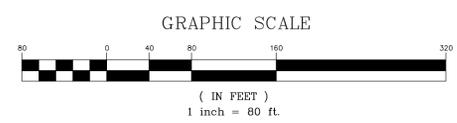
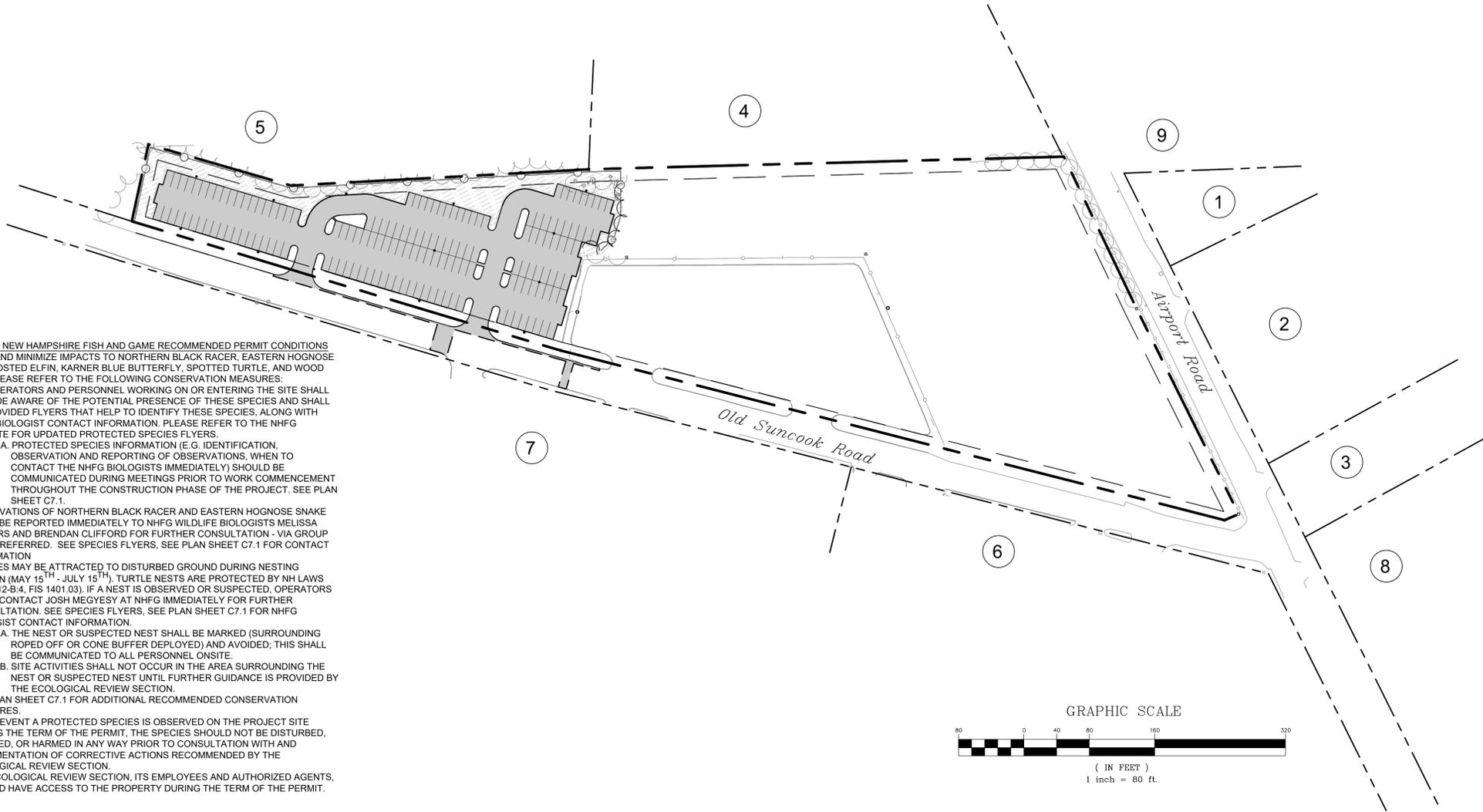
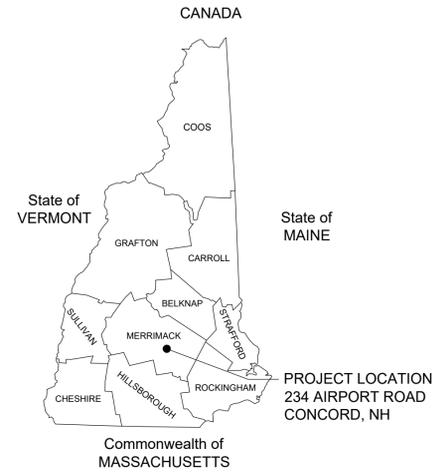


BANKS CHEVROLET PARKING LOT RECONSTRUCTION

234 AIRPORT ROAD, CONCORD, NH 03301



DCT25-2394 NEW HAMPSHIRE FISH AND GAME RECOMMENDED PERMIT CONDITIONS TO AVOID AND MINIMIZE IMPACTS TO NORTHERN BLACK RACER, EASTERN HOGNOSE SNAKE, FROSTED ELFIN, KARNER BLUE BUTTERFLY, SPOTTED TURTLE, AND WOOD TURTLE. PLEASE REFER TO THE FOLLOWING CONSERVATION MEASURES:

