.
7. ALL DISTURBED AREAS ARE TO BE PERMANENTLY STABILIZED PER THE LANDSCAPE PLAN. ALL AREAS NOT OTHERWISE RECEIVING SOD OR OTHER PLANTING SHALL RECEIVE SEED AND STRAW PER THE SPECIFICATIONS INCLUDED WITHIN TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK.
8. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY OWNER'S REPRESENTATIVE.
9. ALL GRADED AREAS, INCLUDING SLOPES, ARE TO BE SODDED OR MULCHED AND SEEDED WITHIN 14 DAYS AFTER GRADING IS SUSPENDED OR COMPLETED.
10. ALL SLOPES EQUAL TO OR GREATER THAN 3:1 MUST BE STABILIZED WITHIN 7 DAYS AFTER GRADING IS SUSPENDED OR COMPLETED.
11. GRADING OPERATIONS ARE NOT TO BEGIN UNTIL EROSION CONTROL HAS BEEN INSTALLED AS SHOWN ON DRAWINGS, INSPECTED BY THE STORMWATER DEPARTMENT, AND THE GRADING PERMIT HAS BEEN ISSUED.
12. SILT BARRIERS SHALL BE CLEANED OF ACCUMULATED SEDIMENT OR REPLACED WHEN APPROXIMATELY 33% FILLED WITH SEDIMENT OR DIRECTED BY THE EROSION CONTROL SPECIALIST.
13. ALL DIMENSIONS AND LOCATIONS OF TEMPORARY EROSION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
14. THE CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION FOR TREES TO REMAIN IN ACCORDANCE WITH CITY SPECIFICATIONS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT NOR HANDLE OR STORE MATERIALS WITHIN THE DRIP LINES OF TREES TO REMAIN.
15. PRIOR TO FINAL ACCEPTANCE AND INSPECTION, SEDIMENT MUST BE REMOVED ALL NEW AND EXISTING STRUCTURES AND WATER QUALITY SYSTEMS.

EROSION CONTROL LEGEND:

- INLET PROTECTION
- WIRE BACKED SILT FENCE
- LIMITS OF DISTURBANCE
- CONSTRUCTION ENTRANCE/EXIT
- CONCRETE WASHOUT AREA

LEGEND

- IRON ROD (OLD)
- BENCHMARK
- CATCH BASIN
- FIRE HYDRANT
- SEWER MANHOLE
- EXISTING TREE
- WATER VALVE
- WATER METER
- IRON ROD (NEW)
- UTILITY POLE

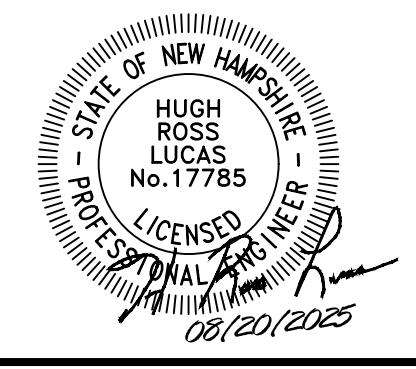


NOTE: ONCE SITE IS STABILIZED FOR U&O RELEASE ALL REMAINING ESPC MEASURES SHOULD BE REMOVED AND DISPOSED OF IN A PROPER MANNER

SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



CONCORD FSER
161 NORTH STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301

OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

DATE	DESCRIPTION	DATE	DESCRIPTION	DATE	DESCRIPTION
08/20/2025	INITIAL SITE PLAN SUBMITTAL				

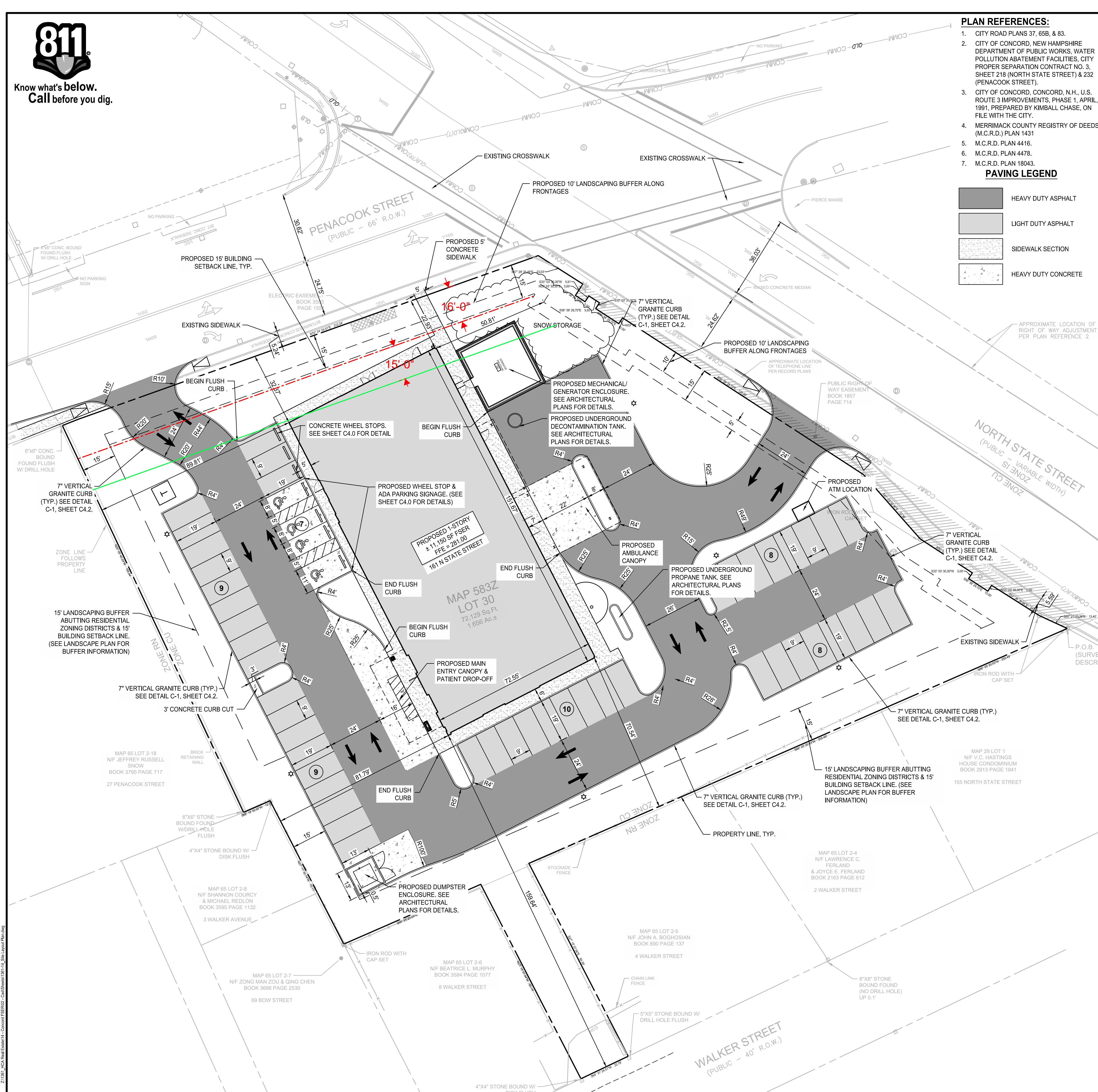
INTERMEDIATE
EPSC PLAN

C0.3

1361-14 CONCORD FSER



Know what's below.
Call before you dig.



PLAN REFERENCES:

1. CITY ROAD PLANS 37, 65B, & 83.
2. CITY OF CONCORD, NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS, WATER POLLUTION ABATEMENT FACILITIES, CITY PROPER SEPARATION CONTRACT NO. 3, SHEET 218 (NORTH STATE STREET) & 232 (PENACOOK STREET).
3. CITY OF CONCORD, CONCORD, N.H., U.S. ROUTE 3 IMPROVEMENTS, PHASE 1, APRIL, 1991, PREPARED BY KIMBALL CHASE, ON FILE WITH THE CITY.
4. MERRIMACK COUNTY REGISTRY OF DEEDS (M.C.R.D.) PLAN 1431
5. M.C.R.D. PLAN 4416.
6. M.C.R.D. PLAN 4478.
7. M.C.R.D. PLAN 18043.

PAVING LEGEND

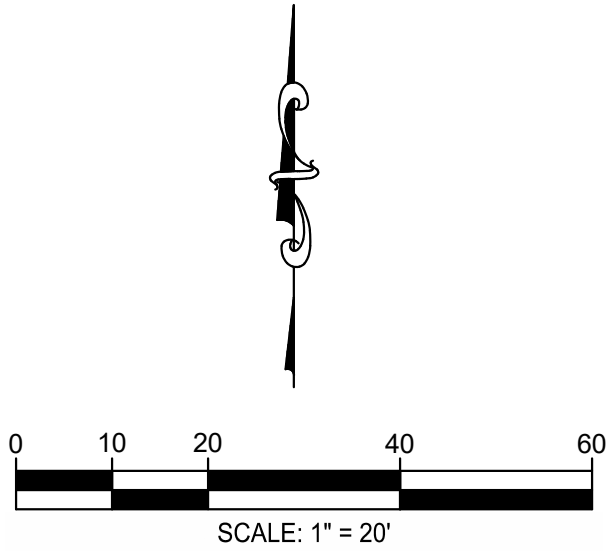
- HEAVY DUTY ASPHALT
- LIGHT DUTY ASPHALT
- SIDEWALK SECTION
- HEAVY DUTY CONCRETE

SITE DATA TABLE

PROPERTY INFORMATION	
ADDRESS:	161 N STATE STREET
MAP/LOT:	MAP 5832 LOT 30
DEED REFERENCE:	BOOK 3686 PAGE 374 OF MERRIMACK REGISTRY OF DEEDS
OWNER:	CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS:	280 MERRIMACK STREET, METHUEN, MA 01844
LOT AREA:	1.66 AC.
CITY:	CONCORD
COUNTY:	MERRIMACK
STATE:	NEW HAMPSHIRE
STREET SETBACK:	15'
SIDE SETBACK:	15'
REAR SETBACK:	15'
RESIDENTIAL BUFFER OPTION:	15' OPTION 1(A)(B)
TOTAL BUFFER AREA:	± 6,695 SF
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF CONCORD
EXISTING ZONING:	CU - URBAN COMMERCIAL DISTRICT
PROPOSED ZONING:	CU - URBAN COMMERCIAL DISTRICT
PROPOSED USE:	CLINIC PROVIDING OUTPATIENT PROCEDURES, WALK-IN SERVICES, URGENT CARE, AND SUBSTANCE USE DISORDER TREATMENT.
SITE AREA	
GROSS LOT ACREAGE:	± 1.66 AC.
CLINIC USE ACREAGE:	± 1.66 AC.
GROUND COVERAGE OF BUILDINGS/STRUCTURES:	
FSR AREA:	± 11,000 SF (15%)
CANOPY AREA:	± 2,073 SF (2.87%)
ATM AREA:	± 48 SF (0.07%)
GENERATOR/TRASH ENCLOSURE AREA:	± 1,036 SF (1.44%)
GROUND COVERAGE FOR PARKING/LOADING AREAS:	
PARKING AREA:	± 8,582 SF (12%)
LOADING AREA:	± 795 SF (1.10%)
CONCRETE PAVEMENT AREA:	± 2,715 SF (3.76%)
DRIVE AISLE AREA:	± 18,152 SF (25%)
INTERNAL LANDSCAPING AREA:	± 2,850 SF (3.95%)
TOTAL PROPOSED IMPERVIOUS SURFACE COVERAGE:	± 44,500 SF (62%)
TOTAL PVIOUS SURFACE COVERAGE:	± 28,000 SF (38%)
BUILDING HEIGHT (MAX.):	45'
BUILDING HEIGHT PROVIDED:	30'
PARKING SUMMARY	
PARKING REQUIRED FSR (1 PER 225 SF)	50
STANDARD PARKING SPACES PROVIDED:	46
ADA PARKING SPACES PROVIDED:	4
TOTAL SPACES PROVIDED:	50

NOTES:

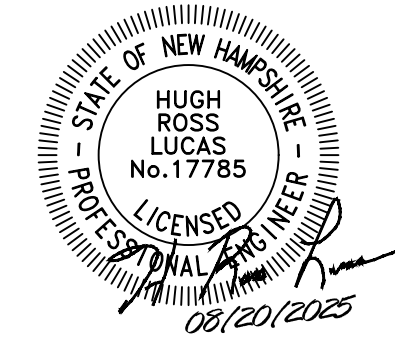
1. CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
3. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAYBE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF FINAL PAVEMENT.
4. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE CLASS "A" (4,000 PSI) UNLESS OTHERWISE NOTED.
5. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
6. DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
7. ALL CURB TURNOUT, EDGE OF PAVEMENT, AND STRIPING RADI ARE FOUR FEET (4') UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY ALL REQUIRED CLEARANCES FROM OVERHEAD POWER LINES PRIOR TO THE START OF CONSTRUCTION.
9. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD OR UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK , THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES MUST BE TAKEN.
10. IN EASEMENTS AND RIGHTS-OF-WAYS, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT AS NOTED.
11. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
12. TRAFFIC CONTROL, IF REQUIRED, SHALL BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
13. IN THE EVENT OF ANY DISCREPANCY AND/OR ERROR FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
14. BUILDING CONTROL POINTS, GRADE AND OFFSET STAKES ARE TO BE SET BY THE CONTRACTOR.
15. ALL CURB RAMPS IN THE PUBLIC ROW ARE TO RECEIVE DETECTABLE WARNINGS PER LOCAL MUNICIPALITY.
16. ALL BUILDINGS WITHIN 10' OF THE BIORETENTION AREA ARE TO BE WATERPROOFED. SEE ARCHITECTURAL PLANS.
17. ALL SITE RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
18. INSTALL CONCRETE JOINTS WHERE SHOWN ON DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS SUCH AS WALLS, CURBS, ETC.
19. ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
20. SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
21. ALL PAVEMENT MARKINGS SHALL BE 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND COMPLY WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) LATEST EDITION. RIGHT-OF-WAY SIGNAGE TO ALSO COMPLY WITH M.U.T.C.D. ON SITE PAVEMENT MARKINGS SHALL BE WHITE PAINT UNLESS NOTED OTHERWISE.
22. THERE ARE NO EXISTING RESTRICTIONS OR RECORDED COVENANTS WITH THE EXISTING LAND.
23. IT IS UNDERSTOOD THAT THERE WILL BE A REQUIRED NHDES/EPA APPROVAL AND COPIES OF ALL SUCH APPROVALS AND SUBMITTALS WILL BE SUBMITTED TO CONCORD PLANNING AS OBTAINED.
24. THE EXISTING SITE IS IN ZONE X ACCORDING TO FEMA FIRM MAP 33013C0533E AND IS NOT WITHIN THE FH-FLOOD HAZARD ZONING OVERLAY DISTRICT.
25. PROJECT WILL ADHERE TO FIRE CODE REQUIREMENTS AND IS SUBJECT TO FIRE MARSHAL REVIEW.
26. RESIDENTIAL BUFFER INFORMATION IS LOCATED ON THE LANDSCAPE PLANS.
27. SLOPES OF PARKING SPACES SHALL NOT EXCEED 5% IN ANY DIRECTION.



SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



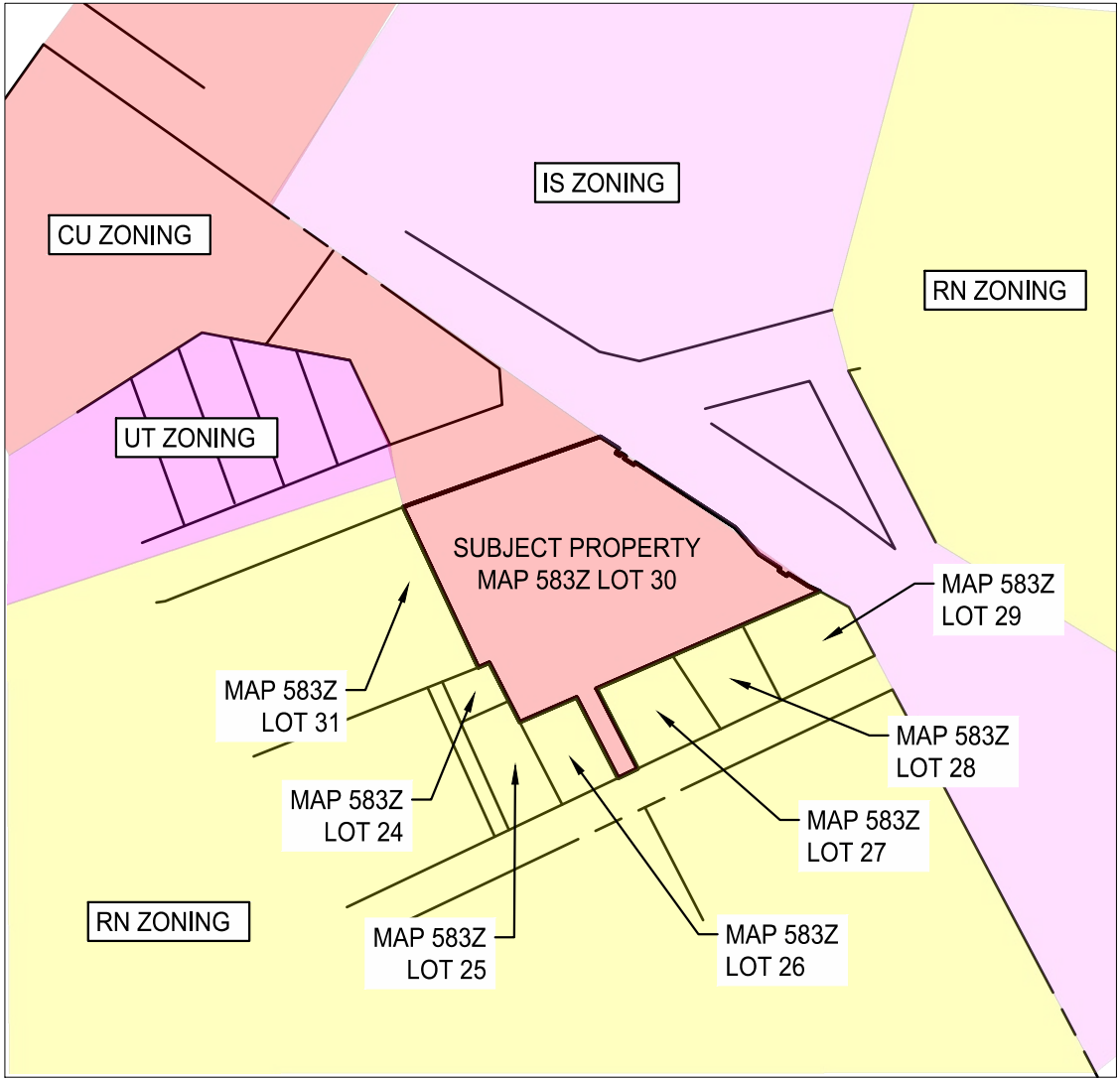
CONCORD FSR
161 NORTH STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301

OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

SR.	DATE	DESCRIPTION
001	08/20/2025	INITIAL SITE PLAN SUBMITTAL

SITE LAYOUT
PLAN

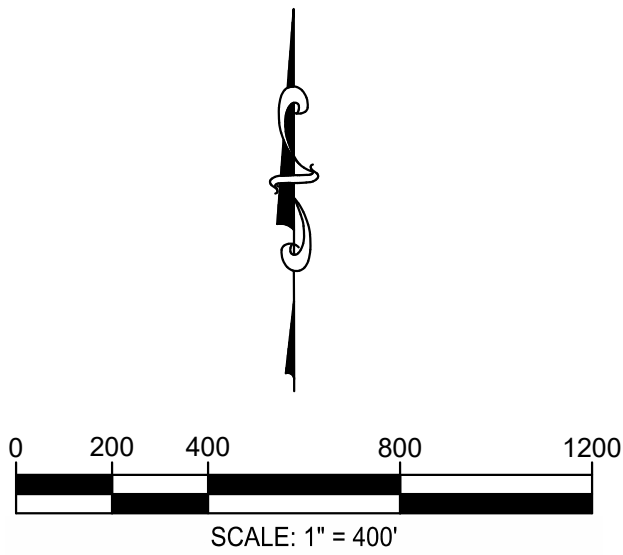
C1.0



SITE DATA TABLE	
PROPERTY INFORMATION	
ADDRESS:	161 N STATE STREET
MAP/LOT:	MAP 583Z LOT 30
DEED REFERENCE:	BOOK 3686 PAGE 374 OF MERRIMACK REGISTRY OF DEEDS
OWNER:	CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS:	280 MERRIMACK STREET, METHUEN, MA 01844
LOT AREA:	1.66 AC.
CITY:	CONCORD
COUNTY:	MERRIMACK
STATE:	NEW HAMPSHIRE
STREET SETBACK:	15'
SIDE SETBACK:	15'
REAR SETBACK:	15'
RESIDENTIAL BUFFER OPTION:	15' OPTION 1(A)(B)
TOTAL BUFFER AREA:	± 6,695 SF
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF CONCORD
EXISTING ZONING:	CU - URBAN COMMERCIAL DISTRICT
PROPOSED ZONING:	CU - URBAN COMMERCIAL DISTRICT
PROPOSED USE:	CLINIC PROVIDING OUTPATIENT PROCEDURES, WALK-IN SERVICES, URGENT CARE, AND SUBSTANCE USE DISORDER TREATMENT.
SITE AREA	
GROSS LOT ACREAGE:	± 1.66 AC.
CLINIC USE ACREAGE:	± 1.66 AC.
GROUND COVERAGE OF BUILDINGS/STRUCTURES:	
FSER AREA:	± 11,000 SF (15%)
CANOPY AREA:	± 2,073 SF (2.87%)
ATM AREA:	± 48 SF (0.07%)
GENERATOR/TRASH ENCLOSURE AREA:	±1,036 SF (1.44%)
GROUND COVERAGE FOR PARKING/LOADING AREAS:	
PARKING AREA:	± 8,582 SF (12%)
LOADING AREA:	± 795 SF (1.10%)
CONCRETE PAVEMENT AREA:	± 2,715 SF (3.76%)
DRIVE AISLE AREA:	± 18,152 SF (25%)
INTERNAL LANDSCAPING AREA:	± 2,850 SF (3.95%)
TOTAL PROPOSED IMPERVIOUS SURFACE COVERAGE:	± 44,500 SF (62%)
TOTAL PVIOUS SURFACE COVERAGE:	± 28,000 SF (38%)
BUILDING HEIGHT (MAX.):	45'
BUILDING HEIGHT PROVIDED:	30'
PARKING SUMMARY	
PARKING REQUIRED FSER (1 PER 225 SF)	50
STANDARD PARKING SPACES PROVIDED:	46
ADA PARKING SPACES PROVIDED:	4
TOTAL SPACES PROVIDED:	50

NOTES:

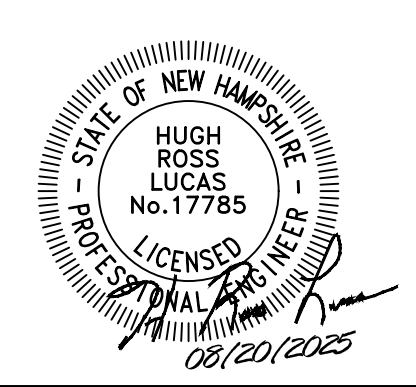
- CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAYBE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF FINAL PAVEMENT.
- CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE CLASS "A" (4,000 PSI) UNLESS OTHERWISE NOTED.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- ALL CURB TURNOUT, EDGE OF PAVEMENT, AND STRIPING RADII ARE FOUR FEET (4') UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ALL REQUIRED CLEARANCES FROM OVERHEAD POWER LINES PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD OR UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK , THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES MUST BE TAKEN.
- IN EASEMENTS AND RIGHTS-OF-WAYS, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION, EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- TRAFFIC CONTROL, IF REQUIRED, SHALL BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- IN THE EVENT OF ANY DISCREPANCY AND/OR ERROR FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK. IF THE ENGINEER IS NOT NOTIFIED, THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR THE COST OF ANY REVISION.
- BUILDING CONTROL POINTS, GRADE AND OFFSET STAKES ARE TO BE SET BY THE CONTRACTOR.
- ALL CURB RAMP IN THE PUBLIC ROW ARE TO RECEIVE DETECTABLE WARNINGS PER LOCAL MUNICIPALITY.
- ALL BUILDINGS WITHIN 10' OF THE BIORETENTION AREA ARE TO BE WATERPROOFED. SEE ARCHITECTURAL PLANS.
- ALL SITE RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
- INSTALL CONCRETE JOINTS WHERE SHOWN ON DETAILS. ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY SPACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINTS BETWEEN CONCRETE PAVEMENT AND ALL VERTICAL ELEMENTS SUCH AS WALLS, CURBS, ETC.
- ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
- SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
- ALL PAVEMENT MARKINGS SHALL BE 4" WIDE UNLESS OTHERWISE NOTED. ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND COMPLY WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) LATEST EDITION. RIGHT-OF-WAY SIGNAGE TO ALSO COMPLY WITH M.U.T.C.D. ON SITE PAVEMENT MARKINGS SHALL BE WHITE PAINT UNLESS NOTED OTHERWISE.
- THERE ARE NO EXISTING RESTRICTIONS OR RECORDED COVENANTS WITH THE EXISTING LAND.
- IT IS UNDERSTOOD THAT THERE WILL BE A REQUIRED NHDES/EPA APPROVAL AND COPIES OF ALL SUCH APPROVALS AND SUBMITTALS WILL BE SUBMITTED TO CONCORD PLANNING AS OBTAINED.
- THE EXISTING SITE IS IN ZONE X ACCORDING TO FEMA FIRM MAP 33013C0533E AND IS NOT WITHIN THE FH-FLOOD HAZARD ZONING OVERLAY DISTRICT.
- PROJECT WILL ADHERE TO FIRE CODE REQUIREMENTS AND IS SUBJECT TO FIRE MARSHAL REVIEW.
- RESIDENTIAL BUFFER INFORMATION IS LOCATED ON THE LANDSCAPE PLANS.
- SLOPES OF PARKING SPACES SHALL NOT EXCEED 5% IN ANY DIRECTION.



SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



CONCORD FSER
161 NORTH STATE STREET

CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301

OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

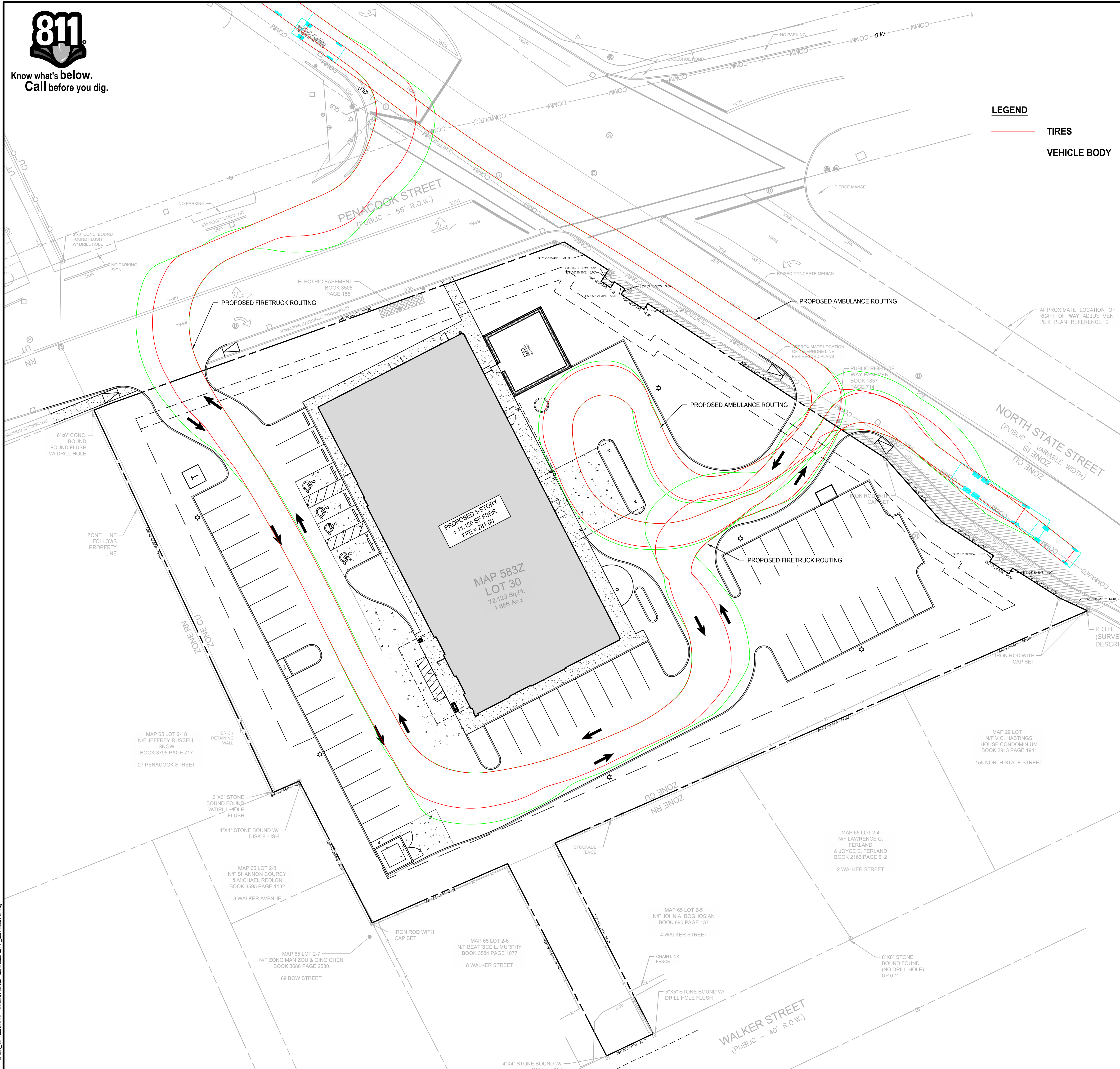
SR.	DATE	DESCRIPTION
001	08/20/2025	INITIAL SITE PLAN SUBMITTAL

LOCATION PLAN

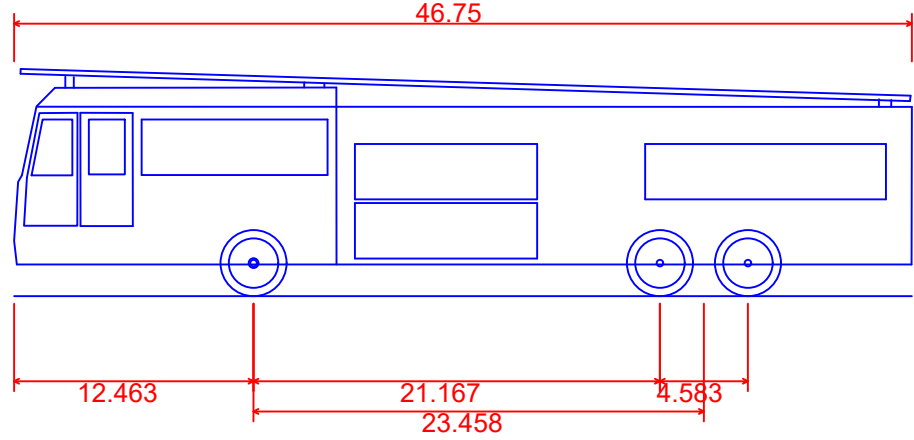
C1.1



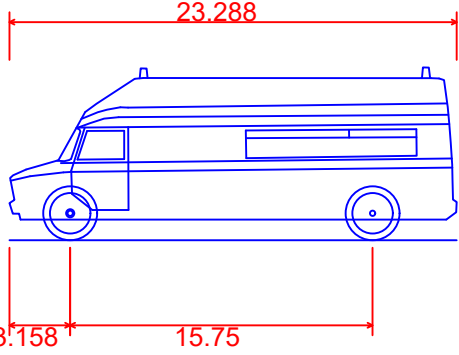
Know what's below.
Call before you dig.



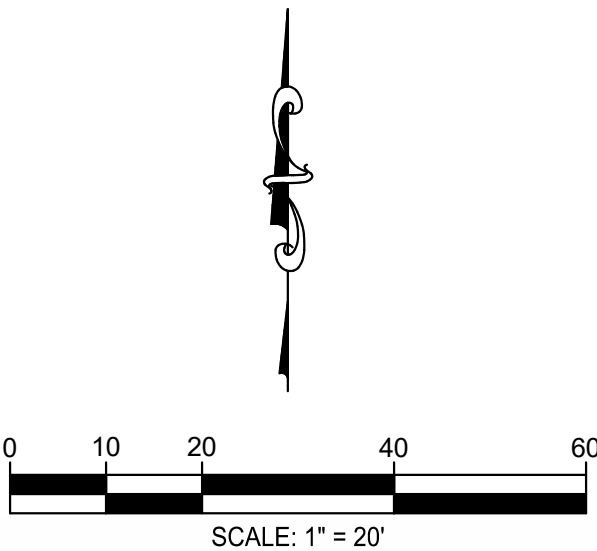
- LEGEND**
- TIRES
 - VEHICLE BODY



Fire - Concord Wheelbase 21.167'
Overall Length 46.750ft
Overall Width 12.463ft
Overall Body Height 21.167ft
Min Body Ground Clearance 23.458ft
Track Width 4.583ft
Lock-to-lock time 9.810ft
Wall to Wall Turning Radius 44.583ft



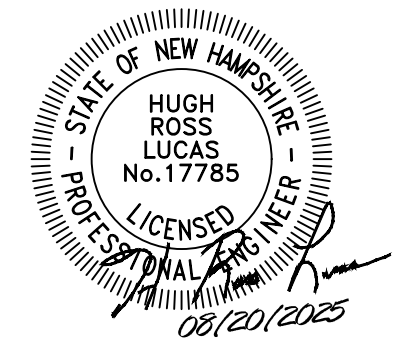
Horton 453 Type I Ford E-Series Ambulance
Overall Length 23.288ft
Overall Width 3.158ft
Overall Body Height 15.75ft
Min Body Ground Clearance 8.021ft
Track Width 8.021ft
Lock-to-lock time 5.00s
Curb to Curb Turning Radius 27.400ft



SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



CONCORD FSR
161 NORTH STATE STREET

CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

SR.	DATE	DESCRIPTION
001	08/20/2025	INITIAL SITE PLAN SUBMITTAL

SITE ACCESS
AND
CIRCULATION

C1.2



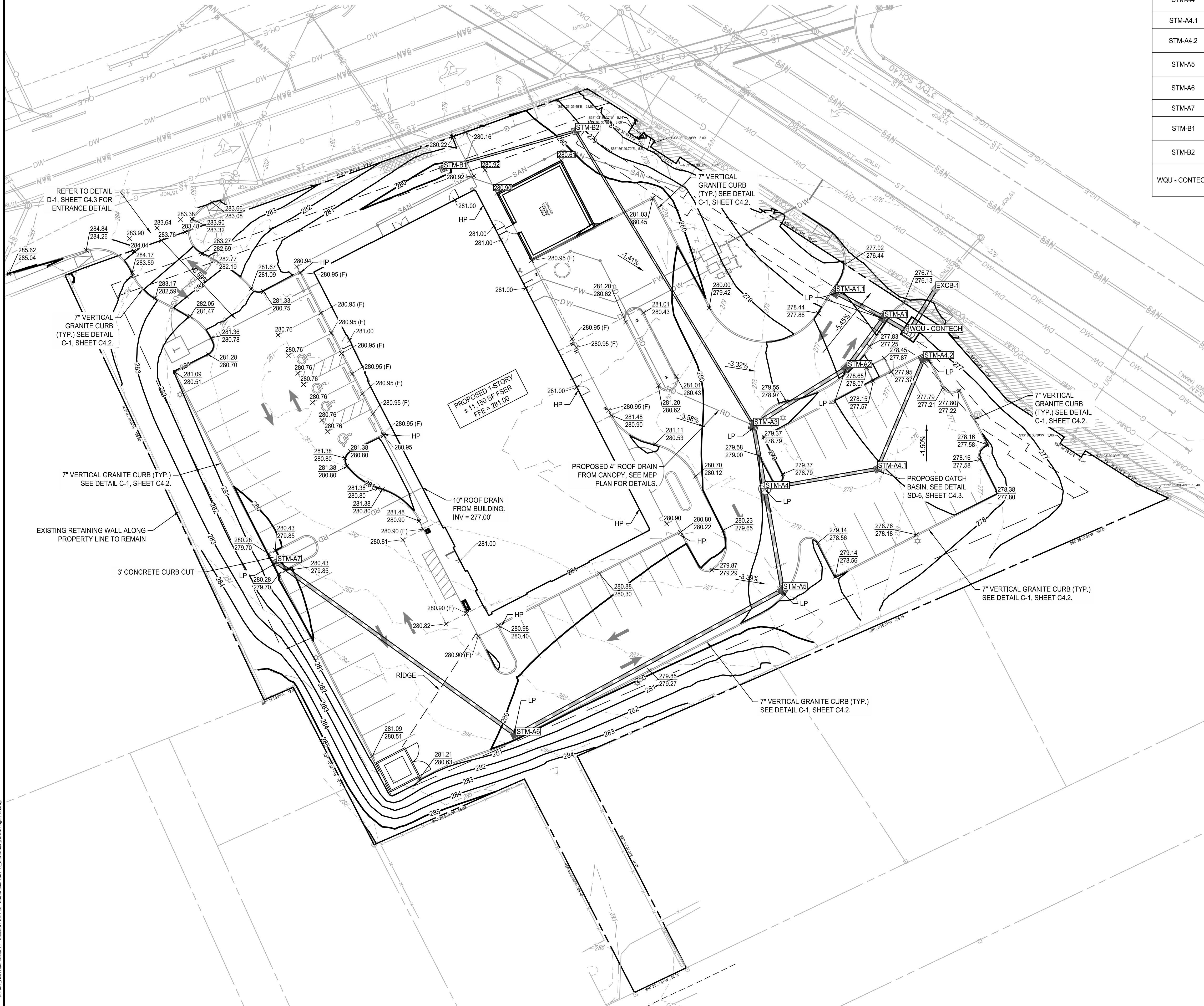
Know what's below.
Call before you dig.

GRADING PLAN NOTES:

- CONTRACTOR TO VERIFY ALL EXISTING UTILITY ELEVATIONS AND GRADES PRIOR TO BEGINNING WORK. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FROM THE PLANS.
- CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF DETAILED ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS OF THE INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ENGINEER SHOULD BE CONTACTED IMMEDIATELY PRIOR TO BEGINNING WORK.
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY OWNER'S REPRESENTATIVE.
- TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS. IF POSSIBLE, STOCKPILE AND REDISTRIBUTE A MINIMUM OF 6" OF TOPSOIL OVER FINISHED LANDSCAPED AREAS UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
- FILL MATERIAL REQUIRED SHALL BE PLACED UNDER THE SUPERVISION OF A GEOTECHNICAL TESTING FIRM AND BE BORROWED AT THE CONTRACTOR'S EXPENSE.
- ALL GRADED AREAS, INCLUDING SLOPES, ARE TO BE SODDED OR MULCHED AND SEEDED WITHIN 14 DAYS AFTER GRADING IS SUSPENDED OR COMPLETED.

- ALL SLOPES EQUAL TO OR GREATER THAN 3:1 MUST BE STABILIZED WITHIN 7 DAYS AFTER GRADING IS SUSPENDED OR COMPLETED.
- GRADING OPERATIONS ARE NOT TO BEGIN UNTIL EROSION CONTROL HAS BEEN INSTALLED AS SHOWN ON DRAWINGS, INSPECTED BY THE STORMWATER DEPARTMENT, AND THE GRADING PERMIT HAS BEEN ISSUED.
- SILT BARRIERS SHALL BE CLEANED OF ACCUMULATED SEDIMENT OR REPLACED WHEN APPROXIMATELY 33% FILLED WITH SEDIMENT OR DIRECTED BY THE EROSION CONTROL SPECIALIST.
- ALL DIMENSIONS AND LOCATIONS OF TEMPORARY EROSION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
- WHEN THE TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER NEEDED FOR THE INTENDED PURPOSE IN THE OPINION OF THE DESIGNATED SITE EROSION CONTROL SPECIALIST, THEY MAY BE REMOVED.
- THE CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION FOR TREES TO REMAIN IN ACCORDANCE WITH CITY SPECIFICATIONS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT NOR HANDLE OR STORE MATERIALS WITHIN THE DRIP LINES OF TREES TO REMAIN.
- IF NEEDED, CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH LOCAL NPDES DEPARTMENT STANDARDS.

- CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING.
- PRIOR TO FINAL ACCEPTANCE AND INSPECTION, SEDIMENT MUST BE REMOVED ALL NEW AND EXISTING STRUCTURES AND WATER QUALITY SYSTEMS.
 - CONTRACTOR TO CONTACT ENGINEER PRIOR TO INSTALLATION OF ALL STORMWATER AND UNDERGROUND UTILITY INFRASTRUCTURE ASSOCIATED WITH THE PROJECT IN ORDER TO DETERMINE REQUIRED AS-BUILT INFORMATION.
 - GC IS TO PHOTOGRAPH INSTALLATION OF ALL WATER QUALITY INFRASTRUCTURE.
 - ALL SOILS ON SITE ARE HYDROLOGIC SOIL GROUP A TYPE WINDSOR-URBAN LAND COMPLEX (598B) PER USDA SOIL REPORT.
 - SLOPES OF PARKING SPACES SHALL NOT EXCEED 5% IN ANY DIRECTION.



STRUCTURE TABLE

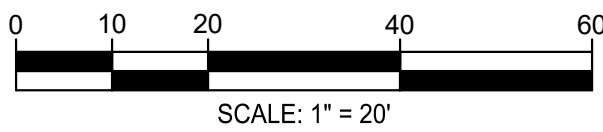
STRUCTURE	TYPE	T.C.	PIPE IN : I.E.	PIPE OUT : I.E.
EXCB-1	EXISTING CATCH BASIN	275.29	WQU-EXCB-1 - 15" RCP (SW) : 266.41	
STM-A1	SINGLE CURB INLET	276.66	STM-A2-STM-A1 - 15" HDPE (SW) : 267.66 STM-A1.1-STM-A1 - 15" HDPE (NW) : 267.66	STM-A1-WQU - 15" HDPE (SE) : 267.56
STM-A1.1	SINGLE CURB INLET	276.78		STM-A1.1-STM-A1 - 15" HDPE (SE) : 268.74
STM-A2	SINGLE CURB INLET	277.65	STM-A3-STM-A2 - 15" HDPE (SW) : 269.50	STM-A2-STM-A1 - 15" HDPE (NE) : 269.40
STM-A3	SINGLE CURB INLET	278.81	STM-A4-STM-A3 - 15" HDPE (S) : 272.77 STM-B2-STM-A3 - 8" HDPE (NW) : 272.77	STM-A3-STM-A2 - 15" HDPE (NE) : 272.67
STM-A4	48 INCH MANHOLE (24" MAX PIPE)	278.93	STM-A5-STM-A4 - 15" HDPE (S) : 273.53 STM-A4-STM-A4.1 - 12" HDPE (E) : 273.53	STM-A4-STM-A3 - 15" HDPE (N) : 273.43
STM-A4.1	CATCH BASIN - SD6	278.04	STM-A4.1-STM-A4.2 - 12" HDPE (NE) : 273.76	STM-A4-STM-A4.1 - 12" HDPE (W) : 273.66
STM-A4.2	SINGLE CURB INLET	277.05		STM-A4.1-STM-A4.2 - 12" HDPE (SW) : 274.00
STM-A5	SINGLE CURB INLET	278.38	STM-A6-STM-A5 - 15" HDPE (SW) : 273.94	STM-A5-STM-A4 - 15" HDPE (N) : 273.84
STM-A6	SINGLE CURB INLET	279.74	STM-A7-STM-A6 - 15" HDPE (NW) : 275.14	STM-A6-STM-A5 - 15" HDPE (NE) : 275.04
STM-A7	AREA INLET	279.77		STM-A7-STM-A6 - 15" HDPE (SE) : 276.31
STM-B1	NYLOPLAST 12 INCH BASIN	279.45		STM-B1-STM-B2 - 8" HDPE (E) : 275.24
STM-B2	NYLOPLAST 12 INCH BASIN	279.32	STM-B1-STM-B2 - 8" HDPE (W) : 274.70	STM-B2-STM-A3 - 8" HDPE (SE) : 274.60
WQU - CONTECH	CONTECH JELLYFISH JFPD0806	277.17	STM-A1-WQU - 15" HDPE (NW) : 267.50	WQU-EXCB-1 - 15" RCP (NE) : 266.77

PIPE TABLE

NAME	MATERIAL	DIA.	APPROX. LENGTH	SLOPE
STM-A1-WQU	HDPE	15"	12'	0.52%
STM-A1.1-STM-A1	HDPE	15"	22'	5.00%
STM-A2-STM-A1	HDPE	15"	25'	7.08%
STM-A3-STM-A2	HDPE	15"	44'	7.27%
STM-A4-STM-A3	HDPE	15"	25'	2.60%
STM-A4-STM-A4.1	HDPE	12"	45'	0.29%
STM-A4.1-STM-A4.2	HDPE	12"	47'	0.50%
STM-A5-STM-A4	HDPE	15"	41'	0.75%
STM-A6-STM-A5	HDPE	15"	120'	0.91%
STM-A7-STM-A6	HDPE	15"	117'	1.00%
STM-B1-STM-B2	HDPE	8"	54'	1.00%
STM-B2-STM-A3	HDPE	8"	136'	1.34%
WQU-EXCB-1	RCP	15"	20'	1.76%

LEGEND

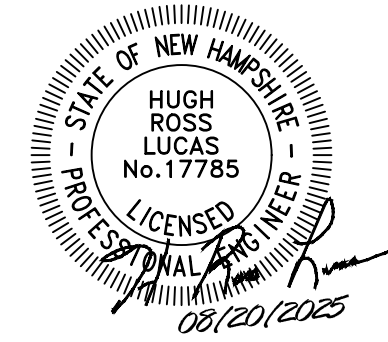
- DW DOMESTIC WATER SERVICE
- G GAS SERVICE
- SAN SANITARY SEWER SERVICE
- OH-E OVERHEAD ELECTRIC SERVICE
- OH-T OVERHEAD TELEPHONE SERVICE
- UD PERVIOUS PAVEMENT UNDERDRAIN
- RD ROOF DRAIN TRUNK LINE
- STORM PIPE (SEE PLANS FOR MATERIAL)
- 562 EXISTING CONTOUR
- 562 PROPOSED CONTOUR
- DRIVEWAY CENTERLINE
- PROPERTY LINE
- S SANITARY SEWER MANHOLE
- ST STORM SEWER MANHOLE
- CURB INLET
- CATCH BASIN
- NYLOPLAST DRAIN BASIN
- ELECTRIC/COMMUNICATION POLE
- TOP OF CURB SPOT ELEVATION
- BOTTOM OF CURB SPOT ELEVATION
- RETAINING WALL
- TW:XXX.XX
BW:XXX.XX TOP OF WALL
- XXX.XX (F) FINISHED GRADE AT BOTTOM OF WALL
- FLUSH SPOT ELEVATION
- LP LOW POINT
- HP HIGH POINT



SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



CONCORD FSER
161 NORTH STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301

OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

SR.	DATE	DESCRIPTION	INITIAL SITE PLAN SUBMITTAL
001	08/20/2025	INITIAL SITE PLAN SUBMITTAL	

SITE GRADING
PLAN

C2.0



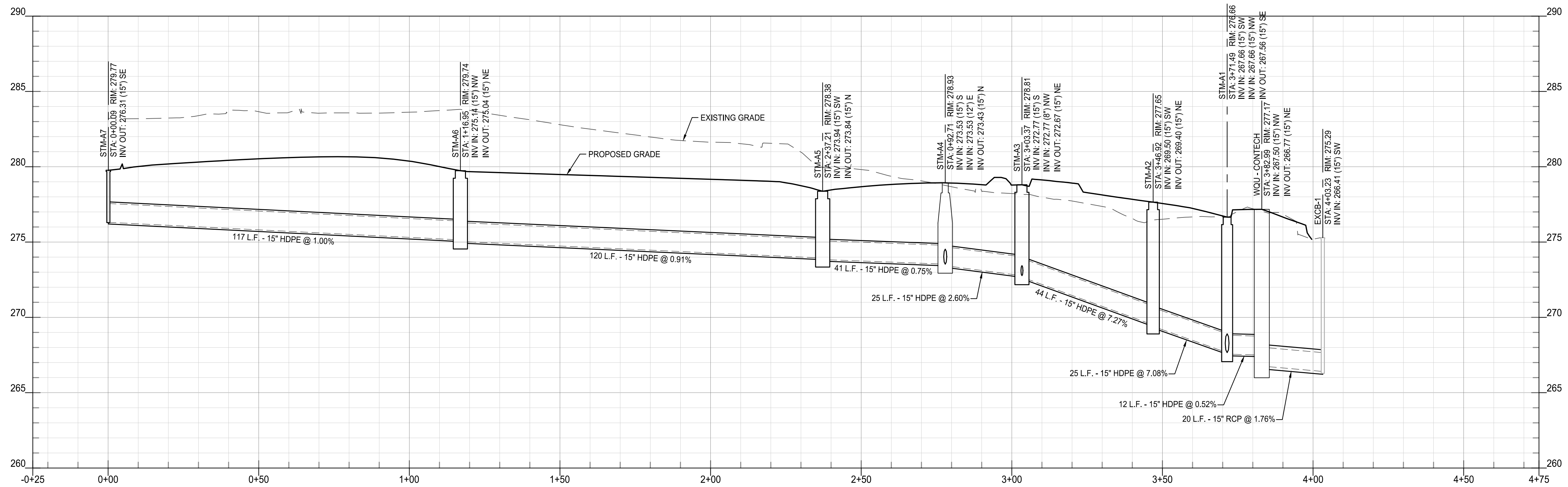
FULMER LUCAS

2002 THOMAS JONES RD - SUITE 0200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



CONCORD FSER
161 NORTH STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
OWNED: CALIFIA REALTY TRUST COMPANY LLC

OWNER: CAPUA REALTY TRUST, CAPUA LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203



STORM A PROFILE

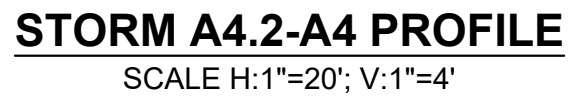
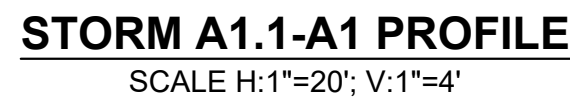
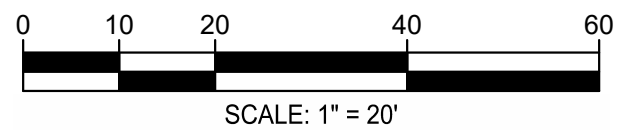
SCALE H:1"=20'; V:1"=4'

SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

STM-A PLAN AND PROFILE

C2.1

1361-14 CONCORD FSER

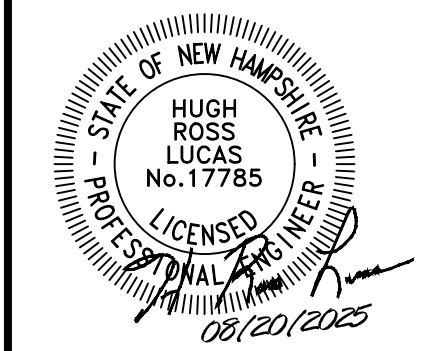
[illegible]

STM-A PLAN AND PROFILE

C2.2

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



CONCORD FSER
161 NORTH STATE STREET

CORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST. METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

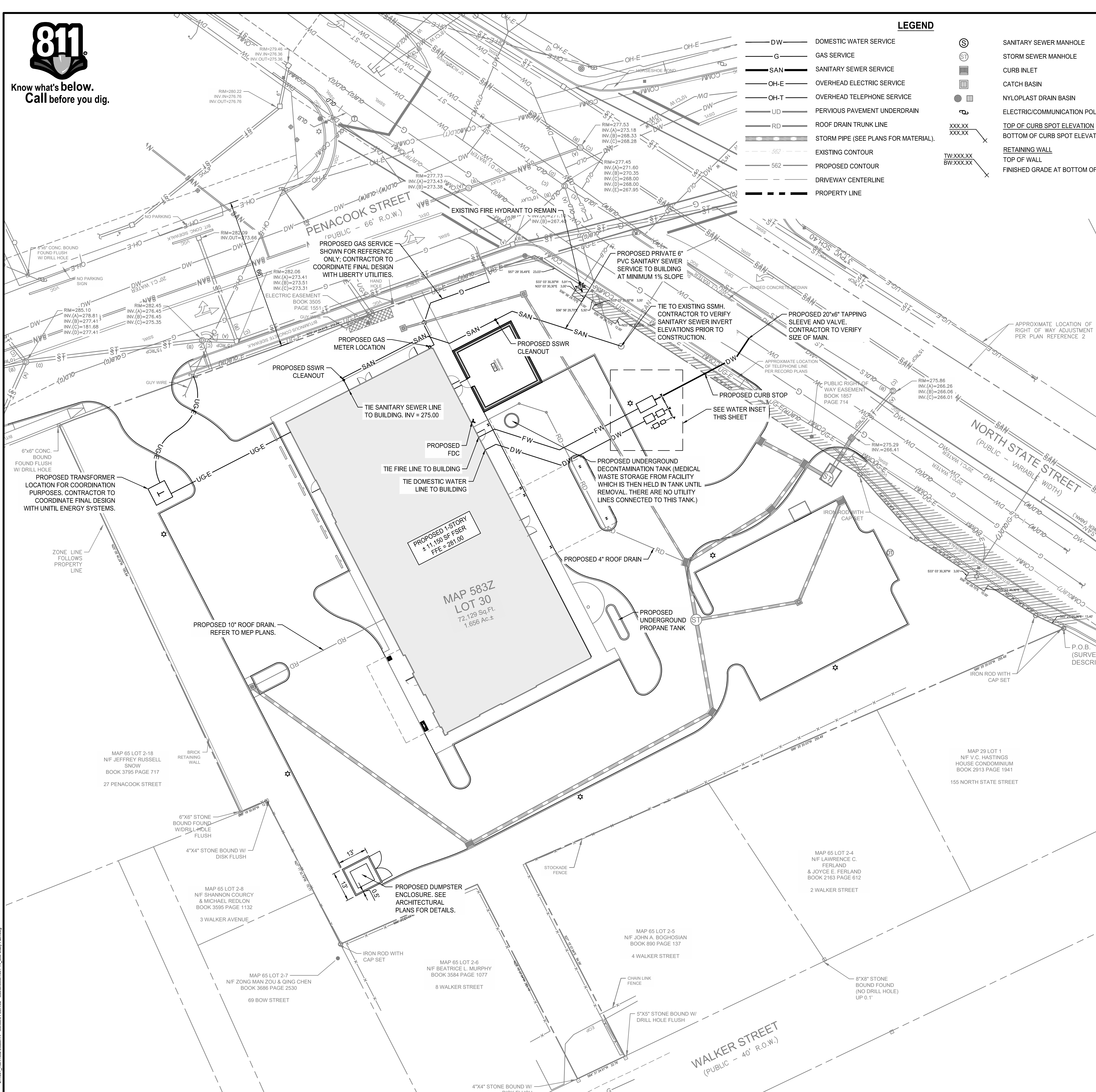
Wednesday, August 20, 2025

SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

1361-14 CONCORD FSER



Know what's below.
Call before you dig.



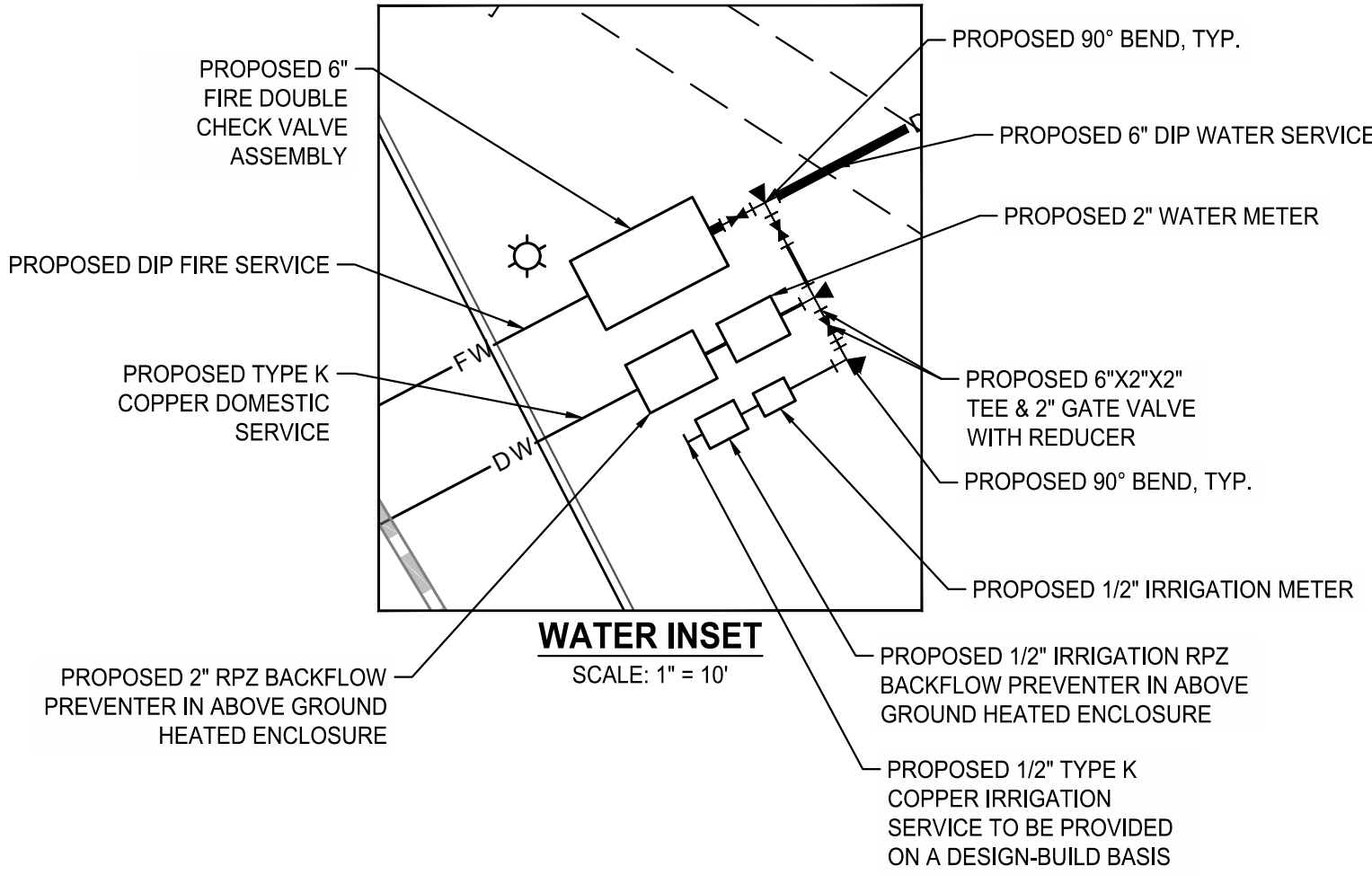
LEGEND

- DW DOMESTIC WATER SERVICE
- G GAS SERVICE
- SAN SANITARY SEWER SERVICE
- OH-E OVERHEAD ELECTRIC SERVICE
- OH-T OVERHEAD TELEPHONE SERVICE
- UD PERVIOUS PAVEMENT UNDERDRAIN
- RD ROOF DRAIN TRUNK LINE
- STORM PIPE (SEE PLANS FOR MATERIAL).
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRIVEWAY CENTERLINE
- PROPERTY LINE

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- CURB INLET
- CATCH BASIN
- NYLOPLAST DRAIN BASIN
- ELECTRIC/COMMUNICATION POLE
- TOP OF CURB SPOT ELEVATION
- BOTTOM OF CURB SPOT ELEVATION
- RETAINING WALL
- TOP OF WALL
- FINISHED GRADE AT BOTTOM OF WALL

UTILITY NOTES:

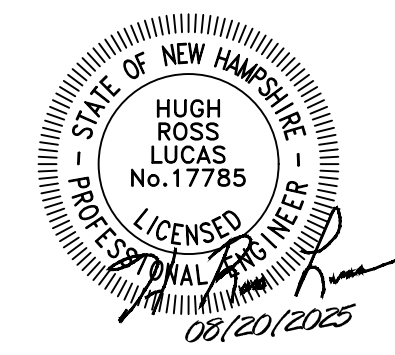
- ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO TOP OF SUBGRADE WITH CRUSHED STONE UNLESS PUBLIC WORKS SPECIFICATIONS REQUIRE FLOWABLE FILL.
- WHERE SEWER LINES PASS OVER OR WITHIN 2.5' OF WATER MAINS, THE SEWER SHALL BE ENCASED IN CONCRETE.
- ALL PAVED AREAS SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWERS.
- PROPOSED SEWER LINES INSTALLED WITHIN NATURAL EARTH MAY BE SDR 35 PVC. PROPOSED SEWER LINES INSTALLED WITHIN FILL MUST BE DUCTILE IRON PIPE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS, AND FITTINGS REQUIRED TO CONSTRUCT UTILITIES.
- THE CONTRACTOR SHALL VERIFY THE EXISTING INVERT ELEVATIONS OF SANITARY SEWERS PRIOR TO CONSTRUCTION.
- ALL WATER METERS WILL BE PURCHASED FROM JURISDICTION WATER DEPARTMENT.
- A MINIMUM OF 3' OF GROUND COVER SHALL BE MAINTAINED OVER ALL PROPOSED SANITARY SEWER MAINS.
- SEE MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS OF SEWER CONNECTIONS, WATER CONNECTIONS, AND GAS CONNECTIONS. THE UTILITY CONTRACTOR IS TO INSTALL PROPOSED UTILITIES TO WITHIN 5' OF THE BUILDING LINE. A LICENSED SPRINKLER CONTRACTOR MUST INSTALL SPRINKLER SYSTEM PIPING FROM POINT OF SERVICE, IF APPLICABLE.
- ALL UTILITY INSTALLATION IS TO BE DONE IN ACCORDANCE WITH THE LOCAL STANDARDS OR OTHER APPLICABLE CODES.
- GC SHALL REVIEW CONCORD WATER SERVICES, LIBERTY UTILITIES, AND UNITIL ENERGY SPECIFICATIONS PRIOR TO INITIATING WORK.
- CURRENT SERVICE TO EXISTING STRUCTURES SHALL NOT BE INTERRUPTED WITHOUT ADVANCED WRITTEN PERMISSION FROM THE OWNER.
- GC IS TO CONTACT CONCORD WATER SERVICES 72 HOURS PRIOR TO TAPPING MANHOLE FOR SANITARY SEWER SERVICE.
- CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES AND THE REQUIREMENTS OF THE LOCAL UTILITY COMPANIES.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND INVERT OF ALL EXISTING UTILITIES AND STORM DRAINAGE. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR TO CONTRACTOR-CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE PURPOSE OF THE PROPOSED UNDERGROUND DECONTAMINATION TANK IS TO STORE MEDICAL WASTE FROM FACILITY WHICH IS THEN HELD IN TANK UNTIL REMOVAL. THERE ARE NO UTILITY LINES CONNECTED TO PROPOSED DECONTAMINATION TANK.
- ANY CHANGES IN UTILITY LOCATIONS TO SOMEWHERE OTHER THAN WHAT IS ON THE APPROVED PLAN MUST BE REVIEWED AND APPROVED BY THE CITY OF CONCORD PRIOR TO INSTALLATION.



WATER INSET
SCALE: 1" = 10'

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



CONCORD FSER
161 NORTH STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301

OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

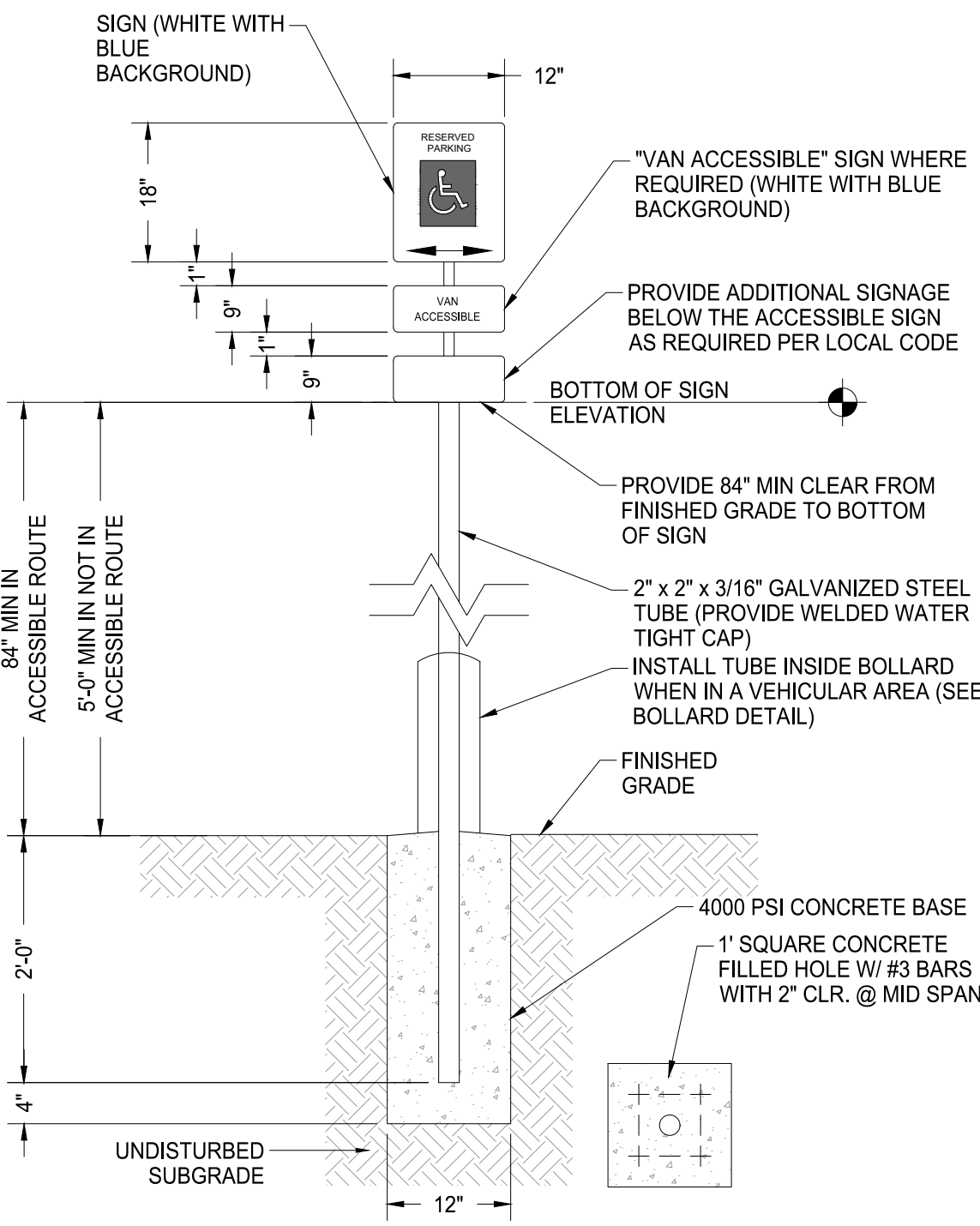
SR.	DATE	DESCRIPTION
001	08/20/2025	INITIAL SITE PLAN SUBMITTAL

SITE UTILITY
PLAN

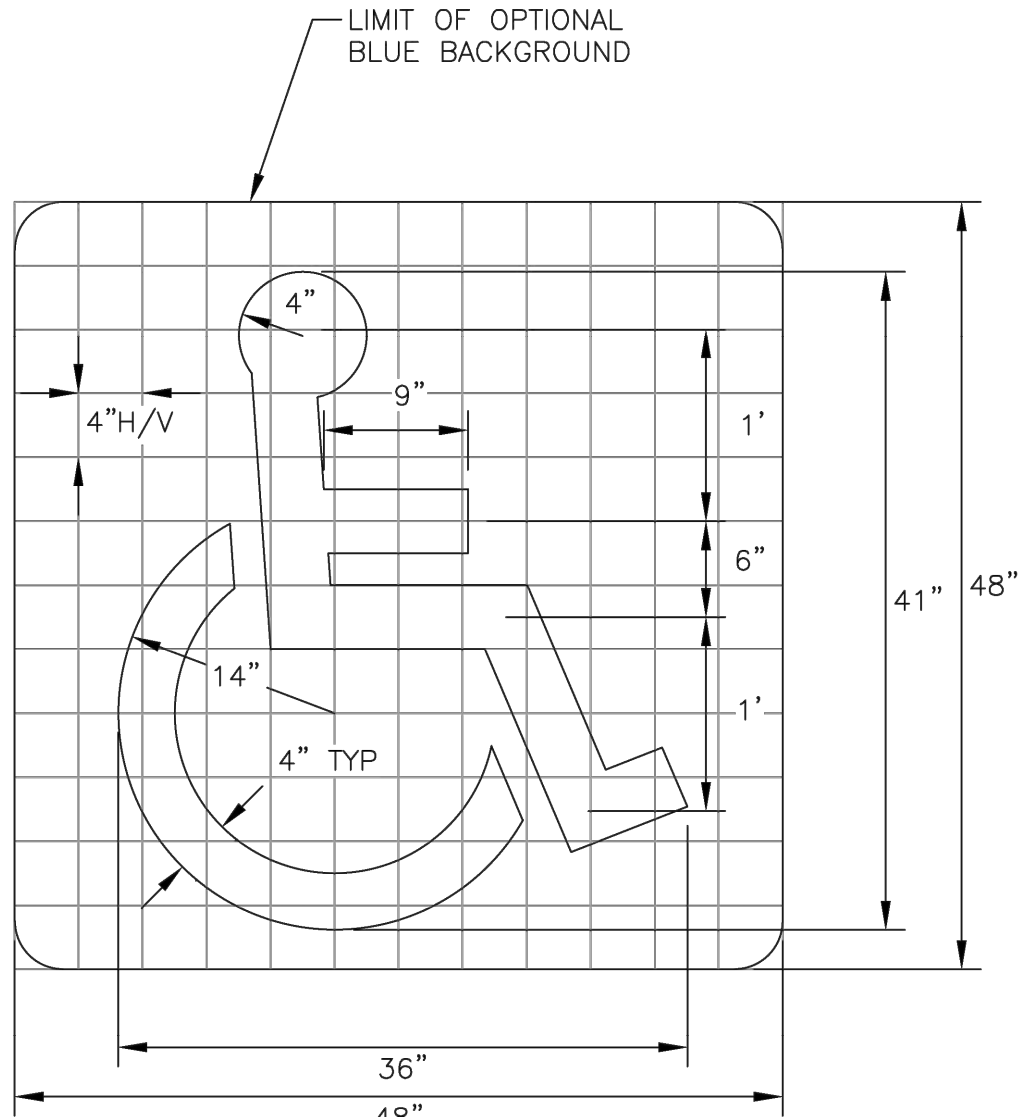
C3.0

SURVEY INFO
PROVIDED BY: GREENMAN-PEDERSEN, INC.
DATUM: NEW HAMPSHIRE STATE PLANE (NAD83 & NAVD 88)

- NOTES:
- THE R7-8 SIGN SHOULD BE USED TO DEFINE WHICH PARKING SPACE OR SPACES ARE RESERVED FOR THE DISABLED OR WHEELCHAIR ACCESSIBLE IN ACCORDANCE WITH STATE & LAW ORDINANCE.
 - PARKING SPACES SIGNED AS WHEEL CHAIR ACCESSIBLE PARKING SPACES MUST BE SUPPLEMENTED WITH PAVEMENT MARKINGS WHERE THERE IS A SUITABLE PAVEMENT SURFACE.
 - ATTACH SIGNAGE TO TUBE WITH 3/8" CADMIUM PLATED BOLTS, NUTS AND WASHERS.