- ALL OPERATORS AND PERSONNEL WORKING ON OR ENTERING THE SITE SHALL BE MADE AWARE OF THE POTENTIAL PRESENCE OF THESE SPECIES AND SHALL BE PROVIDED FLYERS THAT HELP TO IDENTIFY THESE SPECIES, ALONG WITH NHFG BIOLOGIST CONTACT INFORMATION. PLEASE REFER TO THE NHFG WEBSITE FOR UPDATED PROTECTED SPECIES FLYERS.
 - PROTECTED SPECIES INFORMATION (E.G. IDENTIFICATION, OBSERVATION AND REPORTING OF OBSERVATIONS, WHEN TO CONTACT THE NHFG BIOLOGISTS IMMEDIATELY) SHOULD BE COMMUNICATED DURING MEETINGS PRIOR TO WORK COMMENCEMENT THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT. SEE PLAN SHEET C7.1.
- OBSERVATIONS OF NORTHERN BLACK RACER AND EASTERN HOGNOSE SNAKE SHALL BE REPORTED IMMEDIATELY TO NHFG WILDLIFE BIOLOGISTS MELISSA WINTERS AND BRENDAN CLIFFORD FOR FURTHER CONSULTATION - VIA GROUP TEXT PREFERRED. SEE SPECIES FLYERS. SEE PLAN SHEET C7.1 FOR CONTACT INFORMATION.
- TURTLES MAY BE ATTRACTED TO DISTURBED GROUND DURING NESTING SEASON (MAY 15TH - JULY 15TH). TURTLE NESTS ARE PROTECTED BY NH LAWS (RSA 212-B:4, FIS 1401.03). IF A NEST IS OBSERVED OR SUSPECTED, OPERATORS SHALL CONTACT JOSH MEGEY AT NHFG IMMEDIATELY FOR FURTHER CONSULTATION. SEE SPECIES FLYERS. SEE PLAN SHEET C7.1 FOR NHFG BIOLOGIST CONTACT INFORMATION.
 - THE NEST OR SUSPECTED NEST SHALL BE MARKED (SURROUNDING ROPED OFF OR CONE BUFFER DEPLOYED) AND AVOIDED; THIS SHALL BE COMMUNICATED TO ALL PERSONNEL ONSITE.
 - SITE ACTIVITIES SHALL NOT OCCUR IN THE AREA SURROUNDING THE NEST OR SUSPECTED NEST UNTIL FURTHER GUIDANCE IS PROVIDED BY THE ECOLOGICAL REVIEW SECTION.
- SEE PLAN SHEET C7.1 FOR ADDITIONAL RECOMMENDED CONSERVATION MEASURES.
- IN THE EVENT A PROTECTED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHOULD NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY THE ECOLOGICAL REVIEW SECTION.
- THE ECOLOGICAL REVIEW SECTION, ITS EMPLOYEES AND AUTHORIZED AGENTS, SHOULD HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

PROJECT DESCRIPTION:

THIS PROJECT IS TO RECONSTRUCT A 73,800 SQUARE FOOT GRAVEL PARKING LOT INTO A 53,540 SQUARE FOOT PAVED PARKING LOT, WITH ASSOCIATED DRIVES, LANDSCAPED AREAS, STORMWATER MANAGEMENT SYSTEMS, AND UTILITIES. PROPOSED PARKING LOT SERVES AS OFF-SITE PARKING FOR BANKS CHEVROLET DEALERSHIP AT MBLU 782/Z/31, LOCATED DIRECTLY ACROSS OLD SUNCOOK ROAD FROM THE PROPOSED PARKING LOT.

ABUTTERS LIST

- MBLU 782/Z/3: MADELINE E. WHITE REVOCABLE TRUST, 227 AIRPORT ROAD, CONCORD, NH 03301
- MBLU 782/Z/4: JAKE T. CURTIN, 237 AIRPORT ROAD, CONCORD, NH 03301
- MBLU 782/Z/5: MICHAEL & SANDRA BAXLEY, 239 AIRPORT ROAD, CONCORD, NH 03301
- MBLU 782/Z/12: SHAWN E. PALMER & JANE M. CHLOE, 222 AIRPORT ROAD, CONCORD, NH 03301
- MBLU 782/Z/19: CITY OF CONCORD, 41 GREEN STREET, CONCORD, NH 03301
- MBLU 782/Z/30: PASOJALE F. ALOSA REVOCABLE TRUST, P.O. BOX 1182, CONCORD, NH 03301
- MBLU 782/Z/31: DAVAL REALTY ASSOCIATES LLC, 137 MANCHESTER STREET, CONCORD, NH 03301
- MBLU 783/Z/2: FORGET & BOUCHER, LLC, 175 MANCHESTER STREET, CONCORD, NH 03301
- MBLU 782/Z/2: MICHAEL J. & LINDSEY G. HABERLAND, 223 AIRPORT ROAD, CONCORD, NH 03301

SHEET INDEX

SHEET	NUMBER	TITLE	DATE ISSUED	LATEST REVISION
1	C0.1	COVER SHEET	12/18/2025	-/-/-
2	C0.2	NOTES & LEGEND	11/19/2025	-/-/-
3	S1	EXISTING CONDITIONS PLAN	10/16/2025	-/-/-
4	S2	EXISTING CONDITIONS PLAN	10/16/2025	-/-/-
5	C1.1	DEMOLITION PLAN	11/19/2025	-/-/-
6	C1.2	SITE PLAN	12/18/2025	-/-/-
7	C1.3	GRADING, DRAINAGE, AND UTILITY PLAN	12/18/2025	-/-/-
8	C1.4	EROSION CONTROL PLAN	12/18/2025	-/-/-
9	C2.1	DRAINAGE PROFILES	11/19/2025	-/-/-
10	C5.1	CONSTRUCTION DETAILS	11/19/2025	-/-/-
11	C5.2	CONSTRUCTION DETAILS	11/19/2025	-/-/-
12	C5.3	CONSTRUCTION DETAILS	11/19/2025	-/-/-
13	C5.4	EROSION CONTROL DETAILS	11/19/2025	-/-/-
14	C7.1	WILDLIFE PROTECTION NOTES	12/09/2025	-/-/-
15	L1	LANDSCAPING PLAN	12/19/2025	-/-/-
16	L2	SITE LIGHTING PLAN	11/18/2025	-/-/-

Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

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CONCORD, NH 03301
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LAND SURVEYOR
HOLDEN ENGINEERING & SURVEYING
9 CONSTITUTION DRIVE
BEDFORD, NEW HAMPSHIRE

LANDSCAPE ARCHITECT
TERRAIN PLANNING & DESIGN LLC
311 KAST HILL ROAD
HOPKINTON, NH

LIGHTING DESIGNER
VISIBLE LIGHT INC.
24 STICKNEY TERRACE, STE 6
HAMPTON, NH

REVISION HISTORY
1. REVISED IN RESPONSE TO NHDES ECOLOGICAL REVIEW SECTION COMMENTS (12/09/2025)
2. REVISED TO COMPLY WITH RESIDENTIAL SCREENING (12/18/2025)

ISSUED FOR
PERMITTING

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

OWNER
DAVAL REALTY ASSOCIATES LLC / BANKS CHEVROLET

**137 MANCHESTER ST
CONCORD, NH 03301**

SITE
**BANKS CHEVROLET
PARKING LOT
RECONSTRUCTION**

**234 AIRPORT ROAD
CONCORD, NH 03301**

MBLU: 782/Z/8

DRAWING TITLE
COVER SHEET

SCALE	N.T.S.	DATE	11/19/2025
DRAFTED BY	KAD	CHECKED BY	ERL
PROJECT MGR	ERL	PROJECT NO.	BACC0005

SHEET NO.
C0.1
01 OF 16

APPROVED
UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
in accordance with vote of the board dated:

Approval of this plan is limited to the date as shown

Chair _____ Clerk _____

REVISION HISTORY
 1. REVISED IN RESPONSE TO NHDES ECOLOGICAL REVIEW SECTION COMMENTS (12/09/2025)
 2. REVISED TO COMPLY WITH RESOLUTION SCREENING (12/19/2025)

LEGEND

EXISTING	PROPOSED

STANDARD ABBREVIATIONS

BCC	- BITUMINOUS CONCRETE CURB
VGC	- VERTICAL GRANITE CURB
SGC	- SLOPED GRANITE CURB
CCC	- CAST-IN-PLACE CONCRETE CURB
PCC	- PRECAST CONCRETE CURB
ICC	- INTEGRAL CONCRETE CURB
RCC	- REINFORCED CONCRETE CURB
BCP	- BITUMINOUS CONCRETE PAVEMENT
GRV	- GRAVEL DRIVE SURFACE
PCS	- PORTLAND CEMENT CONCRETE SIDEWALK
BCS	- BITUMINOUS CONCRETE SIDEWALK
CB	- CATCH BASIN
DMH	- DRAINAGE MANHOLE
SMH	- SEWER MANHOLE

GENERAL NOTES

- GENERAL:**
 - THESE DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT ENTITLED "STORMWATER MANAGEMENT PLAN FOR BANKS CHEVROLET DATED 11/19/2025 PREPARED BY WILCOX & BARTON INC.
 - EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON A PLAN TITLED "EXISTING CONDITIONS PLAN BANKS CHEVROLET-CADILLAC", DATED 10/16/2025, BY HOLDEN ENGINEERING & SURVEYING, INC.
 - THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR BANKS CHEVROLET FOR REVIEW BY THE CITY OF CONCORD PLANNING BOARD, CODE ENFORCEMENT, GENERAL SERVICES, POLICE, AND FIRE DEPARTMENTS.
 - THE CONTRACTOR SHALL OBTAIN COVERAGE UNDER EPA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FOR CONSTRUCTION ACTIVITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND IMPLEMENTING AN ENVIRONMENTAL PROTECTION AGENCY (EPA) STORM WATER POLLUTION PREVENTION PLAN PRIOR TO THE START OF CONSTRUCTION AND DURING CONSTRUCTION ON-SITE IN ACCORDANCE WITH THE EPA REGULATIONS UNDER THE CLEAN WATER ACT.
 - THE PURPOSE OF THESE DRAWINGS IS TO SHOW A RECONSTRUCTED 53,540 SQUARE FOOT PAVED PARKING LOT, WITH ASSOCIATED DRIVES AND UTILITIES FOR OFF-SITE PARKING FOR ABUTTING PARCEL MBLU 782/Z/31.
 - REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
 - CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 - CONFIRMATORY TEST PITS AND ON-SITE INFILTRATION TESTS TO BE PERFORMED AT THE START OF CONSTRUCTION. TEST PIT LOGS AND INFILTRATION TESTING RESULTS WILL BE DISTRIBUTED TO ENGINEERING SERVICES AND NHDES AOT.
 - ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
 - PROJECT DATUM: NH STATE PLANE COORDINATES NAD 83 (HORIZONTAL) NAVD 88 (VERTICAL)
 - ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER, AND IN ACCORDANCE WITH STATE CODE (IBC 2015 WITH LATEST SUPPLEMENTS), AND LOCAL CODES AND ORDINANCES.
 - ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CONTACT DIG-SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS AND LESS THAN 30 DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF WALLS AND/OR SHORING OF EXCAVATIONS DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND SUBMITTALS BEFORE SUBMISSION TO THE ENGINEER. THIS, PROVIDING ANY INFORMATION REQUIRED OF THE FABRICATOR SUCH AS FIELD DIMENSIONS, ELEVATIONS, ETC. OTHERWISE THE SHOP DRAWINGS OR SUBMITTALS WILL BE REJECTED UNTIL SUCH INFORMATION IS FURNISHED BY THE CONTRACTOR.
 - GENERAL BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, ASTM D1557.
 - UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION.
 - THE CONTRACTOR SHALL SET UP A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.
 - THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE ROW.
 - A TEMPORARY TRAFFIC CONTROL PLAN (TCP) SHALL BE REQUIRED FOR ALL WORK IN AND ADJACENT TO THE CITY ROW THAT WILL REQUIRE LANE CLOSURES. THE TCP SHALL BE SUBMITTED TO THE ESD FOR REVIEW AND APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE CONSTRUCTION ACTIVITIES THAT REQUIRE THE LANE CLOSURE(S).

- MATERIAL SPECIFICATIONS:**
 - MATERIALS NOT SPECIFIED HEREIN SHALL MEET OR EXCEED NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 - GENERAL FILL SHALL BE A COMPACTABLE SAND OR GRAVEL, REASONABLY FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 0-20 PERCENT PASSING A NO. 100 SIEVE AND 40-100 PERCENT PASSING THE NO. 4 SIEVE.
 - BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 3/8 INCH SIEVE, 20-75 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.
 - CRUSHED BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 2 INCH SIEVE, 90-100 PERCENT PASSING A 1/2 INCH SIEVE 30-60 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.

EROSION CONTROL NOTES

- IF EROSION CONTROL MATTING IS USED ON SITE IT SHALL BE WOVEN ORGANIC MATERIAL (E.G. COCO MATTING) THE USE OF WELDED PLASTIC OR BIODEGRADABLE PLASTIC NETTINGS IN EROSION CONTROL MATTINGS IS NOT PERMITTED.
- CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.
- PLACE INLET PROTECTION DEVICES. IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.
- ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM.
- SCHEDULE OF WORK**
 THIS WORK IS ANTICIPATED TO BE PERFORMED IN SPRING 2026. CONSTRUCTION IS ANTICIPATED TO BE COMPLETED BY SUMMER 2026.
- ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION.
- DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
 - PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
 - WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH AT 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
 - WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
 - AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
 - REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.
- EROSION CONTROL IMPLEMENTATION SCHEDULE**
 THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:
- PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
 - BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
 - INSTALL PERMANENT STORM DRAIN SYSTEM.
 - INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
 - REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO FIELD OPERATIONS.
 - PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

- TEMPORARY STABILIZATION:**
 EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE.
- TEMPORARY GRADING:** TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.
- MULCH:** MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDED AREA WITHIN 48 HOURS AFTER SEEDING.