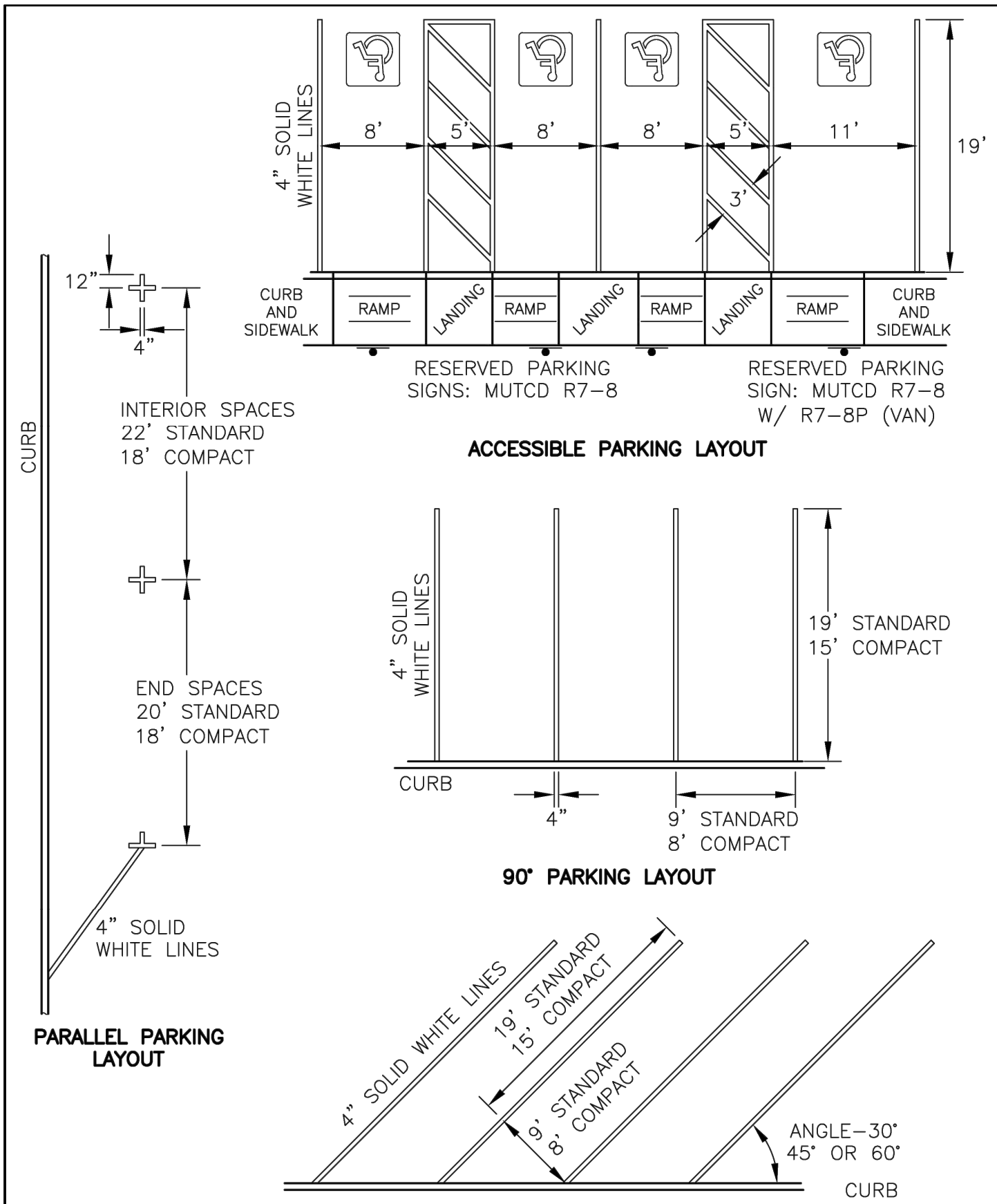


ACCESSIBLE PARKING SIGN
N.T.S.



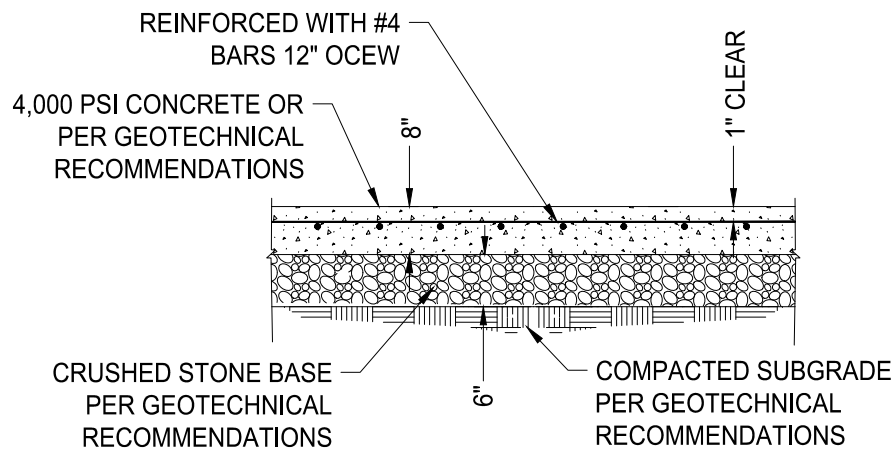
SYMBOL SHALL BE WHITE WITH AN
OPTIONAL BLUE BACKGROUND

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
-	-	-	ACCESSIBLE PARKING SPACE	DRAWING NO.	M-5
-	-	-	PAVEMENT MARKING	DATE:	12/08
-	-	-		PAGE:	1

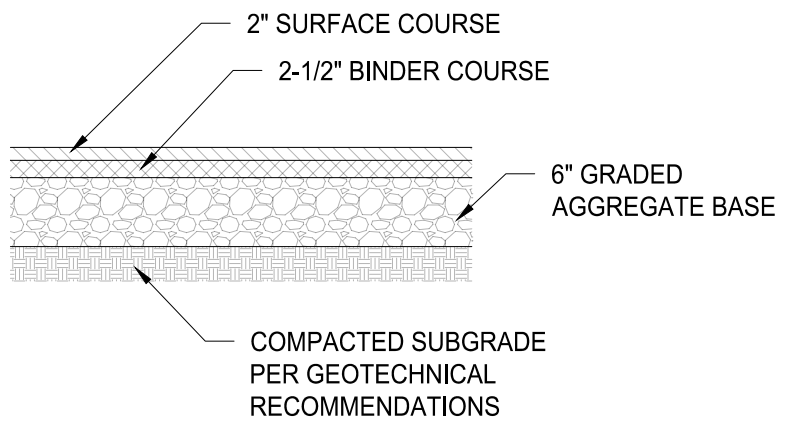


NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
-	-	-	PARKING SPACE LAYOUT	DRAWING NO.	M-4
-	-	-		DATE:	12/08
-	-	-		PAGE:	1

NOTE:
EXPANSION JOINTS ARE TO BE SPACED 25' TO 30' APART
DEPENDING ON TRANSVERSE JOINT MARKINGS.

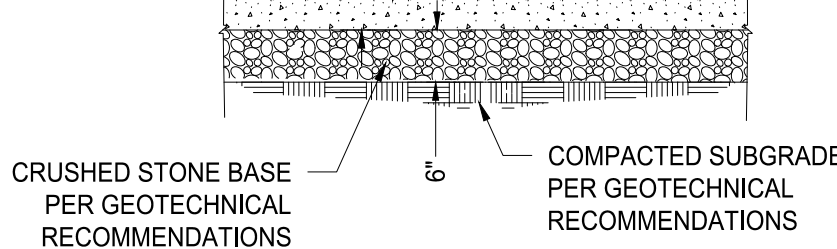


HEAVY DUTY CONCRETE SECTION
N.T.S.

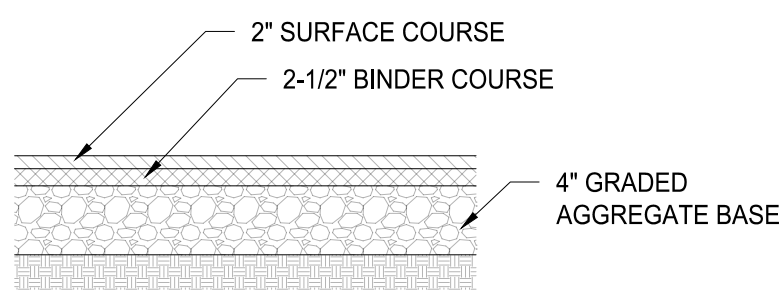


HEAVY DUTY ASPHALT PAVEMENT SECTION
N.T.S.

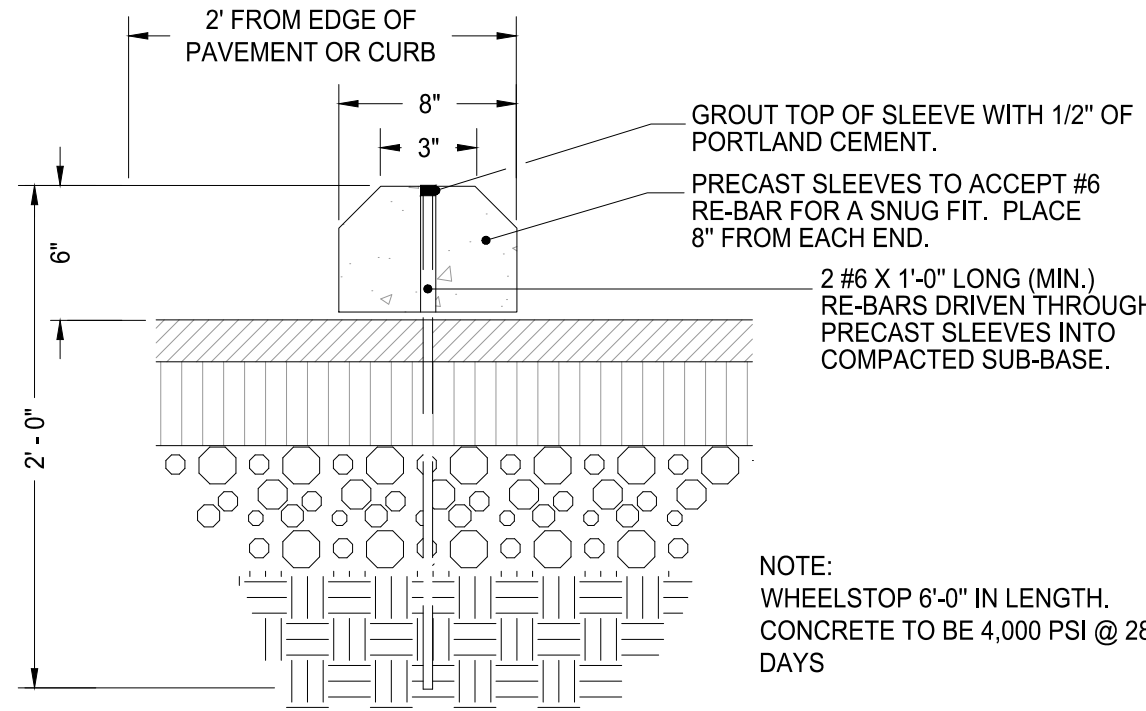
NOTE:
EXPANSION JOINTS ARE TO
BE SPACED 25' TO 30' APART
DEPENDING ON TRANSVERSE
JOINT MARKINGS.



CONCRETE SIDEWALK SECTION
N.T.S.

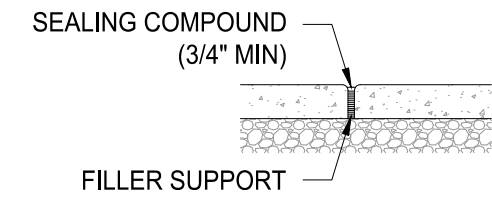


LIGHT DUTY ASPHALT PAVEMENT SECTION
N.T.S.



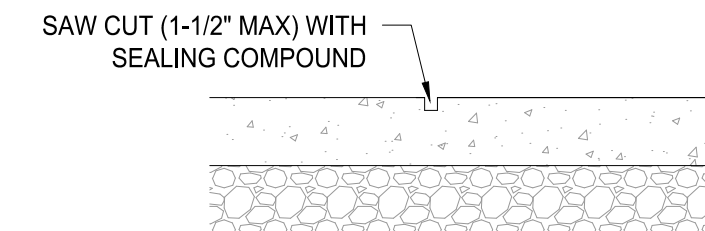
CONCRETE WHEELSTOP
N.T.S.

NOTE:
30' MAXIMUM SPACING.

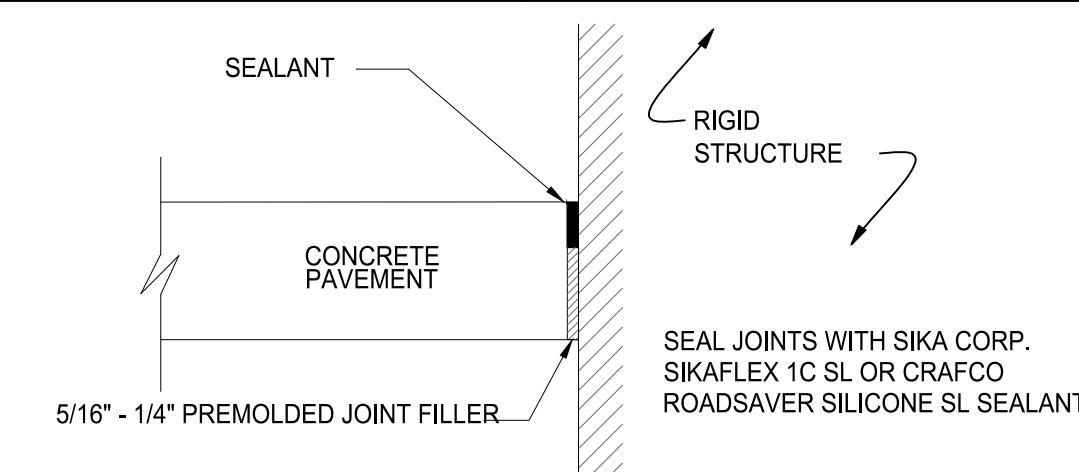


EXPANSION JOINT
N.T.S.

NOTE:
REFER TO THE GEOTECHNICAL REPORT FOR
ADDITIONAL RECOMMENDATIONS .

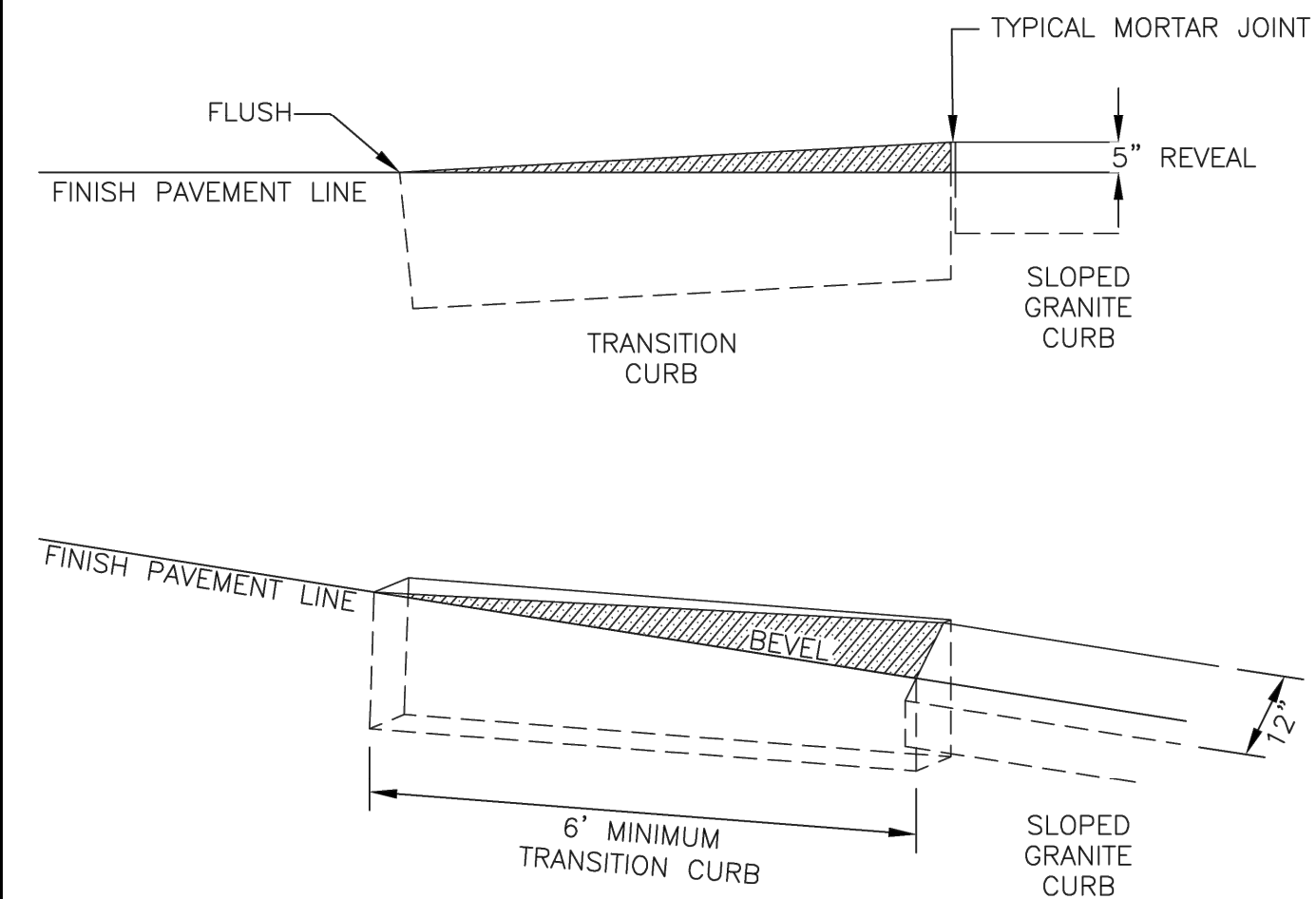


CONTROL JOINT
N.T.S.

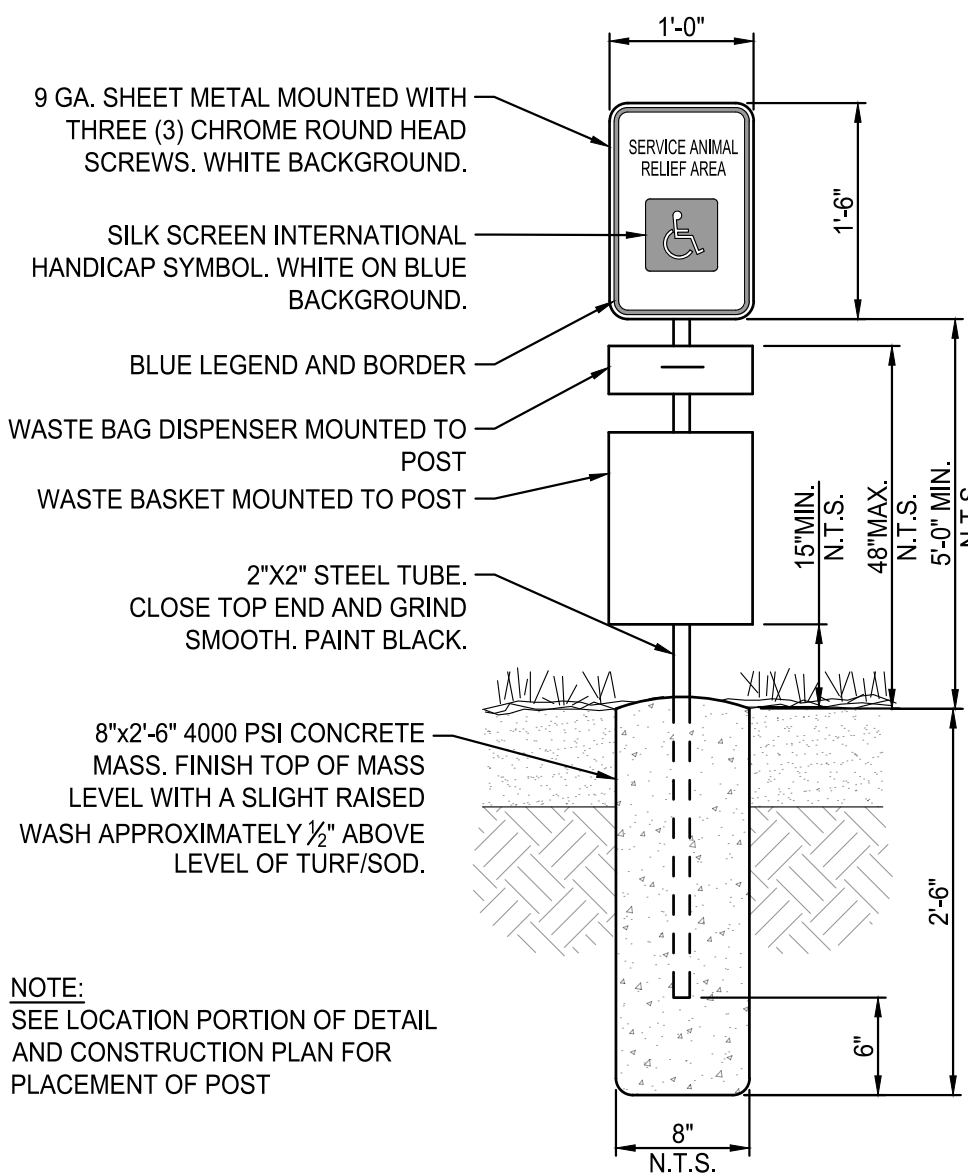


NOTE:
PROVIDE ISOLATION JOINT WHERE CONCRETE
PAVEMENT ABUTS A RIGID STRUCTURE.

ISOLATION JOINT
N.T.S.

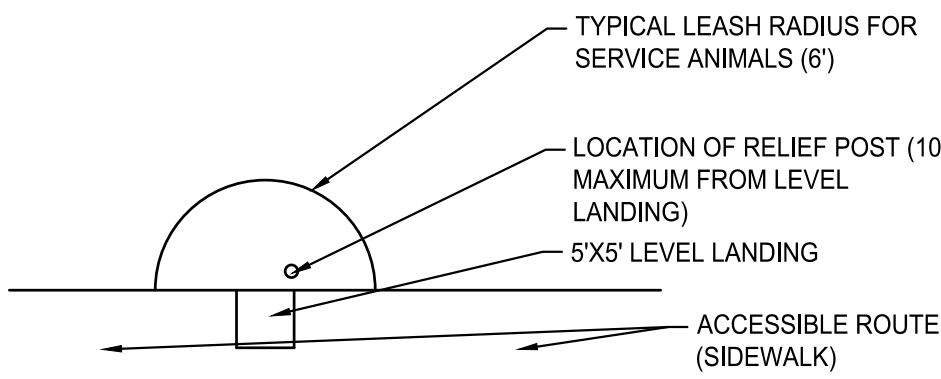


NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	ROADWAY
-	-	-	SLOPE GRANITE CURB	DRAWING NO.	C-4
-	-	-	TRANSITION	DATE:	01/12
-	-	-		PAGE:	1



NOTE:
SEE LOCATION PORTION OF DETAIL
AND CONSTRUCTION PLAN FOR
PLACEMENT OF POST

SERVICE ANIMAL RELIEF AREA
N.T.S.



CONCORD FSER
161 NORTH STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

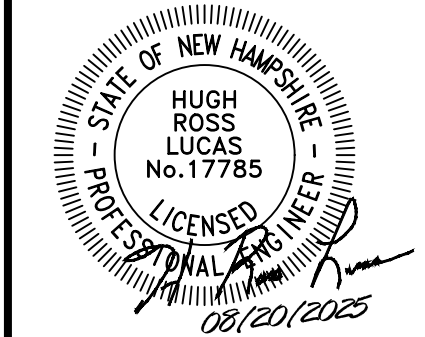
DESCRIPTION	DATE	CH
INITIAL SITE PLAN SUBMITTAL	08/20/2025	

SITE DETAILS

C4.0

FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	EPSC
-	-	-	CONSTRUCTION ENTRANCE DETAIL	DRAWING NO.	E-1
-	-	-		DATE:	01/08
-	-	-		PAGE:	1
-	-	-			
-	-	-			

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	EPSC
-	-	-	STONE & BLOCK GRATE INLET PROTECTION DETAILS	DRAWING NO.	E-2
-	-	-		DATE:	01/09
-	-	-		PAGE:	1
-	-	-			
-	-	-			

1299CGS

APPROX. DRAIN AREA = 60.62 SQ IN
APPROX. WEIGHT WITH FRAME = 40.68 LBS

The technical drawing includes three main views:

- Side View:** Shows the profile of the grate assembly. The total height is 0.59 inches. The frame has a thickness of 0.3 inches. A label points to the "HINGED GRATE FOR EASY ACCESS".
- Top View:** Shows the square grate assembly with a side length of 13.38 inches. The central circular opening has a diameter of 2.26 inches.
- Detail View:** A close-up of the grate bars, which are labeled "NYLOPLAST" and "DUCTILE IRON". It includes a warning label: "DO NOT POLLUTE DRAINS TO WATERWAYS". The width of the grate bar section is 0.19 inches.