- TACKIFIER:** PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORN DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

- ROAD CLEANING:** THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

- DUST CONTROL:** THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY-BAR THAT DISSIPATES THE WATER EVENLY OVER THE SURFACE.

- PERMANENT STABILIZATION:** GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 5" OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED;
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

- ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

- EXCAVATION DEWATERING:**
 SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

- THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MGL), RESPECTIVELY.

- STORMWATER POLLUTION PREVENTION PLAN:**
 THE PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE USEPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION PERMIT, WHICH INCLUDES A WRITTEN STORM WATER POLLUTION PREVENTION (SWPPP) PLAN FOR CONSTRUCTION. THE SWPPP PLAN SHALL OUTLINE DETAILED SPECIFICATIONS FOR IMPLEMENTATION, INSPECTION, AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN, SHALL BE RESPONSIBLE FOR AMENDING THE SWPPP ACCORDINGLY, AND SHALL BE RESPONSIBLE FOR ANY PENALTIES RESULTING FROM LACK OF COMPLIANCE.

- SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING:**
 GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY.

EROSION CONTROL SEED		
SEED	BY % MASS	% GERMINATION (MIN)
WINTER RYE 80 (MIN)	80 (MIN)	85
RED FESCUE (CREEPING)	4 (MIN)	80
PERENNIAL GRASS	3 (MIN)	90
RED CLOVER	3 (MIN)	90
OTHER CRDP GRASS	0.5 (MAX)	
NOXIOUS WEED SEED	0.5 (MAX)	
INERT MATTER	1.0 (MAX)	

PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDINO CLOVER	5	85

CITY OF CONCORD EROSION CONTROL RECOMMENDATIONS:

- ENGINEERING ENCOURAGES, BUT DOES NOT REQUIRE, THE FOLLOWING WILDLIFE-FRIENDLY EROSION CONTROL PRACTICES:
- USE TEMPORARY EROSION AND SEDIMENT CONTROL PRODUCTS THAT EITHER DO NOT CONTAIN NETTING, OR THAT CONTAIN NETTING MANUFACTURED FROM 100% BIODEGRADABLE NON-PLASTIC MATERIALS SUCH AS JUTE, SISAL, OR COIR FIBER. BIODEGRADABLE, PHOTODEGRADABLE, LIQUID-DEGRADABLE, OXO-BIODEGRADABLE PLASTIC NETTING (INCLUDING POLYPROPYLENE, NYLON, POLYETHYLENE, AND POLYESTER) ARE NOT EQUIVALENT ALTERNATIVES. NETTING USED IN THESE PRODUCTS SHOULD HAVE A LOOSE-WEAVE WILDLIFE-SAFE DESIGN WITH MOVABLE JOINTS BETWEEN THE HORIZONTAL AND VERTICAL TWINES, ALLOWING THE TWINES TO MOVE INDEPENDENTLY AND THUS REDUCING THE POTENTIAL FOR WILDLIFE ENTANGLEMENT.
 - AVOID THE USE OF SILT FENCES REINFORCED WITH METAL OR PLASTIC MESH OR IF POSSIBLE RECOMMEND THE USE OF EROSION CONTROL BERMS.
 - WHEN NO LONGER REQUIRED, TEMPORARY EROSION AND SEDIMENT CONTROL PRODUCTS SHOULD BE REMOVED PROMPTLY FROM THE PROJECT SITE.
 - USE NONWOVEN COIR FABRIC WHEN A SURFACE FABRIC TREATMENT IS REQUIRED FOR EROSION CONTROL AND STABILIZATION, SUCH AS 100% BIODEGRADABLE COCONUT FIBER MAT OR EQUAL AS REVIEWED AND APPROVED BY THE PROJECT DESIGN ENGINEER.
 - USE WOVEN COIR FABRIC WHEN SITE CONDITIONS WARRANT. THE OUTER LAYER OF WOVEN COIR FABRIC SHOULD BE A HIGH STRENGTH, CONTINUOUSLY WOVEN MAT (I.E., WITHOUT SEAMS) AND MADE OF 100% COCONUT FIBER.

WINTER CONSTRUCTION NOTES

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE ELSEWHERE. MULCH REMAINING IN THE SPRING SHALL BE REMOVED AND REPLACED AT RATE OF 2 TONS PER ACRE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND TACKIFIER SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDT ITEM 304.3 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

REQUIRED PERMITS

- PROJECT REQUIRES NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES) ALTERATION OF TERRAIN PERMIT. THE PERMIT APPLICATION HAS BEEN SUBMITTED.
- PROJECT REQUIRES AN EPA CONSTRUCTION GENERAL PERMIT-NOTICE OF INTENT (NOI). THE CONTRACTOR IS RESPONSIBLE FOR PREPARING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND SUBMITTING THE NOI.
- PROJECT REQUIRE A CITY OF CONCORD SITE PLAN APPROVAL.
- PROJECT REQUIRES A CITY OF CONCORD EXCAVATION PERMIT FOR WORK WITHIN THE CITY R.O.W.
- PROJECT REQUIRES CITY OF CONCORD UTILITY EASEMENTS FOR WATER AND ELECTRIC CONDUIT IN R.O.W.
- PROJECT REQUIRES A CONDITIONAL USE PERMIT TO ALLOW FOR THE PROPOSED USE WITHIN THE AQUIFER PROTECTION DISTRICT.

CONSTRUCTION SEQUENCE

- CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. INSPECT EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND WITHIN 24 HOURS OF ANY SIGNIFICANT RAINFALL EVENT (1/2" OF RAIN OR MORE). PERFORM ANY NEEDED MAINTENANCE AND STABILIZATION AS NEEDED.
- DISTURBANCES OF AREAS SHALL BE MINIMIZED. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON. AREAS WHICH WILL NOT BE PERMANENTLY SEEDING WITHIN TWO WEEKS OF DISTURBANCE SHALL BE TEMPORARILY SEEDING AND MULCHED. ALL AREAS SHALL BE STABILIZED WITH SEED MULCH AND TACKIFIER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE AND PRIOR TO THE END OF THE GROWING SEASON.
- PERFORM SITE DEMOLITION TO LIMITS SHOWN ON DEMOLITION PLAN.
- INSTALL THE STORMWATER GALLERY AND DRAINAGE STRUCTURES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- CONDUCT ALL UNDERGROUND UTILITY STRUCTURE AND PIPING INSTALLATION, BACKFILL AND COMPACTING.
- PLACE AND COMPACT NEW GRAVEL COURSES IN THE PARKING AND ACCESS DRIVE AREAS.
- PLACE, GRADE, AND STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND MULCHING.
- PLACE PAVEMENT COURSES AND CURBING.
- ALL DISTURBED SOILS SHALL BE STABILIZED, LOAMED, SEEDED, AND MULCHED.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE DESIGN AND DETAILS.
- SWEEP COMPLETED PAVEMENT AND CLEAN OUT CATCH BASINS AND DRAINAGE PIPES DURING CONSTRUCTION CLOSE-OUT PROCEDURES. PROPERLY DISPOSE OF COLLECTED SEDIMENT AND DEBRIS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AND PROPERLY DISPOSE OF FOLLOWING CONSTRUCTION AND ONCE FULL GROUND COVER HAS BEEN ESTABLISHED.

LANDSCAPING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- LANDSCAPING CONTRACTOR SHALL RECEIVE SITE GRADE TO +/- 0.10 FOOT.
- ALL TREES OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PLANT MATERIALS AND FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR IMMEDIATE RESOLUTION. FAILURE TO MAKE SUCH CONTACTS KNOWN TO THE OWNERS REPRESENTATIVE WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS.
- CONTRACTOR SHALL FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED AS PEST AND DISEASE FREE. IT IS THE CONTRACTORS OBLIGATION TO WARRANTY ALL PLANT MATERIALS.
- ALL GROUND COVERS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS DAMAGED DURING PLANTING OPERATIONS.
- ALL LANDSCAPE AREAS SHALL BE COVERED WITH 2-INCHES OF ORGANIC BARK MULCH UNLESS OTHERWISE NOTED.
- AREAS SHOWN AS GROUND COVER AT THE BASE OF TREE AND SHRUB MATERIALS MUST CONFORM TO THE FOLLOWING CRITERIA. THERE SHALL BE NO GROUND COVER PLANT MATERIAL AT THE BASE OF THE TREE OR SHRUB AS FOLLOWS: A) 4-FOOT RADIUS AROUND EVERGREEN TREES; B) 3-FOOT RADIUS AROUND DECIDUOUS TREES; AND C) 2-FOOT RADIUS AROUND LARGE SHRUBS.
- FINAL PLACEMENT OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OF OWNERS REPRESENTATIVE PRIOR TO FINAL PLACEMENT AND BACKFILL. CONTACT OWNER'S REPRESENTATIVE 24-HOURS PRIOR TO PLACEMENT FOR APPROVAL.
- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE LOAM, SEEDED, AND MULCHED.

ISSUED FOR

PERMITTING

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OWNER

DAVAL REALTY ASSOCIATES LLC / BANKS CHEVROLET

137 MANCHESTER ST CONCORD, NH 03301

SITE

BANKS CHEVROLET PARKING LOT RECONSTRUCTION

234 AIRPORT ROAD CONCORD, NH 03301

MBLU: 782/Z/8

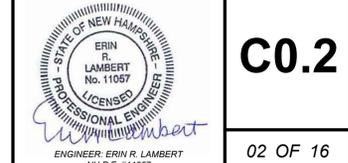
NOTES & LEGEND

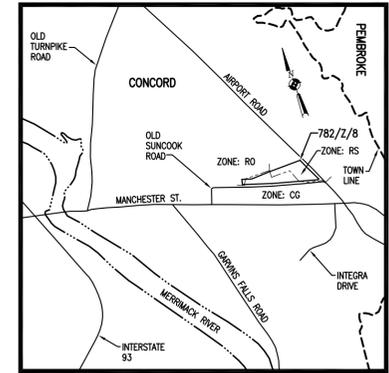
SCALE	N.T.S.	DATE	11/19/2025
DRAFTED BY	KAD	CHECKED BY	ERL
PROJECT MGR	ERL	PROJECT NO.	BACC0005

SHEET NO.