DIMENSIONS ARE FOR REFERENCE ONLY

ACTUAL DIMENSIONS MAY VARY

DIMENSIONS ARE IN INCHES

GRATE MEETS H-20 LOAD RATING

QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05

PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

LOCKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO.

7001-110-035

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE THEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

©2010 NYLOPLAST

DRAWN BY	EBC	MATERIAL				
DATE	3-3-06	DUCTILE IRON				
REVISED BY	EBC	PROJECT NO./NAME				
DATE	3-13-10					
DWG SIZE	A	SCALE	1:8	SHEET	1 OF 1	
DWG NO.	7001-110-203	REV	C			

3130 VERONA AVE
BUFORD, GA 30518
PHN (770) 932-2443
FAX (770) 932-2490
www.nyloplast-us.com

TITLE
12 IN STANDARD GRATE ASSEMBLY

PLAN VIEW
(TOP SLAB NOT SHOWN FOR CLARITY)

ELEVATION VIEW

Jellyfish® Filter

THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENT NOS. 5,497,726; 5,251,618; US 5,123,092; OTHER INTERNATIONAL PATENTS PENDING

CONTECH®
ENGINEERED SOLUTIONS LLC

www.ContechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45380
(603) 235-1000

24"
FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

24"
TRENCH COVER
(LENGTH VARIES)
N.T.S.

GENERAL NOTES:

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.ContechES.com
- JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0' - 10' AND GROUNDWATER ELEVATION AT OR BELOW. THE OUTLET PIPE INVERT ELEVATION, ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATINGS AND BE CAST WITH THE CONTECH LOGO.
- STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-618, AND AASHTO LOAD FACTOR DESIGN METHOD.
- OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
- THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS RECOMMENDED TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE.
- NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE.
- CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
- CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION.

JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD PEAK DIVERSION STYLE WITH PRECAST TOP SLAB IS SHOWN. ALTERNATE OFFLINE VAULT AND/OR SHALLOW ORIENTATIONS ARE AVAILABLE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD

CARTRIDGE SELECTION	54"	40"	27"	15"
CARTRIDGE LENGTH	54"	40"	27"	15"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-6"	5'-4"	4'-3"	3'-3"
FLOW RATE HI-FLO / DRAINDOWN (CFS) (PER CART)	0.178 / 0.089	0.133 / 0.067	0.089 / 0.045	0.049 / 0.025
MAX. TREATMENT (CFS)	1.96	1.47	0.98	0.54
DECK TO INSIDE TOP (MIN) (B)	5.00	4.00	4.00	4.00

SECTION A-A

DEPTH + MIN. 4" FREEBOARD

SANDBAG

PERMEABLE GEOTEXTILE FABRIC

SECTION B-B

STAPLES

EARTHEN BERM

PERMEABLE GEOTEXTILE FABRIC

PLAN VIEW

BERM

PERMEABLE GEOTEXTILE FABRIC

VARIABLE

VARIABLE

A

CONCRETE WASHOUT SIGN (OR EQUIVALENT)

PLYWOOD PAINTED WHITE

LETTERS

LAG SCREWS

WOOD POST

PLAN VIEW

EARTHEN BERM

PERMEABLE GEOTEXTILE FABRIC

VARIABLE

VARIABLE

B

PLAN VIEW

TYPE "ABOVE GRADE" WITH EARTHEN BERMS

PLAN VIEW

TYPE "BELOW GRADE"

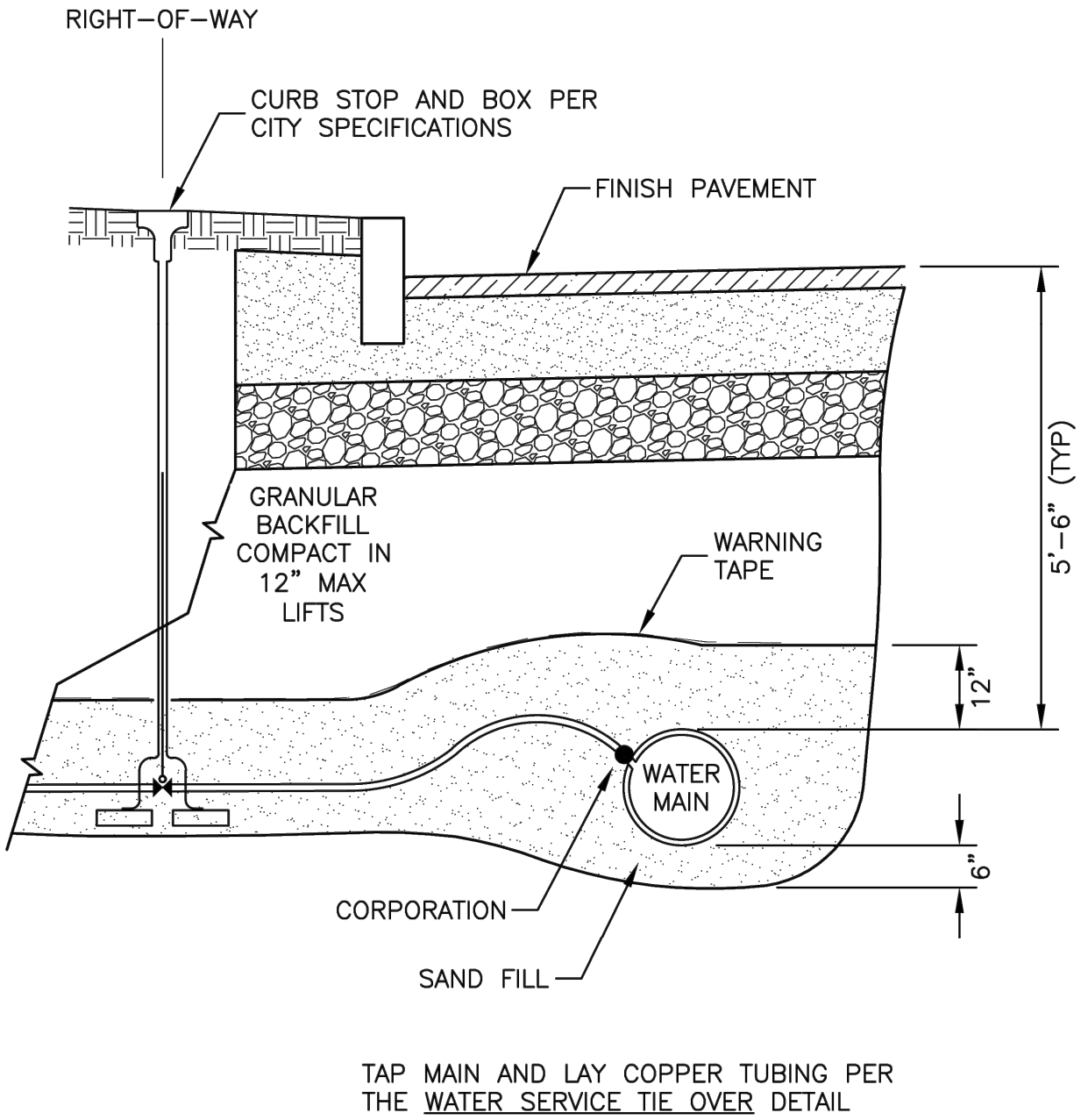
CONCRETE WASHOUT AREA

N.T.S.

NOTES:

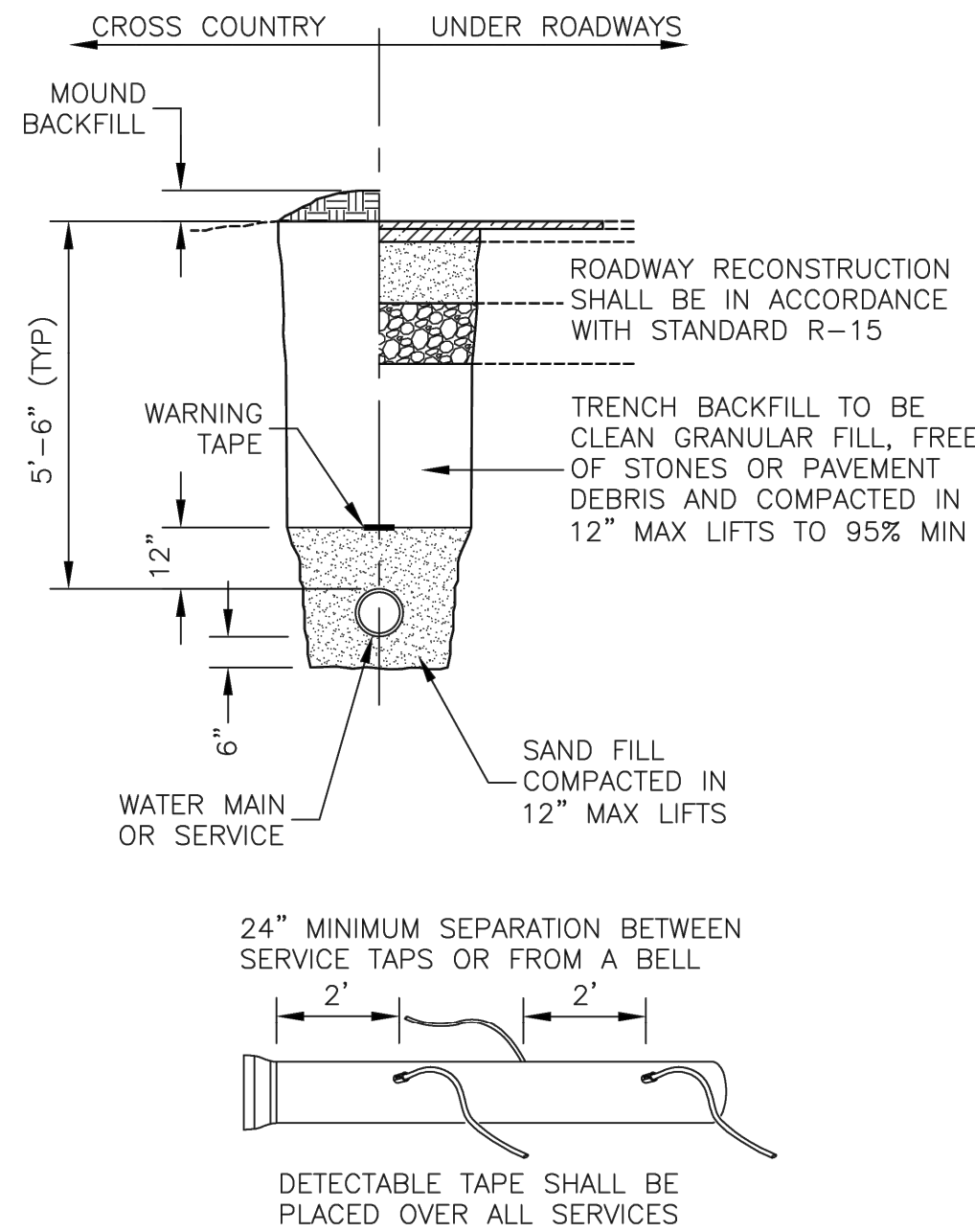
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5FT. OF THE WASHOUT FACILITY.

Wednesday, August 20, 2025
C:\Users\jgallagher\OneDrive\Documents\Concord ES&D\2 - Civil\Drawings\1361-14_Site Details.dwg



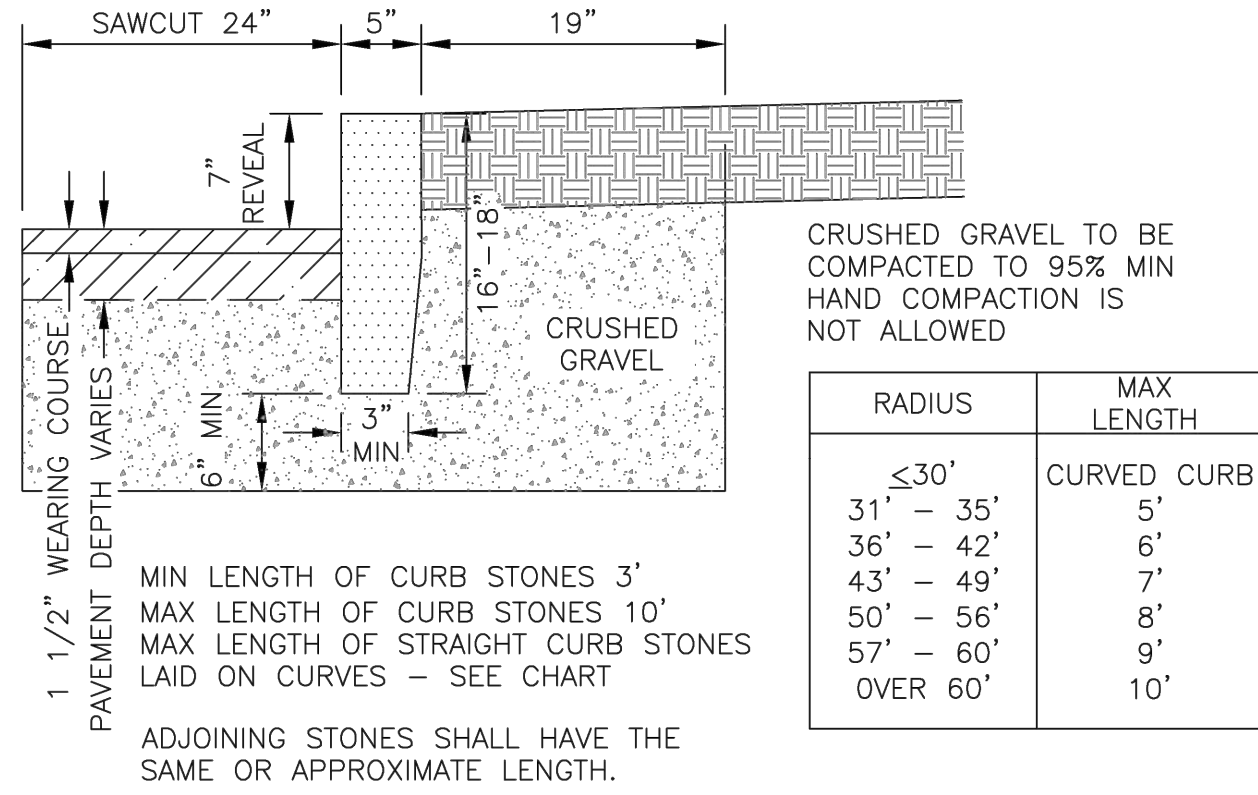
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	WATER
1	MARKING TAPE	12/13		DRAWING NO.	W-14
-	-	-		DATE:	11/11
-	-	-		PAGE:	1

WATER SERVICE INSTALLATION



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	WATER
1	NEW FORMAT	4.15		DRAWING NO.	W-1
2	STANDARD REFERENCE	01.19		DATE:	12/08
-	-	-		PAGE:	1

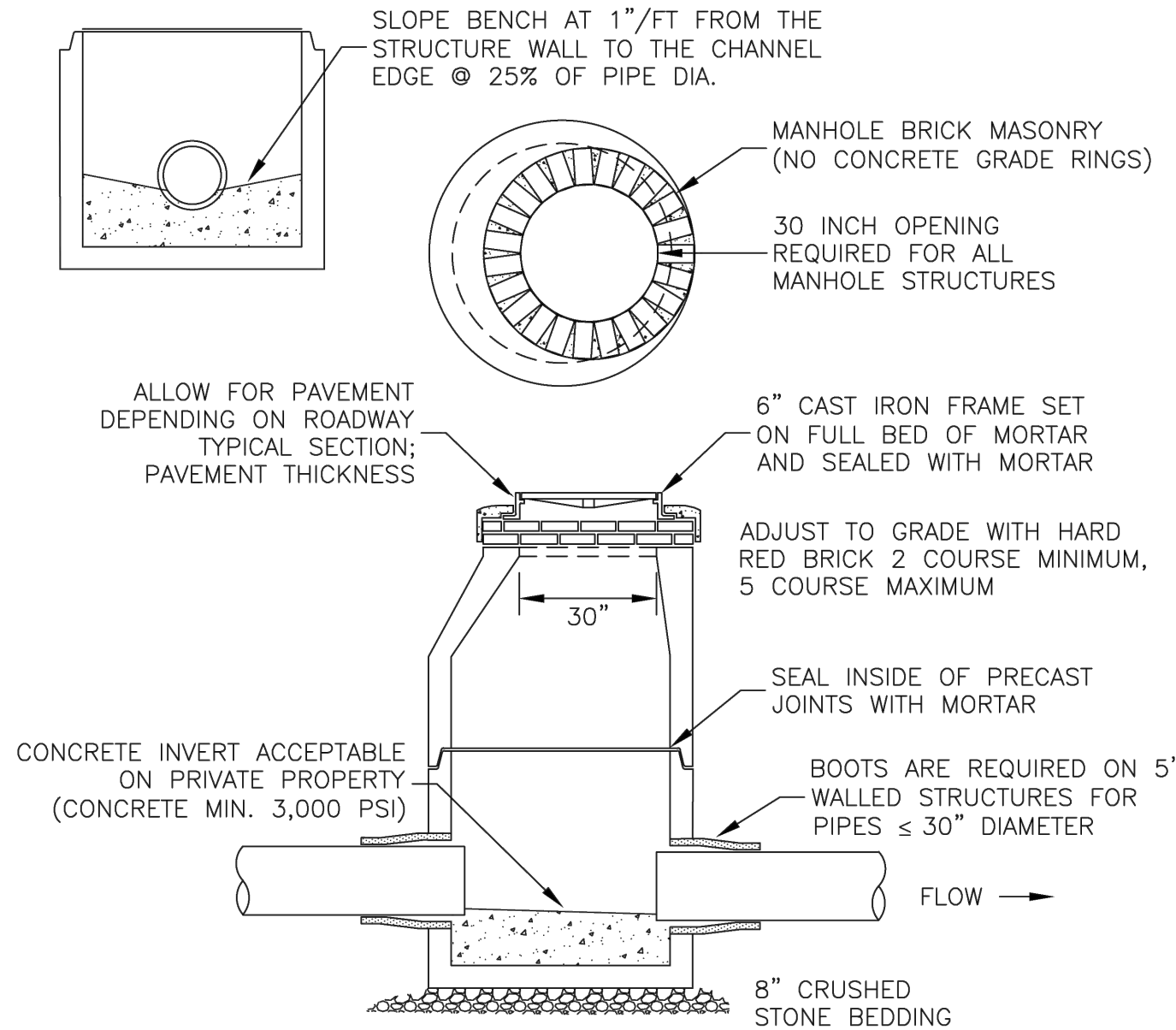
WATER MAIN/SERVICE TRENCH



AREA	FINISH SURFACE	TOLERANCE
TOP	5" WIDE OR AS OTHERWISE SHOWN, SAWN TRUE PLANE.	+ $\frac{1}{8}$ " TO + $\frac{1}{8}$ "
	FRONT AND BACK ARRIS LINES PITCHED STRAIGHT AND PARALLEL.	+ $\frac{1}{8}$ " TO + $\frac{1}{8}$ "
FRONT FACE	RIGHT ANGLE TO TOP, APPROXIMATELY TRUE PLANE. NO DRILL HOLES SHOWING IN TOP 10"	+1" TO - $\frac{1}{2}$ "
BACK FACE EXPOSED	PLANE PARALLEL WITH FRONT FACE. STRAIGHT SPLIT TO $\frac{1}{2}$ " BELOW EXPOSED SURFACE. NO LARGER THAN $\frac{1}{4}$ " SEGMENT OF DRILL HOLES SHOWING IN ARRIS LINES.	+1" TO -1"
CONCEALED	BELOW $\frac{1}{2}$ " FROM EXPOSED SURFACE.	+ $\frac{1}{2}$ " TO - $\frac{1}{2}$ "
BOTTOM	APPROXIMATELY PARALLEL TO TOP. MINIMUM WIDTH: 3"	SEE PLANS
ENDS EXPOSED PORTION	SQUARE WITH PLANES OF TOP AND FACE	
JOINTS EXPOSED	OPTIMUM WIDTH: 1"	
CONCEALED	TO BREAK BACK NO MORE THAN 4"	+ $\frac{3}{4}$ " TO - $\frac{3}{4}$ "

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1	DRAFTING	12.15		DRAWING NO.	C-1
2	SAWCUT	5.19		DATE:	12/08
-	-	-		PAGE:	1

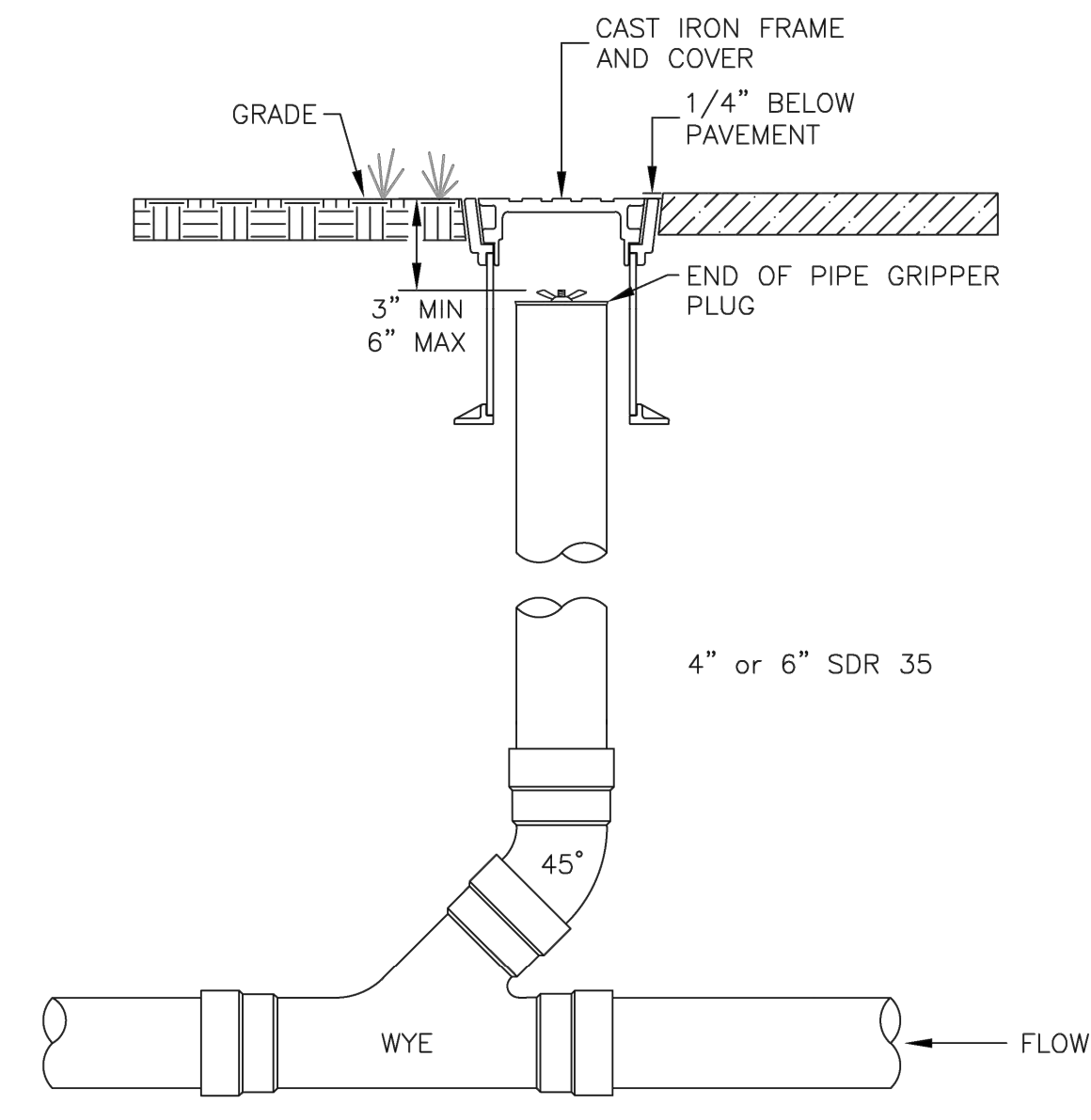
VERTICAL GRANITE CURB



- NOTES:
1. CONCRETE: 4,000 PSI AFTER 28 DAYS
 2. H-20 LOADING REQUIRED
 3. 5" MINIMUM WALL THICKNESS IF REINFORCED, 8" IF UN-REINFORCED
 4. SEAL ALL PRECAST JOINTS WITH BITUMASTIC SEAL
 5. LIFT HOLES AND BOOT RECESSES ARE TO BE SEALED WITH MORTAR FLUSH TO THE OUTSIDE STRUCTURE WALL PRIOR TO BACKFILLING
 6. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES. NO MORE THAN 75% OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS
 7. MANHOLES AND TRAFFIC SIGNAL LOOPS SHALL BE SEPARATED BY A MINIMUM OF 2' TO ALLOW FOR MAINTENANCE OF STRUCTURE

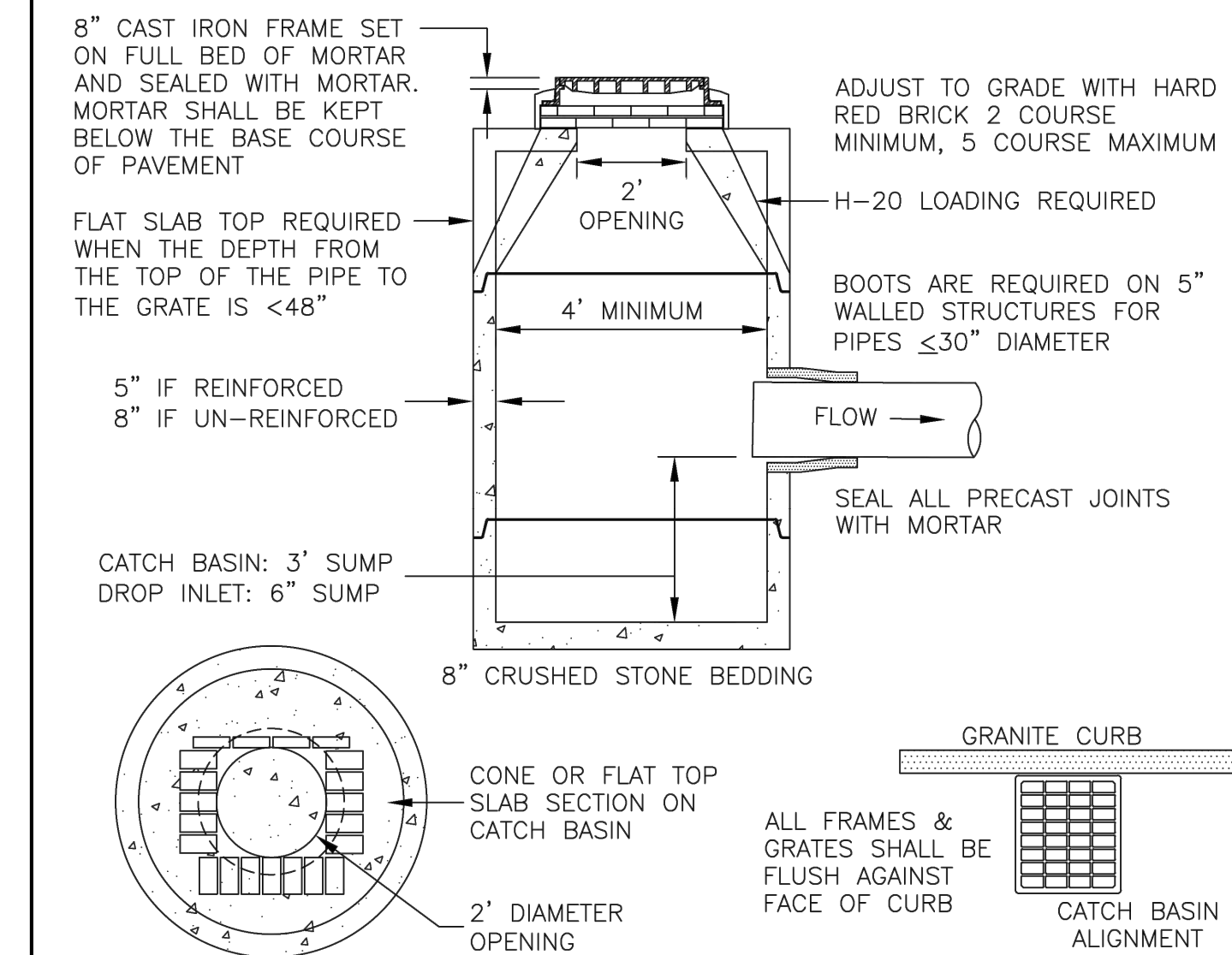
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	STORM DRAIN
-	-	-		DRAWING NO.	SD-3
-	-	-		DATE:	02/19
-	-	-		PAGE:	1

STORM DRAIN MANHOLE (PRIVATE)



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER
-	-	-		DRAWING NO.	SS-3
-	-	-		DATE:	12/08
-	-	-		PAGE:	1

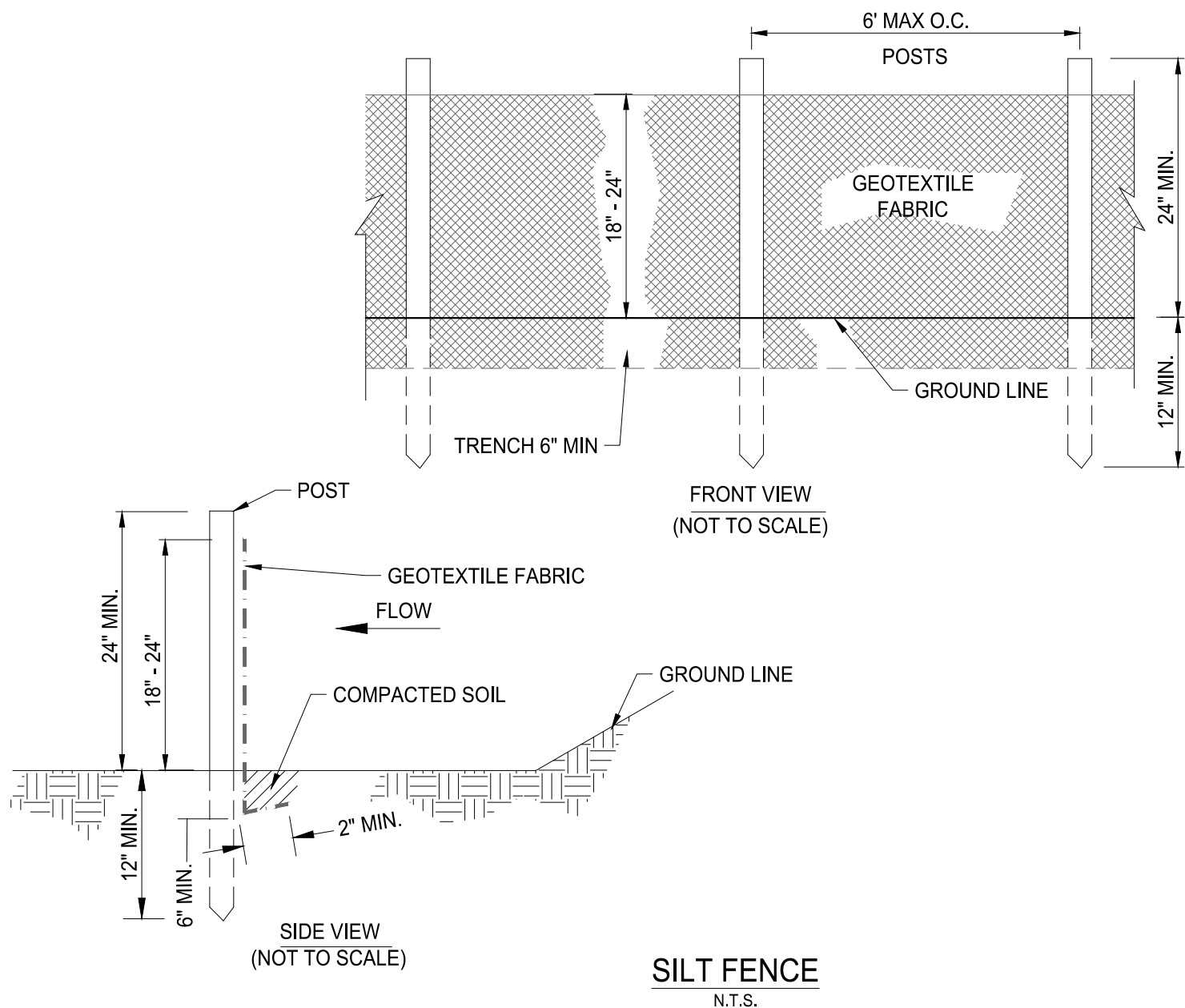
CLEANOUTS ON SERVICE LATERALS



- NOTES:
1. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
 2. SEAL ALL PRECAST JOINTS WITH BITUMASTIC SEAL.
 3. LIFT HOLES AND BOOT RECESSES ARE TO BE SEALED WITH MORTAR FLUSH TO THE OUTSIDE STRUCTURE WALL PRIOR TO BACKFILLING.
 4. MINIMUM DEPTH FROM RIM TO INVERT OF THE HIGHEST PIPE SHALL BE: 12"Ø=3.7', 15"Ø=3.9', 18"Ø=4.2', 24"Ø=4.8', 30"Ø=5.3', 36"Ø=5.8'
 5. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES. NO MORE THAN 75% OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.
 6. MANHOLES AND TRAFFIC SIGNAL LOOPS SHALL BE SEPARATED BY A MINIMUM OF 2' TO ALLOW FOR MAINTENANCE OF STRUCTURE
 7. THREE FLANGED FRAMES SHALL BE USED FOR INSTALLATIONS ADJACENT TO VERTICAL GRANITE CURB.
 8. NHDOT TYPE "F" GRATE REQUIRED FOR ROADWAYS HAVING SLOPES EQUAL TO OR GREATER THAN 3%. TYPE "F" SHALL BE BICYCLE SAFE.
 9. BRICK WORK SHALL BE RECTANGULAR AND CONFORM TO THE DIMENSIONS OF THE GRATE BEING USED. TYPE "B" GRATES SHALL BE ALIGNED WITH THE 22" DIMENSION AGAINST THE CURB.

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	STORM DRAIN
1	DRAFTING	11/11		DRAWING NO.	SD-6
2	SUMP DIM.	3/19		DATE:	12/08
-	-	-		PAGE:	1

CATCH BASIN / DROP INLET

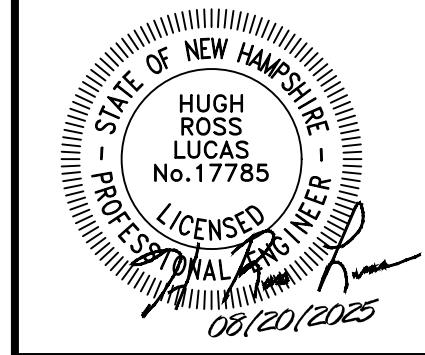


NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER
-	-	-		DRAWING NO.	SS-3
-	-	-		DATE:	12/08
-	-	-		PAGE:	1

SITE DETAILS

C4.2

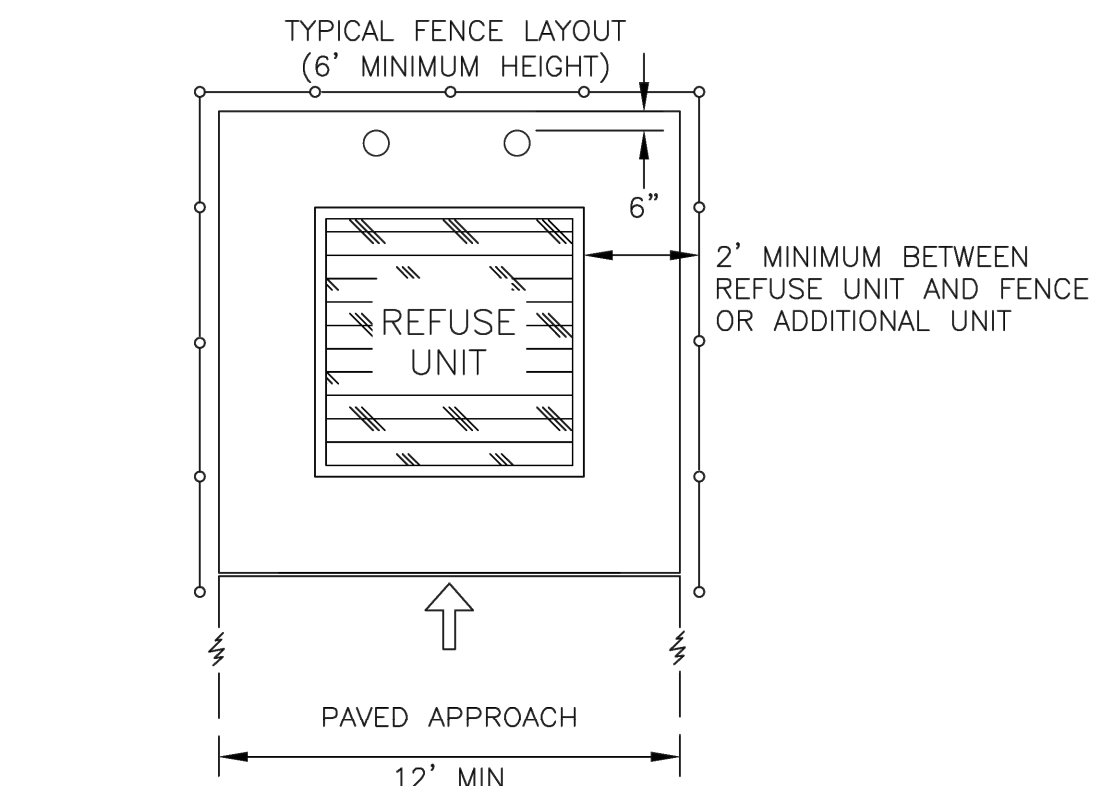
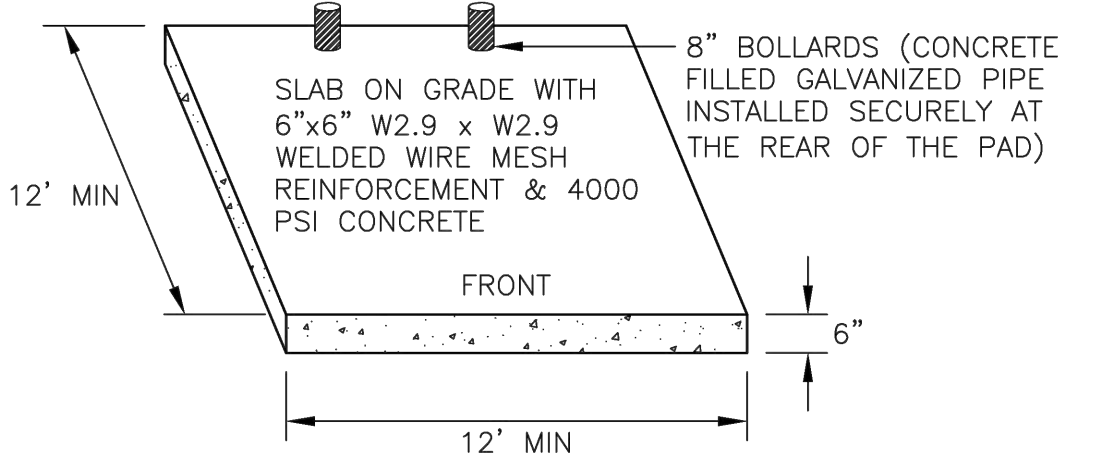
CONCORD FSER
161 NORTH STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203



FULMER LUCAS

2002 RICHARD JONES RD - SUITE B200
NASHVILLE, TENNESSEE 37215
INFO@FULMERLUCAS.COM - (615) 345-3770

Wednesday, August 30, 2023
C:\Users\jgallagher\OneDrive\Documents\Concord ES&D2 - CurbRamp1361-14_Site Details.dwg



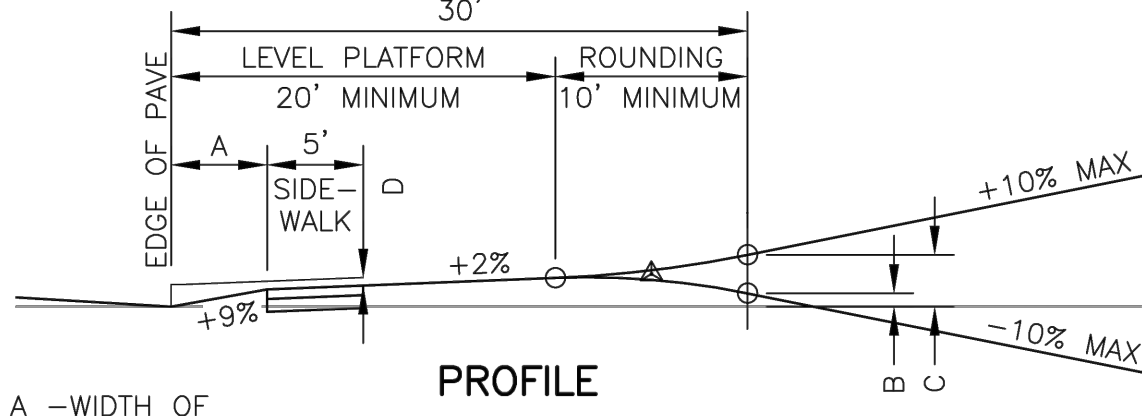
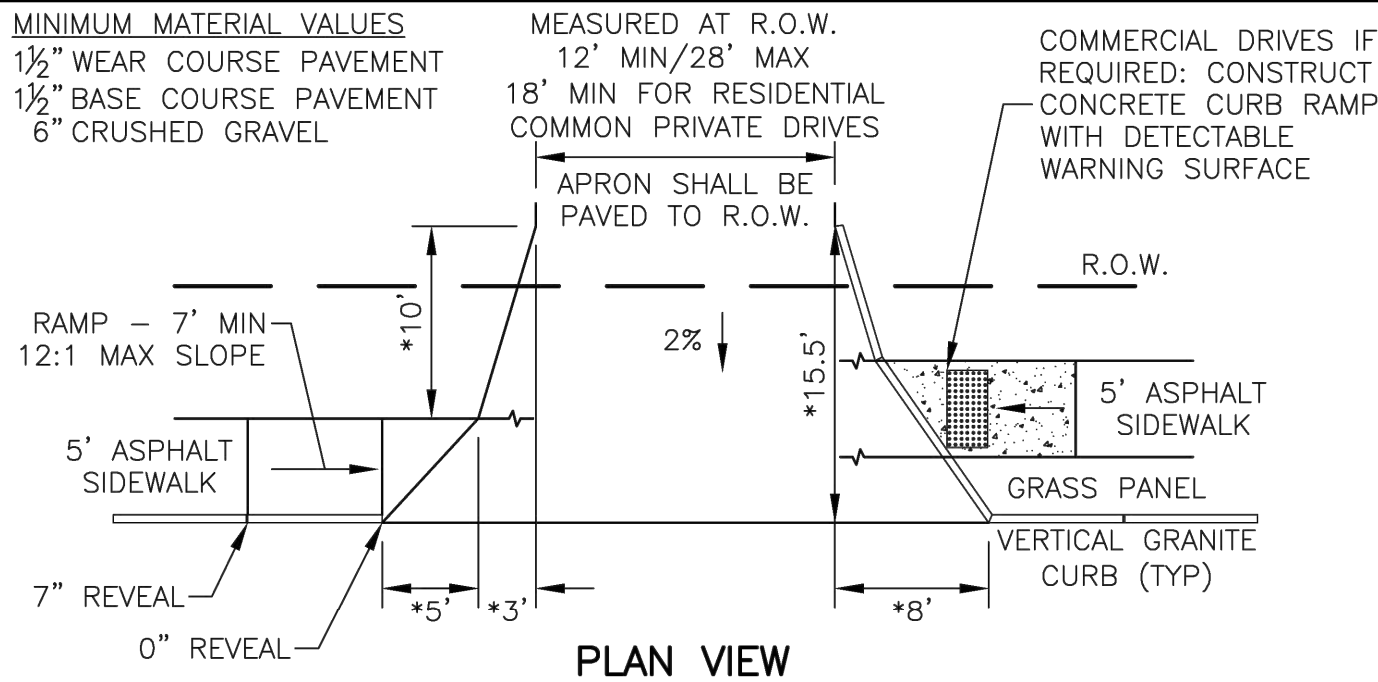
- NOTES:
- DUMPSTER PADS AND ASSOCIATED SCREENING SHALL BE PLACED WHERE THE REFUSE BINS CAN BE UNLOADED WITH A SINGLE TURNING MOVEMENT WITH A 35° FRONT LOADING TRUCK. THE WIDTH OF THE GATE SHOULD BE TAKEN INTO ACCOUNT WHEN REVIEWING TURNING MOVEMENTS.
 - GATES SHALL BE PROVIDED UNLESS THE DUMPSTER IS BLOCKED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND ABUTTING PROPERTIES BY BUILDINGS OR WALLS.
 - TRASH CONTAINERS SHALL BE LOCATED A MINIMUM DISTANCE OF 25' FROM ANY DRAINAGE STRUCTURE, INLET OR STORMWATER FACILITY.

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE
1	NOTE 2	01.15			
—	—	—			
—	—	—			
—	—	—			
—	—	—			
			SINGLE DUMPSTER PAD	DRAWING NO.	M-8
				DATE: 12/08	PAGE: 1

GENERAL NOTES:

- THE DIMENSIONS AND GRADES SHOWN ON THIS STANDARD WILL BE ADHERED TO IN THE DESIGN AND THE CONSTRUCTION OF SIDEWALK RAMPS. WHERE SIDEWALKS RUN ADJACENT TO ROADWAYS ON STEEP (5% OR GREATER) GRADES, RAMP GRADES WILL BE AS FLAT AS POSSIBLE. (ON LOW SIDE OF DRIVES AND INTERSECTING SIDE STREETS, RAMPS SHALL SLOPE TOWARDS DRIVE OR SIDE STREET AT 2%)
- NOMINAL RAMP DIMENSIONS AND GRADES:
RAMP WIDTH - 5' MINIMUM
RAMP SLOPE - 8.3% MAXIMUM
FLARE SLOPE - 10% MAXIMUM
RAMP CROSS SLOPE - 2% MAXIMUM
- CURB RAMPS SHALL BE CONSTRUCTED OF 6" PORTLAND CEMENT CONCRETE (CLASS AA, 4000 PSI) WITH 6"x6" W2.9XW2.9 WOVEN WIRE FABRIC REINFORCING PLACED 2½" FROM THE TOP OF THE SLAB WITH 6" CRUSHED GRAVEL SUBBASE.
- ALL SIDEWALKS AND LANDINGS SHALL HAVE A CROSS SLOPE OF 2% DRAINING TOWARD THE STREET, DRIVE, OR PARKING AREA.
- A LEVEL LANDING (NO GREATER THAN 2% SLOPE IN ANY DIRECTION) SHALL BE PROVIDED AT THE TOP OF SIDEWALK RAMPS TO ALLOW FOR STOPPING AND MANEUVERING OF WHEELCHAIRS.
- LEVEL LANDINGS (NO GREATER THAN 2% SLOPE IN ANY DIRECTION) AT THE BOTTOM OF PERPENDICULAR RAMPS SHALL BE WHOLLY CONTAINED WITHIN MARKED CROSSWALKS.
- DUMMY JOINTS SHALL BE PROVIDED AT TRANSITIONS (GRADE CHANGES) AT TOPS AND BOTTOMS OF RAMPS AND FLARES.
- VERTICAL DROP-OFF EDGES TO RAMPS WILL NOT BE BUILT UNLESS THE RAMP ABUTS AN AREA WHICH WILL NOT BE USED BY PEDESTRIANS.
- A ¼" CURB REVEAL WILL BE PROVIDED WHERE THE RAMP ADJOINS THE ROADWAY.
- AT MARKED CROSSWALKS, THE FULL WIDTH OF THE RAMP OR LANDING SHALL BE CONTAINED WITHIN THE PAVEMENT MARKINGS.
- RAMPS FLARES SHOULD BE LOCATED OUTSIDE THE DIRECT LINE OF TRAVEL MOST LIKELY TO BE FOLLOWED BY THE VISUALLY IMPAIRED.
- SIGNS, POLES, PLANTERS, MAILBOXES, ETC., SHALL NOT BE LOCATED WHERE THEY WILL INTERFERE WITH THE USE OF SIDEWALK RAMPS.
- SIDEWALK RAMPS SHALL NOT BE LOCATED WHERE USERS MUST CROSS DROP INLET GRATES, MANHOLE COVERS, OR OTHER ACCESS LIDS. IF THIS CANNOT BE AVOIDED THEN GRATE DESIGN AND PLACEMENT SHALL CONFORM TO ADA REQUIREMENTS.
- CURB DRAINAGE SHOULD BE CONSTRUCTED SO AS TO PRECLUDE THE FLOW OF WATER PAST THE SIDEWALK RAMP.
- WHEREVER FEASIBLE, TWO SIDEWALK RAMPS ARE RECOMMENDED IN PREFERENCE TO A SINGLE RAMP.
- SIDEWALKS THAT ARE LESS THAN 5' WIDE REQUIRE 5' WIDE BY 5' LONG PASSING AREAS (NO GREATER THAN 2% CROSS SLOPE) AT INTERVALS NOT TO EXCEED 200'.
- E.O.P. = EDGE OF PAVEMENT.
- THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE U.S. ACCESS BOARD FOR PUBLIC RIGHTS-OF-WAY.