C0.2

02 OF 16





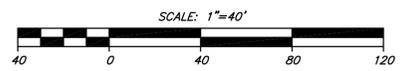
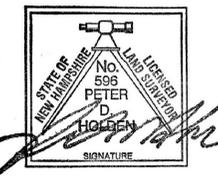
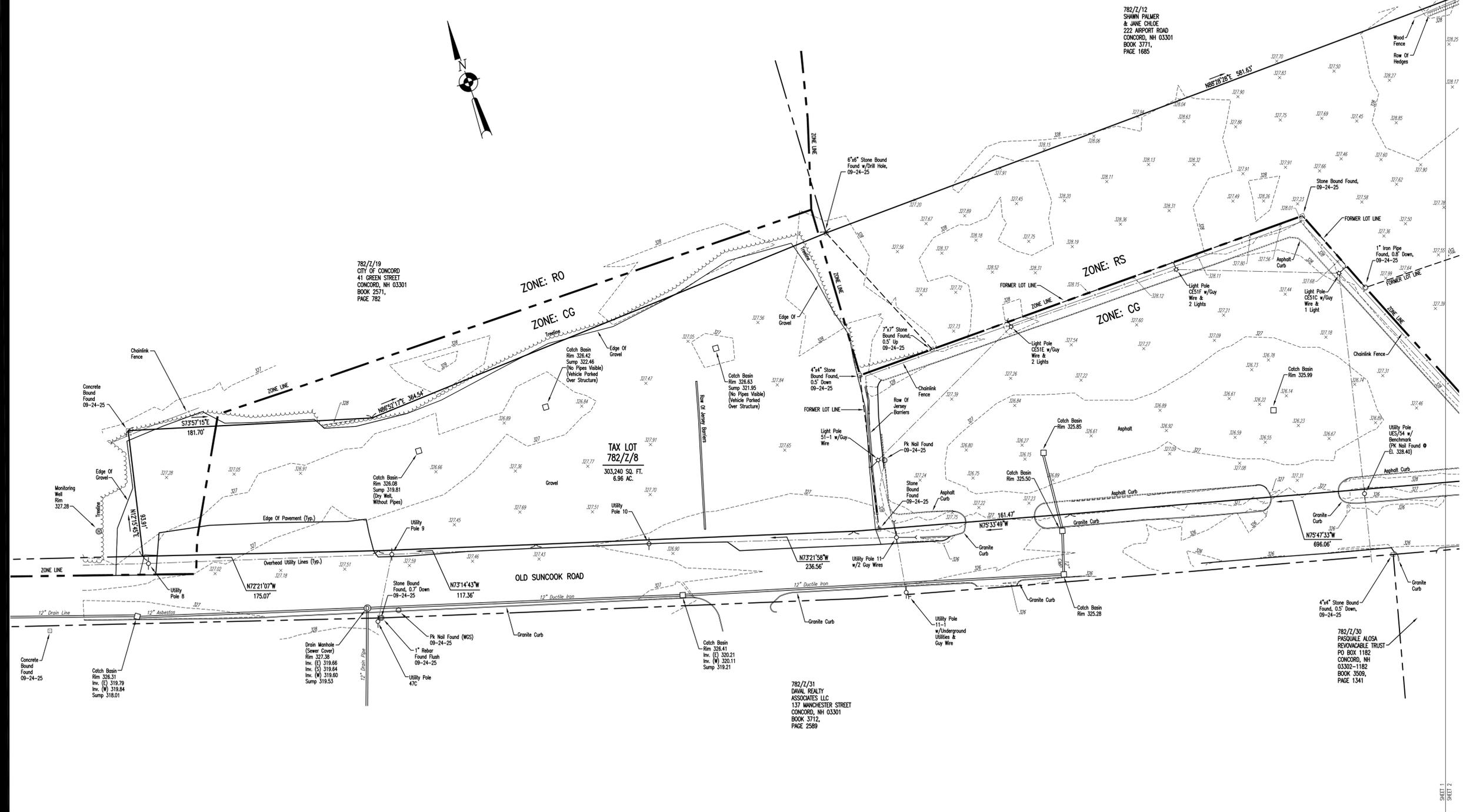
VICINITY MAP
NOT TO SCALE

PLAN REFERENCES:

- "OLD SUNCOOK ROAD RIGHT OF WAY ACQUISITION MAP" DATED MAY 1973 BY CITY OF CONCORD, NEW HAMPSHIRE ENGINEERING DIVISION, FILE NO. 1604
- "LAND TO BE LEASED TO CONCORD LITTLE LEAGUE" DATED MARCH 1974 BY CITY OF CONCORD, NEW HAMPSHIRE ENGINEERING DIVISION, FILE NO. 1682
- "SMEL REALTY CO., INC., TRACTS 4371-F & 4487-A" DATED APRIL, 1959 BY E.N. ROBERTS, CITY OF CONCORD FILE NO. 1588

NOTES:

- REFERENCE THIS PARCEL AS CITY OF CONCORD TAX LOT 782/7/8 OWNED BY DANIAL REALTY ASSOCIATES, 137 MANCHESTER STREET, CONCORD, NH 03301.
- DEED REFERENCE: SEE NOTICE OF LOT CONSOLIDATION, BOOK 3743, PAGE 515, AS RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS.
- AREA OF PARCEL: 303,240 SQUARE FEET, OR 6.96 ACRES.
- THIS SURVEY WAS AN ACTUAL ON THE GROUND TOPOGRAPHIC SURVEY PERFORMED BY HOLDEN ENGINEERING & SURVEYING, INC. IN SEPTEMBER, 2025 FOR THE PURPOSE OF DEPICTING EXISTING SITE CONDITIONS ON THE SUBJECT PROPERTY.
- THE HORIZONTAL SURVEY DATUM IS TIED TO THE NH STATE PLANE COORDINATE SYSTEM AND THE VERTICAL SURVEY DATUM IS TIED TO NAVD 1988 DATUM.



HOLDEN ENGINEERING & SURVEYING, inc.

56 Old Suncook Road - Unit #4
PO Box 480 Concord, N.H. 03302
(603) 225-6449

9 Constitution Drive
Bedford, N.H. 03110
(603) 472-2078

EXISTING CONDITIONS PLAN
BANKS CHEVROLET - CADILLAC
CONCORD, NH

Date:	Revisions Description	Dr. By	Chk. By	Book	Page	Date:
						10-16-25
						Scale: 1"=40'
						Dr. By: DS Ck By: LR
						Job No. 2520435
						Sheet no 1 of 2

H:\CONC-2520435\CADD\X-BASE-6.dwg Oct 22, 2025 dsoucy

ZONING NOTES:

MBLU 782/Z/8
M.C.R.D. BK 3743, PG 0515

PROPERTY ADDRESS 234 AIRPORT ROAD, CONCORD, NH
OWNER DAVAL REALTY ASSOCIATES LLC /BANKS CHEVROLET
ZONING DISTRICT HIGHWAY COMMERCIAL (CH)
OVERLAY DISTRICT AQUIFER PROTECTION DISTRICT

PROPOSED USE OFF-SITE PARKING & VEHICLE STORAGE

LOT SIZE	REQUIRED	EXISTING	PROPOSED
	MIN. 40,000 SF	302,935 SF (6.95 AC)	302,935 SF (6.95 AC)
IMPERVIOUS COVERAGE	MAX. 242,348 SF (80.0%)	132,930 SF (43.9%)	113,597 SF (37.5%)
FRONTAGE	MIN. 200 LF	1,890 LF	1,890 LF
PARKING LOT SETBACKS	FRONT	10 LF	0 LF
	SIDE	MIN. 15 LF	0 LF
	REAR	MIN. 15 LF	0 LF
DRIVEWAY SEPARATION	MIN.	100 LF	67 LF
			156 LF