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1	REV STYLE	11-09			
2	NOTE 18	5.19			
—	—	—			
—	—	—			
			SIDEWALK RAMP GENERAL NOTES	DRAWING NO.	CR-2
				DATE: 12/08	PAGE: 1

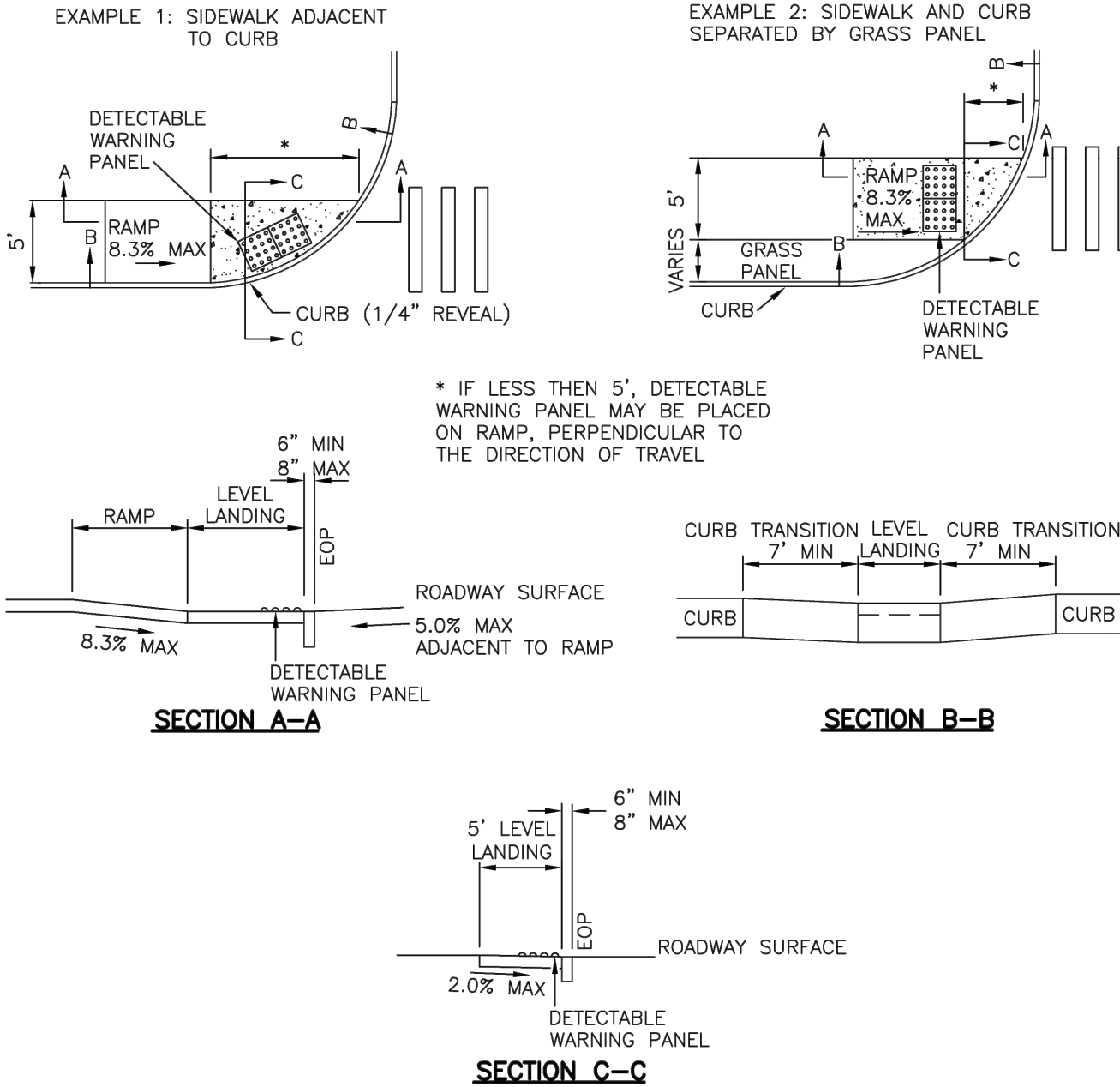


VERTICAL CURB			
A	B	C	D
0	0	1'-0"	7"
1'	¾"	1'-¾"	6"
2'	1¾"	1'-1¾"	5¾"
3'	2½"	1'-2½"	4¾"
4'	3¾"	1'-3¾"	3½"

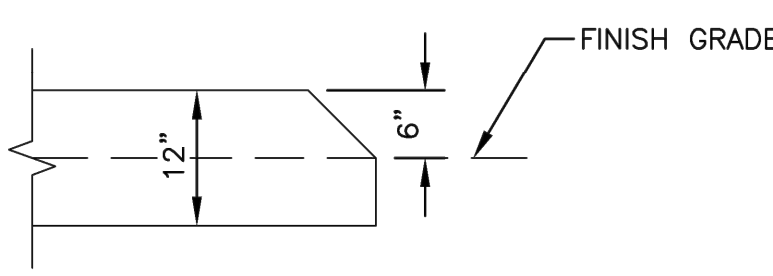
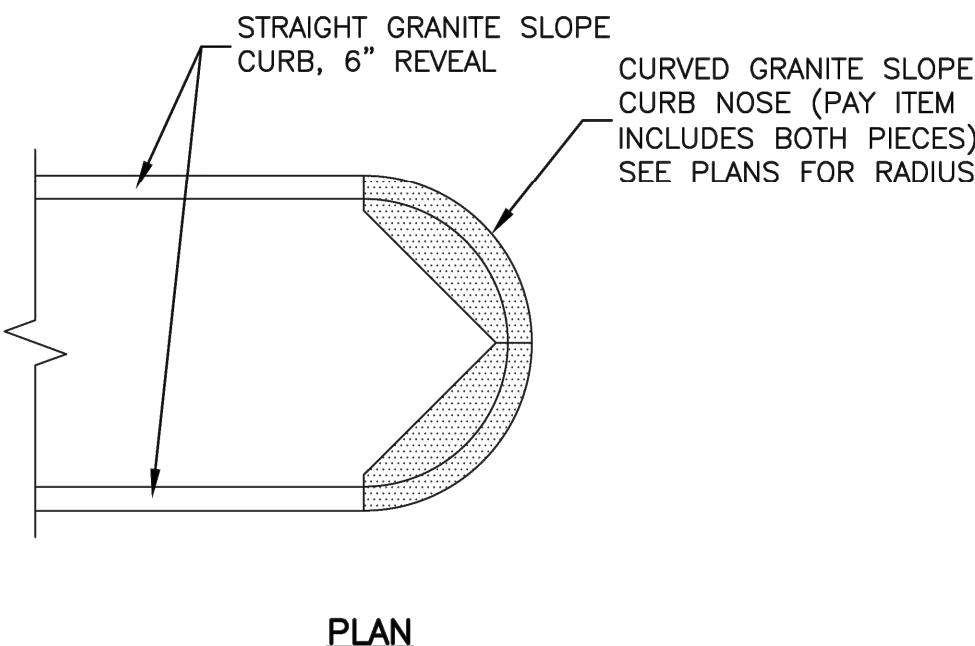
- NOTES:
- THE DRIVE WIDTHS AND PROFILE PERTAIN TO ALL URBAN DRIVES, REGARDLESS OF R.O.W. WIDTH OR SIDEWALK LOCATION.
 - IF REQUIRED FOR COMMERCIAL DRIVES, DETECTABLE WARNING PANELS SHALL BE PLACED PERPENDICULAR TO THE SIDEWALK WITH THE NEAREST EDGE 6" TO 8" FROM THE DRIVE.
- * DIMENSIONS ARE MAXIMUMS AND ARE TO BE USED IF NECESSARY TO ACCOMMODATE TURNING VEHICLES.

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1	DRAFTING	11-11			
1	MIN WIDTH	11-11			
—	—	—			
—	—	—			
—	—	—			
			DRIVE WITH VERTICAL GRANITE CURB, GRASS PANEL WIDTH <5'	DRAWING NO.	D-1
				DATE: 12/08	PAGE: 1

SINGLE WALK STRAIGHT APPROACH TO PARALLEL RAMP



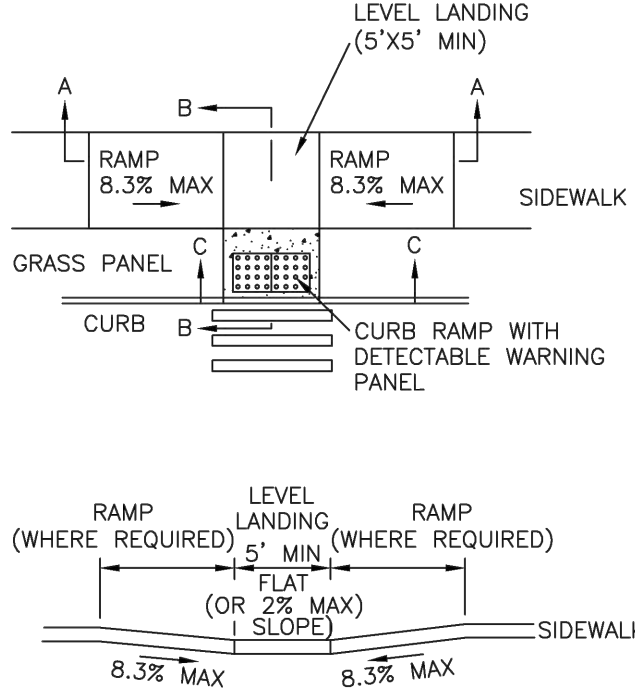
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1	REV STYLE	11-09			
2	SECT C-C	11-09			
—	—	—			
—	—	—			
			SIDEWALK RAMP TYPE 1	DRAWING NO.	CR-3
				DATE: 12/08	PAGE: 1



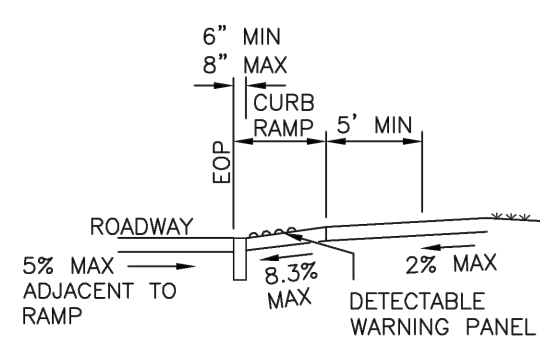
SECTION

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
—	—	—			
—	—	—			
—	—	—			
—	—	—			
—	—	—			
			CURVED GRANITE SLOPE CURB NOSE	DRAWING NO.	C-5
				DATE: 01/15	PAGE: 1

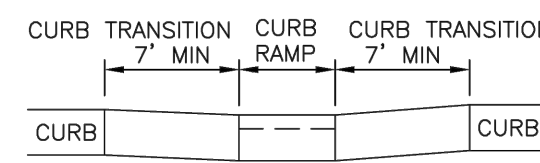
SINGLE PERPENDICULAR RAMP FROM LEVEL LANDING TANGENT SECTION



SECTION A-A

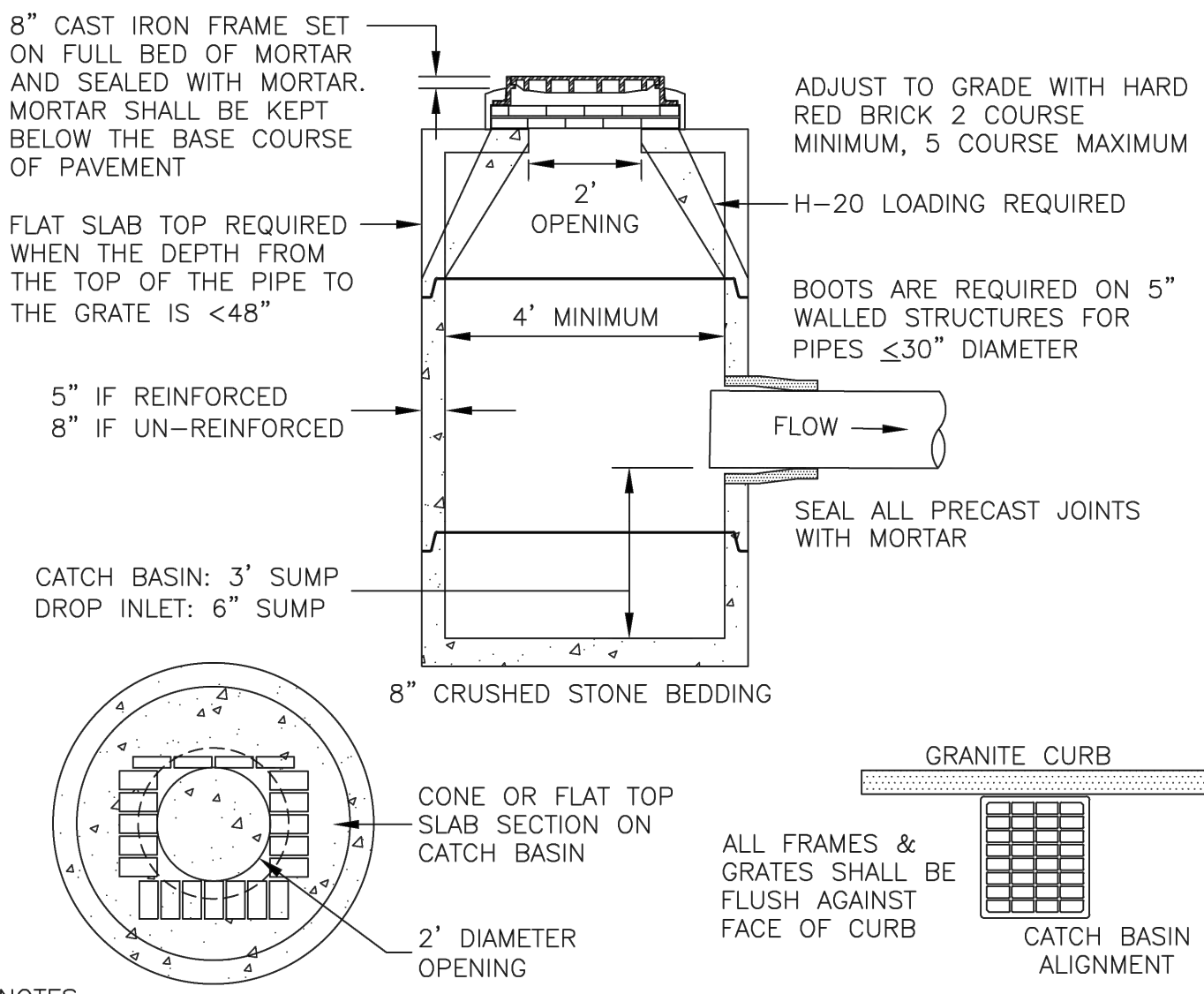


SECTION B-B



SECTION C-C

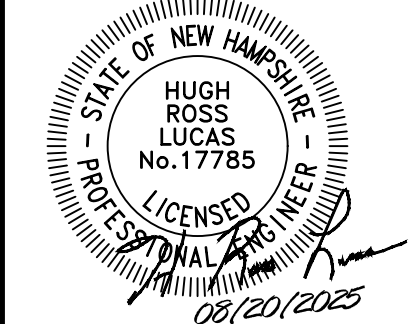
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1	REV STYLE	11-09			
—	—	—			
—	—	—			
—	—	—			
			SIDEWALK RAMP TYPE 2	DRAWING NO.	CR-4
				DATE: 12/08	PAGE: 1



- NOTES:
- CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
 - SEAL ALL PRECAST JOINTS WITH BITUMASTIC SEAL.
 - LIFT HOLES AND BOOT RECESSES ARE TO BE SEALED WITH MORTAR FLUSH TO THE OUTSIDE STRUCTURE WALL PRIOR TO BACKFILLING.
 - MINIMUM DEPTH FROM RIM TO INVERT OF THE HIGHEST PIPE SHALL BE:
12"ø=3.7', 15"ø=3.9', 18"ø=4.2', 24"ø=4.8', 30"ø=5.3', 36"ø=5.8'
 - ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES. NO MORE THAN 75% OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.
 - MANHOLES AND TRAFFIC SIGNAL LOOPS SHALL BE SEPARATED BY A MINIMUM OF 2' TO ALLOW FOR MAINTENANCE OF STRUCTURE.
 - THREE FLANGED FRAMES SHALL BE USED FOR INSTALLATIONS ADJACENT TO VERTICAL GRANITE CURB.
 - NHDOT TYPE "F" GRATE REQUIRED FOR ROADWAYS HAVING SLOPES EQUAL TO OR GREATER THAN 3%. TYPE "F" SHALL BE BICYCLE SAFE.
 - BRICK WORK SHALL BE RECTANGULAR AND CONFORM TO THE DIMENSIONS OF THE GRATE BEING USED. TYPE "B" GRATES SHALL BE ALIGNED WITH THE 22" DIMENSION AGAINST THE CURB.

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	STORM DRAIN
1	DRAFTING	11/11			
2	SUMP DIM.	3/19			
—	—	—			
—	—	—			
			CATCH BASIN / DROP INLET	DRAWING NO.	SD-6
				DATE: 12/08	PAGE: 1

FULMER LUCAS



CONCORD FSER
161 NORTH STATE STREET
CONCORD, MERRIMACK COUNTY, NEW HAMPSHIRE 03301
OWNER: CAFUA REALTY TRUST CXXXIX LLC
OWNER ADDRESS: 280 MERRIMACK ST, METHUEN, MA 01844
APPLICANT: MANCHESTER HEALTH SERVICES, LLC
APPLICANT ADDRESS: ONE PARK PLAZA, NASHVILLE, TN 37203

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1	REV STYLE	11-09			
2	SECT C-C	11-09			
—	—	—			
—	—	—			
			SIDEWALK RAMP TYPE 1	DRAWING NO.	CR-3
				DATE: 12/08	PAGE: 1

SITE DETAILS

C4.3

1361-14 CONCORD FSER



CITY OF CONCORD
New Hampshire's Main Street™
Community Development Department

Michael S. Bezanson, PE
City Engineer

MEMORANDUM

TO: AnneMarie Skinner, AICP, City Planner
FROM: Paul Gildersleeve, PE and Pete Kohalmi, PE
DATE: August 1, 2025
SUBJECT: Concord FSER- Major Site Plan- Engineering Review
161 North State Street; Map 583Z, Lot 30; City Project 2025-095

The Engineering Services Division (Engineering) has received the following items for review:

- Concord FSER Site Development Plans by Fulmer Lucas Engineering, dated July 3, 2025
- Drainage Report by Fulmer Lucas Engineering, dated July 10, 2025
- Traffic Impact and Access Study by Chappell Engineering, dated July 16, 2025

As a supplement to any comments offered by the Planning Division, Engineering offers the following design related comments. With subsequent submissions, the applicant shall provide a response letter that acknowledges or addresses each of these comments and discusses any additional changes to the plans.

1. General Comments

- a. Provide Federal and State permits, pursuant to City of Concord Site Plan Regulations (CSPR) 13.01(6).
- b. Provide profiles for the water and sanitary sewer, showing crossings of all municipal and non-municipal utilities, pursuant to CSPR 16.02(14)(b).
Ensure the vertical distances between the crossings are shown.

2. Existing Conditions Plans

- a. Ensure the map and lot number read "Map 583Z/ Lot 30." Since there are two sheets 1 of 4, differentiate the titles.

3. Sheet C0.1, Site Demolition Plan

- a. In the Site Demolition Legend, a pavement hatching is shown but does not appear on the plan view. Either show this hatch in plan view or remove this hatching.
- b. Please indicate on the call-out for the disconnection of the existing water service that the cap must be at the main per the City of Concord Construction Standards, Section 5.03.D.17. Removal of the service is not required.

4. Sheet C0.2, Initial EPSC Plan

- a. Ensure the Construction Entrance matches the driveway width shown on Sheet C0.3. Also, show silt fence across the North State Street entrance so it will not be used as a construction entrance.
- b. Several Erosion Control features in the legend do not appear on plan view. The Sediment Tube, Rock Check Dam, Diversion Ditch, Erosion Control Matting, and Rock Filter Ring are features that do not appear on this sheet or Sheet C0.3. Please show these features or remove them from the legend.

5. Sheet C1.0, Site Layout Plan

- a. Please label the locations where curb transition to flush curb begins and ends, pursuant to CSPR 18.19. Add detail C-4 from the City's Construction Standards.
- b. Show the address of the property, pursuant to CSPR 15.04(5).
- c. Show the parking lot signage and pavement markings, pursuant to CSPR 18.09.
- d. Show the snow storage location, pursuant to CSPR 18.21.
- e. Run a truck turning template around the site to ensure a fire truck can access the site, pursuant to CSPR 19.07.
- f. The median adjacent to the trash enclosure is 1' wide. Pursuant to CSPR 18.14, this median needs to be a minimum of 3' wide. Please revise the median width to a minimum of 3'.
- g. Details are needed for the Proposed Dumpster Enclosure, the Proposed Underground Decontamination Tank, the Proposed Underground Propane Tank, the Proposed Mechanical Generator Enclosure, the Proposed ATM Location.
- h. Dimension the parking spaces as 9' per CSPR 18.04.

- i. The entrance to the site from Penacook St will be reconstructed/relocated. Per PROWAG, an ADA-compliant handicapped ramp will need to be built on both sides of the drive. Please include details CR-2 and CR-3 from the Construction Standards.
- j. Delete or revise note 15 (per Concord Construction Standard C-4).

6. Sheet C2.0, Site Grading Plan

- a. To facilitate final paving, label high and low points, ridge lines, and site slopes on the driveway pursuant to CSPR 16.02(12)(a).
- b. The spot grades show only a 6" curb. Please use a 7" vertical granite curb, pursuant to City of Concord Construction Standards and Details (CCSD) Detail C-1, C-4 and C-5.
- c. Pipe WQU-ExCB-1 is shown as a 15" HDPE in the ROW. However, pursuant to CCSD Section 6(2)(B)(4)(a), only PVC, RCP, or DI pipe can be used in the ROW. Please revise the drainage pipe accordingly.
- d. Stormwater flowing downhill from Penacook Street shall be directed past the entrance to the site by grading the driveway accordingly. Add spot shots or grade lines and add construction detail D-1 to sheet C4.0.
- e. The Structure Table indicates that most invert INs are at the same elevation as invert OUTs. However, per CCCS 6.03.E.2, the invert OUT shall be a minimum of 0.10' below the lowest invert IN.
- f. Structure STM A4.1 shall be a catch basin as depicted on CCCS SD-6.
- g. Grading Plan notes 1 and 17 can be deleted as they do not comply to the City's Construction Standards.
- h. The 4" roof drain connecting to structure A3 includes a 90 degree bend. Please utilize two 45 degree bends with a cleanout in between.
- i. Indicate what material is to be placed around structure STM A7 between the curb—concrete or asphalt. Consider that concrete will be more durable.

7. Sheet C2.1, STM-A Plan and Profile

- a. Several storm lines appear to have less than 4' of cover on this sheet and Sheet C2.2. If 4' or more of cover cannot be achieved, 2" of rigid polystyrene thermal insulation with a minimum "R" value of 10 shall be required for a minimum of 8', pursuant to CCSD Section 6(3)(F)(2).

- b. On the profile, show the 4" roof-drain invert information at STM-A3, and the invert information for the 10" roof drain at STM-A7. Add this information to the Structure Table on sheet C2.0.
- c. Please include all utility crossings in profile view per CSPR 16.02.14(b).
- d. Include a note that states the contractor shall ensure that existing catch basin EXCB-1 is suitable for a new connection and if it is not, the structure shall be replaced.
- e. As stated in a previous comment, the pipe between the Contech structure and the existing catch basin cannot be an HDPE pipe. Only RCP, PVC or DI is allowed in the City's ROW.

8. Sheet C2.2, STM-A Plan and Profile

- a. Move the top and bottom of curb information from covering the STM-A4 in plan view.

9. Sheet C3.0, Site Utility Plan

- a. Describe the purpose of the Proposed Underground Decontamination Tank and show any utility lines it is connected to.
- b. Show at least 5' of separation between the sanitary sewer service and the north side of the building, and the storm sewer pipe in this location.
- c. Show at least 5' of separation between the 4" roof drain and the fire line, while keeping the 5' of separation between the fire line and domestic line.
- d. Show a curb stop at the ROW for the proposed 6" water service.
- e. Make the existing conditions darker for easier reading.
- f. A cleanout near the bend in the sewer service shall be labelled.
- g. Label the material of the water service, the domestic and fire lines, and the irrigation line.
- h. The City has records indicating that the sewerage is pumped from the manhole on site up to the sewer main. It is noted that the entire sewer service from the building to the main is owned and maintained by the property owner. Has the applicant inspected the condition of the sewer service and pump intended for re-use?

10. Sheet C4.0, Site Details

- a. Pursuant to CCSD Section 3(2)(C), granite is the only curb material allowed. Please revise the Ribbon Curb, Integral Concrete Curb and Walk, and Curb Taper Details to incorporate the City's 7" granite curbs construction details. The other curb details shall be removed.
- b. In the Concrete Sidewalk Section, change the 4" of crushed stone to 6", pursuant to CCSD Section 3(2)(D)(3) and 3(3)(M)(4), respectively. Concrete for curb ramps and driveways are to be 6" thick with a 6" crushed gravel base. Revise the Site Plan shading accordingly.
- c. In the Isolation Joint Detail, change the ½" joint to 5/16" to ¼" in width, pursuant to CCSD Section 3(3)(O)(4).
- d. In the Accessible Parking Sign Detail, revise the 6'-8" to 84", pursuant to CCSD Detail M-1.
- e. While the Heavy-Duty Concrete Section and Heavy-Duty Asphalt Pavement Section Details reference the Geotechnical Report for the pavement design, the pavement design needs to be shown on these details. Please ensure these details represent the pavement design.

11. Sheet C4.1, Site Details

- a. Show the Weighted Sediment Tube Detail on the plan view, or remove the detail and the linetype on the Erosion Control Legend.
- b. Include details of the proposed 12" Nyoplast structures including their covers.

12. Sheet L1.0, Landscape Plan

- a. The stormsewer line shown is not the latest version. Ensure all the utilities have been updated on this plan and that no utility is within 10' of a tree, pursuant to CSPR 27.06(5).

State/Federal Permits

The project will require the following state and/or federal permit(s) associated with the site design:

- EPA General Construction Permit

Per Site Plan Regulation 13.02 (8) and/or Subdivision Regulation 13.02 (10), a copy of the State and Federal permit(s) shall be submitted to the City prior to final approval.

Post-Approval/Pre-Construction Requirements

The following items are required prior to the start of construction:

1. Per Site Plan Regulation 27.11, establish a financial guarantee (letter of credit, or cash deposit) for site stabilization.
2. The following permit(s) will need to be obtained from the Engineering Services Division:
 - Excavation Permit
 - Utility Connection Permits (Drain, Sewer, and Water)
 - Driveway Permit
 - Other permits deemed necessary by the City Engineer

Please note that all Engineering permits must now be applied for online using the City's new Citizen Self Service (CSS) Permit Portal, which can be found here:

<http://concordnh.gov/1915/Engineering-Permits-Fees>

3. Per Site Plan Regulation 36.24 The Applicant is responsible for paying engineering permit inspection fees to ensure work is consistent with City standards and the Approved Plans.

Prior to scheduling the pre-construction meeting, the Applicant should apply for the required Engineering permits listed above and provide an estimate of the anticipated number of inspections for review by Engineering. The Applicant shall provide a project schedule when applying for the required permits.

The permit fees shall be paid prior to scheduling the pre-construction meeting.

4. Establish a performance surety (bond, letter of credit, or cash deposit) for work within the Right-of-Way and proposed public improvements or common private improvements per Subdivision Regulation 10.09, prior to subdivision plat signature, pursuant with 13.02 (7), and 30.01. An engineer's cost estimate, prepared by the Applicant and based on the current NHDOT weighted average unit prices, shall be submitted a minimum of two weeks prior to scheduling the pre-construction meeting.
5. When above requirements have been met, request to set up a pre-construction meeting with the Engineering Services Division to discuss construction requirements, site inspections, associated fees, schedules, etc. Engineering permits will not be authorized (unless explicitly stated otherwise) until final revised plans have been submitted and approved to the satisfaction of Planning and Engineering.

Construction Requirements

1. Shop drawings/submittals shall be submitted to Engineering for the proposed water, sewer, drainage improvements as applicable.
2. Per Site Plan Regulation 12.09, prior to issuance of a Certificate of Occupancy (CO), the contractor shall submit digital as-built drawings that are to the satisfaction of Engineering and conforming to the Engineering as-built checklist. A copy of the as-built drawing requirements is available on the Engineering Services Division section of the City of Concord website.
3. Retaining wall design drawings (stamped Structural Engineer licensed in the State of NH) shall be submitted to Engineering for proposed retaining walls that are greater than 4 feet high. In addition, walls greater than 48 inches require a Building Permit from the Code Administration Office.



CITY OF CONCORD
New Hampshire's Main Street™
Community Development Department

Michael S. Bezanson, PE
City Engineer

MEMORANDUM

TO: AnneMarie Skinner, AICP, City Planner
FROM: Paul Gildersleeve, PE and Pete Kohalmi, PE
DATE: September 2, 2025
SUBJECT: Concord FSER- Major Site Plan- Engineering Review
161 North State Street; Map 583Z, Lot 30; City Project 2025-095

The Engineering Services Division (Engineering) has received the following items for review:

- Concord FSER Site Development Plans by Fulmer Lucas Engineering, dated August 20, 2025
- Waiver Requests by Fulmer Lucas Engineering, dated August 11, 2025
- Response to comments by Fulmer Lucas Engineering, dated August 20, 2025
- Landscape Plans by HB Land Design, dated August 20, 2025
- Architectural Elevations by Hereford Dooley Architects, dated July 16, 2025

As a supplement to any comments offered by the Planning Division, Engineering offers the following design related comments. With subsequent submissions, the applicant shall provide a response letter that acknowledges or addresses each of these comments and discusses any additional changes to the plans.

3.2

1. 12.06(3)- Comment addressed.
2. 12.06(4)- Comment addressed.

3.3 Comment addressed.

3.4 Comment addressed.

3.7

1. 16.02(12)

- a. Comment addressed.
 - b. Comment addressed.
 - c. Comment addressed.
 - d. Comment addressed.
 - e. Comment addressed.
 - f. Comment addressed.
 - g. Comment addressed.
 - h. **Comment not fully addressed.** Put City of Concord Construction Standards and Details (CCSD) Detail SD-12, *Underdrain Cleanout*, on a detail sheet.
 - i. Comment addressed.
 - 2. 16.02(13)
 - a. Comment addressed.
 - b. Comment addressed.
 - c. Comment addressed.
 - 3. 16.02(14)
 - a. **Comment not fully addressed.** A waiver is requested for the utility-profile requirements of 16.02(14)(b) (incorrectly stated as 16.02(14)(a) in the waiver request). The waiver request addresses the requirements of City of Concord Site Plan Regulation 36.08. Engineering does not support this waiver. Utility profile are important for a thorough review of the utility design and more importantly, aid the contractor during construction.
 - b. Comment addressed.
 - c. Comment addressed.
 - d. Comment addressed.
 - e. Comment addressed.
 - f. Comment addressed.
 - g. Comment addressed.
 - h. Comment addressed.
 - i. Comment addressed.
 - j. Comment addressed.
 - 4. 16.02(14)(d)- Comment addressed.
- 3.8
- 1. 16.02(22)
 - a. Comment addressed.
 - b. Comment addressed.
 - c. Comment addressed.
 - d. Comment addressed.
 - e. Comment addressed.
 - f. Comment addressed.

- g. Comment addressed.
- h. Comment addressed.
- i. Comment addressed.
- j. Comment addressed.
- k. Comment addressed.
- l. Comment addressed.
- m. Comment addressed.

3.10

1. 18.09- **Comment not fully addressed.** Please show a stop sign and stop bar where the drive access intersects with Penacook Street and North State Street, and place CCSD Detail M-3 for the stop bar on a detail sheet. Sheet C4.0 shows a detail for a Service Animal Relief Area Sign. Please show the location of this sign on plan view.
2. 18.19- Comment addressed.
3. 18.20- Comment addressed.
4. 18.21- Comment addressed.
5. 18.22- Comment addressed.

3.11 Comment addressed.

3.12

1. 20.07- Comment addressed.

3.13 **Comment not addressed.** Add a note to Sheet C1.0 and Sheet C2.0 stating that new sidewalks shall comply with the Construction Standards and Details, including specifically noting that all new sidewalks shall comply with Section 3.02.D and Section 3.03.M, N, and O, of the Construction Standards, shall be a minimum of five feet in width, exclusive of curbing, and shall have a maximum transverse slope of 2%, sloping towards the street, driveway, or parking area. Revise note 6 on Sheet C1.0 to state that all sidewalks shall be at least five feet wide exclusive of curbing.

3.14

1. Section 22 and Section 27.09
 - a. **Comment not addressed.** Sheet C2.1- Several storm lines appear to have less than four feet of cover on this sheet and sheet C2.2. If four feet or more of cover cannot be achieved, then two inches of rigid polystyrene thermal insulation with a minimum "R" value of 10 shall be required for a minimum of eight feet, pursuant to Section 6(3)(F)(2) of the Construction Standards and Details.
 - b. **Comment not addressed.** Sheet C2.1- On the profile, show the four-inch roof drain invert information at STM-A3, and the invert information for the 10-inch roof drain at SRM-A7. Add this information to the structure table on Sheet C2.0.

- c. **Comment not fully addressed. A waiver has been requested for the water and sewer portion of this requirement. Engineering does not support this waiver request.** Sheet C2.1- Include all utility crossings in profile view.
- d. **Comment not addressed.** Sheet C2.1- Include a note that states the contractor shall ensure that existing catch basin EXCB-1 is suitable for a new connection and if it is not, the structure shall be replaced.
- e. Comment addressed.
- f. Comment addressed.

5.1

- h. **Comment not fully addressed.** Section 16.02(14)(a)- A waiver has been requested from this section; however, because the request is “to not provide required profiles for water and sanitary sewer showing crossings and verticals distances of all municipal and nonmunicipal utilities at this time,” the waiver request is actually from 16.02(14)(b), not (14)(a). The requirements of Section 36.08 have been met. However, Engineering does not support this waiver request.

New Comments

1. Show a storm profile of STM-B1, -B2, and -A3, pursuant to CSPR 16.02(14)(b). Include both roof drains in the storm profiles.
2. On Sheet C3.0, show the sanitary sewer pipe, slope, and invert information in plan view, pursuant to CSPR 15.04(13) and 16.02(14)(a).
3. On August 4, 2025 the City Surveyor had reached out to Alex Camm with Greenman-Pedersen regarding a discrepancy in the Existing Conditions Plan along N State St. This latest submission does not take into account those comments or suggestions.

State/Federal Permits

The project will require the following state and/or federal permit(s) associated with the site design:

- EPA General Construction Permit

Per Site Plan Regulation 13.02 (8) and/or Subdivision Regulation 13.02 (10), a copy of the State and Federal permit(s) shall be submitted to the City prior to final approval.

Post-Approval/Pre-Construction Requirements

The following items are required prior to the start of construction:

1. Per Site Plan Regulation 27.11, establish a financial guarantee (letter of credit, or cash deposit) for site stabilization.
2. The following permit(s) will need to be obtained from the Engineering Services Division:
 - Excavation Permit
 - Utility Connection Permits (Drain, Sewer, and Water)
 - Driveway Permit
 - Other permits deemed necessary by the City Engineer

Please note that all Engineering permits must now be applied for online using the City's new Citizen Self Service (CSS) Permit Portal, which can be found here:

<http://concordnh.gov/1915/Engineering-Permits-Fees>

3. Per Site Plan Regulation 36.24 The Applicant is responsible for paying engineering permit inspection fees to ensure work is consistent with City standards and the Approved Plans.

Prior to scheduling the pre-construction meeting, the Applicant should apply for the required Engineering permits listed above and provide an estimate of the anticipated number of inspections for review by Engineering. The Applicant shall provide a project schedule when applying for the required permits.

The permit fees shall be paid prior to scheduling the pre-construction meeting.

4. Establish a performance surety (bond, letter of credit, or cash deposit) for work within the Right-of-Way and proposed public improvements or common private improvements per Subdivision Regulation 10.09, prior to subdivision plat signature, pursuant with 13.02 (7), and 30.01. An engineer's cost estimate, prepared by the Applicant and based on the current NHDOT weighted average unit prices, shall be submitted a minimum of two weeks prior to scheduling the pre-construction meeting.
5. When above requirements have been met, request to set up a pre-construction meeting with the Engineering Services Division to discuss construction requirements, site inspections, associated fees, schedules, etc. Engineering permits will not be authorized (unless explicitly stated otherwise) until final revised plans have been submitted and approved to the satisfaction of Planning and Engineering.

Construction Requirements

1. Shop drawings/submittals shall be submitted to Engineering for the proposed water, sewer, drainage improvements as applicable.

2. Per Site Plan Regulation 12.09, prior to issuance of a Certificate of Occupancy (CO), the contractor shall submit digital as-built drawings that are to the satisfaction of Engineering and conforming to the Engineering as-built checklist. A copy of the as-built drawing requirements is available on the Engineering Services Division section of the City of Concord website.
3. Retaining wall design drawings (stamped Structural Engineer licensed in the State of NH) shall be submitted to Engineering for proposed retaining walls that are greater than 4 feet high. In addition, walls greater than 48 inches require a Building Permit from the Code Administration Office.

Return to:
City of Concord
Planning Div.
41 Green St.
Concord NH 03301

47.37
2.5

AGREEMENT TO CONVEY RIGHT-OF-WAY EASEMENT

AGREEMENT MADE this 21st day of May, 2012, by and between **J & S LEASING**, a New Hampshire limited partnership whose general partners are James H. Steenbeke, Jr., Donald Steenbeke and Raymond Steenbeke, with a principal place of business at 109 High Street, Boscawen, Concord, New Hampshire 03303 ("J & S") and the **CITY OF CONCORD**, a municipality organized and existing under the laws of the State of New Hampshire, with a principal address of 41 Green Street, Concord, New Hampshire 03301 (the "City").

RECITALS

WHEREAS, J & S is the owner of a certain parcel of land located off of South Main Street in Concord, New Hampshire designated as Map 25B, Block 1, Lot 9, and more fully described in a deed from Edgcomb Metals Company (successor by merger to Edgcomb Steel of New England, Inc.) to J & S Leasing dated December 23, 1994, and recorded in the Merrimack County Registry of Deeds at Book 1977, Page 860 (the "Premises"); and

Steenbeke _ Agreement to Convey Road Easement # 1 50697854-1



LT1-2-812319-1



LT2-3316-335-10

- 2 -

WHEREAS, during the course of approving the development of the Premises, the City's Planning Board and J & S determined that it will be necessary to lay out a public street to provide ingress to and egress from the Premises to South Main Street, and to provide for a future network of roads that may be laid out in and around the Premises; and

WHEREAS, J & S has no objection to the general layout of a public street in or around the Premises for the purposes recited herein; and

WHEREAS, both the City and J & S are uncertain of the precise location of the layout of the public street at this time; and

WHEREAS, the City seeks a commitment from J & S to provide an easement for the layout of a public street upon or bordering the Premises, in order to provide for the good and orderly development of the Premises and neighboring parcels.

NOW THEREFORE in consideration of the mutual covenants and promises contained herein, the parties hereby agree as follows:

1. J & S agrees to convey to the City an easement for a public right-of-way, to permit the creation of a right-of-way for a public street, which right-of-way shall not exceed sixty-six feet (66') in total width from South Main Street through a portion of the Premises at a location to be mutually agreeable to the parties, which approval shall not be unreasonably withheld or delayed (the "Easement"). The parties acknowledge that the location of the Easement shall be based on the following factors, none of which is determinative:

a. The future development of the Premises, and of property in and around the Premises, including buildings, utilities, drainage and other infrastructure.

b. The most feasible and safe location for an intersection of the future road to be

- 3 -

located within the Easement and South Main Street.

- c. The anticipated extensions of streets in and around the Premises to the future road to be located within the Easement.
- d. The anticipated location of other future roads providing access to future development on the Premises.
- e. The location and width of a certain companion easement to be granted by P & M Realty of Concord, LLC, as evidenced by an Agreement to Convey Right-of-Way Easement dated November 16, 2011, and recorded in the Merrimack County Registry of Deeds at Book 3288, Page 1108, which, when joined with the easement intended by this Agreement, shall comprise the total width of the easement for the aforescribed public right-of-way.

The parties further acknowledge that at the present time, the Easement is likely to be located in or around the current private driveway known as Langdon Avenue, although this acknowledgment is not intended to bind the parties to the final location of the Easement.

2. The deed shall convey title to the Easement, with quitclaim covenants, free and clear of all mortgages and liens as well as encumbrances which would adversely affect the use of the Easement as a means of passage by persons on foot or by motor vehicles, and shall be in the form of the deed affixed hereto as **Exhibit A**.

3. The deed shall be delivered upon notice to J & S by the City. The notice shall include a description of the precise location of improvements proposed within the Easement, including a plan depicting the easement by metes and bounds and any and all proposed improvements within the Easement. No consideration shall be required of the City in exchange

- 4 -

for the deed.

4. J & S may, but shall not be required to, participate in the design or construction of the Easement.

5. The covenants and obligations of the parties in this Agreement shall be binding upon the successors and assigns of such respective parties.

6. The City may not assign its rights under this Agreement to any third party without the written consent of J & S.

7. In the event that the parties ultimately elect not to seek the Easement, a notice shall be recorded in the Merrimack County Registry of Deeds by the City, extinguishing its rights herein.

(The signature page follows.)

MCRD

- 5 -

DATED this 15TH day of MAY, 2012.

J & S LEASING

By:

James H. Steenbeke, Jr.
James H. Steenbeke, Jr., General Partner
Authorized

By:

Donald Steenbeke
Donald Steenbeke, General Partner
Duly Authorized

By:

Raymond Steenbeke
Raymond Steenbeke, General Partner
Duly Authorized

CITY OF CONCORD

By:

[Signature]

Name:

Title:

Duly authorized

STATE OF NH
COUNTY OF Merrimack

The foregoing instrument was acknowledged before me this 15TH day of MAY, 2012, by James H. Steenbeke, Jr., general partner of J & S Leasing, a New Hampshire limited partnership, on behalf of the limited partnership.

James J. P.
Justice of the Peace/Notary Public
My commission expires: 3/2017

- 6 -

STATE OF NH
COUNTY OF Merrimack

The foregoing instrument was acknowledged before me this 15th day of MAY, 2012, by Donald Steenbeke, general partner of J & S Leasing, a New Hampshire limited partnership, on behalf of the limited partnership.

James Guay J.P.
Justice of the Peace/~~Notary Public~~
My commission expires: 3/2017

STATE OF NH
COUNTY OF Merrimack

The foregoing instrument was acknowledged before me this 15th day of MAY, 2012, by Raymond Steenbeke, general partner of J & S Leasing, a New Hampshire limited partnership, on behalf of the limited partnership.

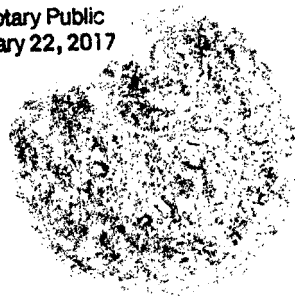
James Guay J.P.
Justice of the Peace/~~Notary Public~~
My commission expires: 3/2017

STATE OF NEW HAMPSHIRE
COUNTY OF MERRIMACK

The foregoing instrument was acknowledged before me this 21st day of May, 2012, by Thomas J. Aspell, Jr., the City Manager of the City of Concord, a municipal corporation, on behalf of the corporation.

Suzanne M. Stevens
~~Justice of the Peace/Notary Public~~ Notary Public
My commission expires: _____

SUZANNE M. STEVENS, Notary Public
My Commission Expires February 22, 2017



- 7 -

EXHIBIT A - FORM OF EASEMENT DEED**EASEMENT DEED FOR ROAD RIGHT-OF-WAY**

J & S LEASING, a New Hampshire limited partnership whose general partners are James H. Steenbeke, Jr., Donald Steenbeke and Raymond Steenbeke, with a principal place of business at 109 High Street, Boscawen, Concord, New Hampshire 03303 (hereinafter referred to as the "Grantor"), for consideration paid, grants to the **CITY OF CONCORD**, a New Hampshire municipality with an address of 41 Green Street, Concord, New Hampshire 03301 (hereinafter referred to as the "Grantee"), with QUITCLAIM COVENANTS, the following easement for the benefit of the Grantee on property of the Grantor known as Map 25B, Block 1, Lot 9, off South Main Street in the City of Concord, State of New Hampshire (the "Easement").

The area of the Easement is more fully described at **Exhibit A-1** of this Easement Deed and shown on a plan entitled "_____", prepared by _____, dated _____, and recorded as Plan No. _____ in the Merrimack County Registry of Deeds.

TOGETHER WITH the perpetual, non-exclusive right and easement to extend and maintain such slopes and embankments beyond the limits of said Easement, as necessary for flowage, drainage and erosion in accordance with the standards adopted by the City of Concord.

A. **PURPOSE**. The purpose of the Easement is to provide the Grantee, its agents, employees, representatives, guests and invitees the right to establish, construct, maintain, repair and replace a public way within the Easement, including any and all appurtenances and improvements customary to a public way, including the right to lay, construct, maintain, repair and replace utility transmission lines within the Easement.

B. **CONSTRUCTION**. The Grantor, its successors and assigns, covenants and agrees that it will not, without the consent of the City of Concord, alter, erect or maintain any building or other improvement within the Easement that in the reasonable judgment of the Grantee may unreasonably interfere with or endanger said right and easement or the operation and maintenance thereof; and that the Grantee may remove any such newly-erected building or

- 8 -

improvement, including landscaping, that may be wholly or partly within the above-described easement at the expense of the Grantor, its successors and assigns.

C. BINDING EFFECT. The rights, duties and obligations of the Grantor and Grantee are binding upon their respective heirs, executors, administrators, successors and assigns.

SUBJECT to all easements, covenants, conditions, restrictions and reservations existing of record, including, without limitation, all matters shown on the Plan.

DATED this 15 day of May, 2012.

J & S LEASING

By:

James H. Steenbeke, Jr.
James H. Steenbeke, Jr., General Partner
Authorized

By:

Donald Steenbeke
Donald Steenbeke, General Partner
Duly Authorized

By:

Raymond Steenbeke
Raymond Steenbeke, General Partner
Duly Authorized

STATE OF NH
COUNTY OF Merrimack

The foregoing instrument was acknowledged before me this 15th day of MAY, 2012, by James H. Steenbeke, Jr., general partner of J & S Leasing, a New Hampshire limited partnership, on behalf of the limited partnership.

James A. Guay, J.P.
Justice of the Peace/Notary Public
My commission expires: 3/2017

STATE OF NH
COUNTY OF Merrimack

The foregoing instrument was acknowledged before me this 15th day of MAY, 2012 by Donald Steenbeke, general partner of J & S Leasing, a New Hampshire limited partnership, on behalf of the limited partnership.

Paul J. Quay J.P.
Justice of the Peace/Notary Public
My commission expires: 3/15/2017

STATE OF NH
COUNTY OF Merrimack

The foregoing instrument was acknowledged before me this 15th day of May, 201 2 by Raymond Steenbeke, general partner of J & S Leasing, a New Hampshire limited partnership, on behalf of the limited partnership.

Paul J. Quay J.P.
Justice of the Peace/Notary Public
My commission expires: 3/2017

MCRD

- 10 -

EXHIBIT A-1 - EASEMENT DESCRIPTION

MCRD

Steenbeke _ Agreement to Convey Road Easement # 1 50697854-1

MERRIMACK COUNTY RECORDS

Kathi L. Gray, CPO, Register