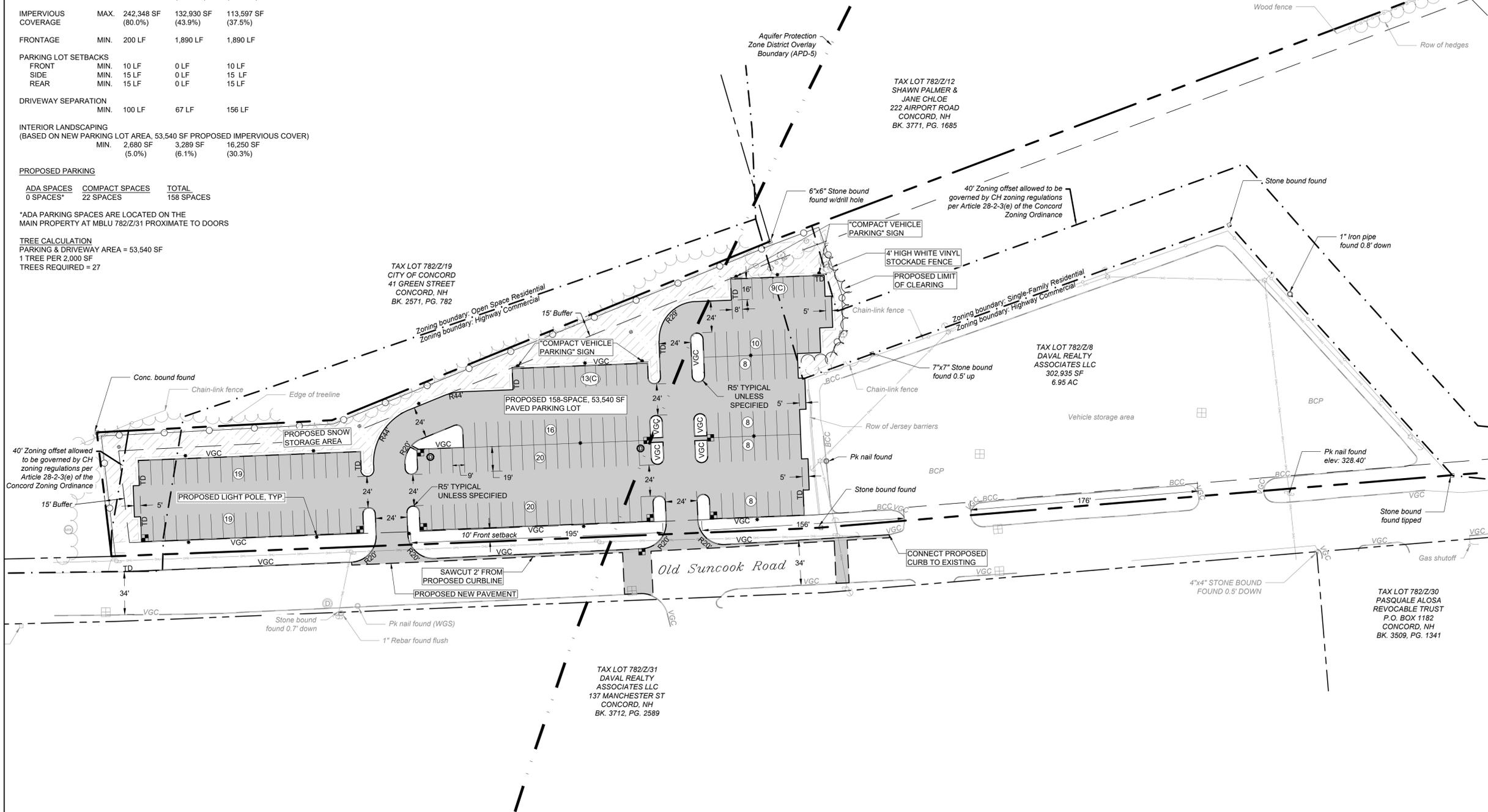
INTERIOR LANDSCAPING (BASED ON NEW PARKING LOT AREA, 53,540 SF PROPOSED IMPERVIOUS COVER)
MIN. 2,680 SF (5.0%) 3,289 SF (6.1%) 16,250 SF (30.3%)

PROPOSED PARKING

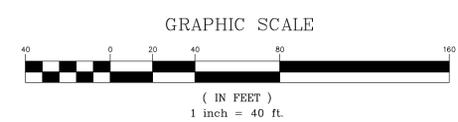
ADA SPACES	COMPACT SPACES	TOTAL
0 SPACES*	22 SPACES	158 SPACES

*ADA PARKING SPACES ARE LOCATED ON THE MAIN PROPERTY AT MBLU 782/Z/31 PROXIMATE TO DOORS

TREE CALCULATION
PARKING & DRIVEWAY AREA = 53,540 SF
1 TREE PER 2,000 SF
TREES REQUIRED = 27



- PLAN NOTES:**
- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAN - BANKS CHEVROLET-CADILLAC - CONCORD, NH" PREPARED FOR BANKS CHEVROLET, DATED OCTOBER 16, 2025, PROVIDED TO WILCOX & BARTON, INC. BY HOLDEN ENGINEERING & SURVEYING, INC.
 - SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES



Wilcox & Barton INC.
CIVIL · ENVIRONMENTAL · GEOTECHNICAL

2 HOME AVENUE
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY
1. REVISED IN RESPONSE TO NHDES ECOLOGICAL REVIEW SECTION COMMENTS (12/09/2025)
2. REVISED TO COMPLY WITH RESIDENTIAL SCREENING (12/19/2025)

ISSUED FOR

PERMITTING

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OWNER

DAVAL REALTY ASSOCIATES LLC / BANKS CHEVROLET

137 MANCHESTER ST CONCORD, NH 03301

SITE

BANKS CHEVROLET PARKING LOT RECONSTRUCTION

234 AIRPORT ROAD CONCORD, NH 03301

MBLU: 782/Z/8

DRAWING TITLE

SITE PLAN

SCALE	DATE		
1" = 40'	11/19/2025		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
KAD	ERL	ERL	BACC0005
SHEET NO.			

STATE OF NEW HAMPSHIRE
ERIN R. LAMBERT
No. 11057
LICENSED PROFESSIONAL ENGINEER

C1.2

ENGINEER ERIN R. LAMBERT
NH P.E. #11057

06 OF 16

REVISION HISTORY
1. REVISED IN RESPONSE TO NHDES ECOLOGICAL REVIEW SECTION COMMENTS (12/09/2025)
2. REVISED TO COMPLY WITH RESIDENTIAL SCREENING (12/19/2025)

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OWNER

DAVAL REALTY ASSOCIATES LLC / BANKS CHEVROLET

**137 MANCHESTER ST
CONCORD, NH 03301**

**BANKS CHEVROLET
PARKING LOT
RECONSTRUCTION**

**234 AIRPORT ROAD
CONCORD, NH 03301**

MBLU: 782/Z/8

DRAWING TITLE

GRADING, DRAINAGE & UTILITY PLAN

SCALE

1" = 20'

DATE

11/19/2025

DRAWN BY

KAD

CHECKED BY

ERL

PROJECT MGR

ERL

PROJECT NO.

BACC0005

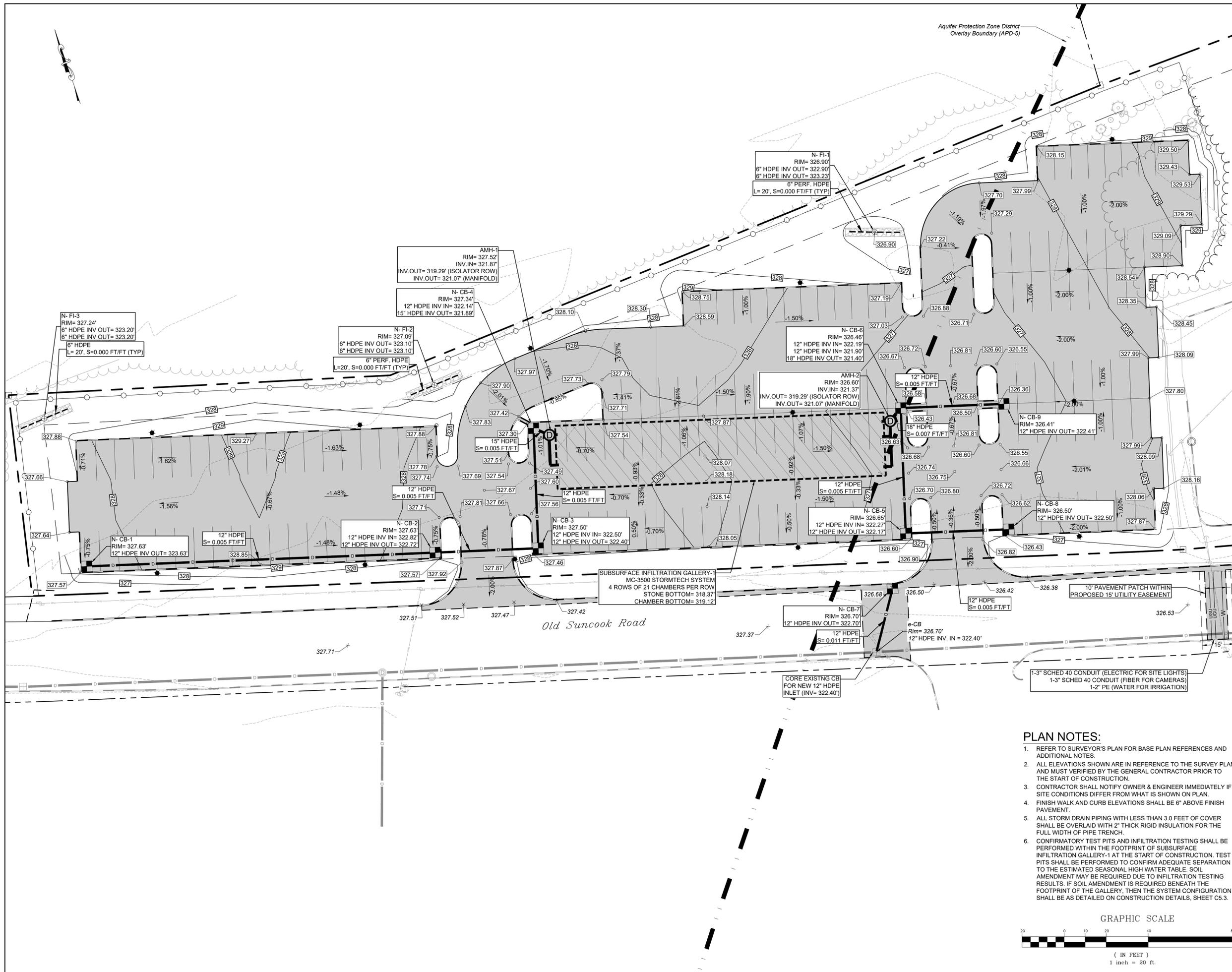
SHEET NO.



C1.3

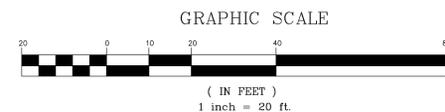
ENGINEER ERIN R. LAMBERT
NH P.E. #11057

07 OF 16



PLAN NOTES:

- REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER SHALL BE OVERLAID WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
- CONFIRMATORY TEST PITS AND INFILTRATION TESTING SHALL BE PERFORMED WITHIN THE FOOTPRINT OF SUBSURFACE INFILTRATION GALLERY-1 AT THE START OF CONSTRUCTION. TEST PITS SHALL BE PERFORMED TO CONFIRM ADEQUATE SEPARATION TO THE ESTIMATED SEASONAL HIGH WATER TABLE. SOIL AMENDMENT MAY BE REQUIRED DUE TO INFILTRATION TESTING RESULTS. IF SOIL AMENDMENT IS REQUIRED BENEATH THE FOOTPRINT OF THE GALLERY, THEN THE SYSTEM CONFIGURATION SHALL BE AS DETAILED ON CONSTRUCTION DETAILS, SHEET C5.3.



REVISION HISTORY
1. REVISED IN RESPONSE TO NHDES ECOLOGICAL REVIEW SECTION COMMENTS (12/09/2025)
2. REVISED TO COMPLY WITH RESIDENTIAL SCREENING (12/19/2025)

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OWNER

DAVAL REALTY ASSOCIATES LLC / BANKS CHEVROLET

**137 MANCHESTER ST
CONCORD, NH 03301**

**SITE: BANKS CHEVROLET
PARKING LOT
RECONSTRUCTION**

**234 AIRPORT ROAD
CONCORD, NH 03301**

MBLU: 782/Z/8

DRAWING TITLE

EROSION CONTROL PLAN

SCALE

1" = 30'

DATE

11/19/2025

DRAFTED BY

KAD

CHECKED BY

ERL

PROJECT MGR

ERL

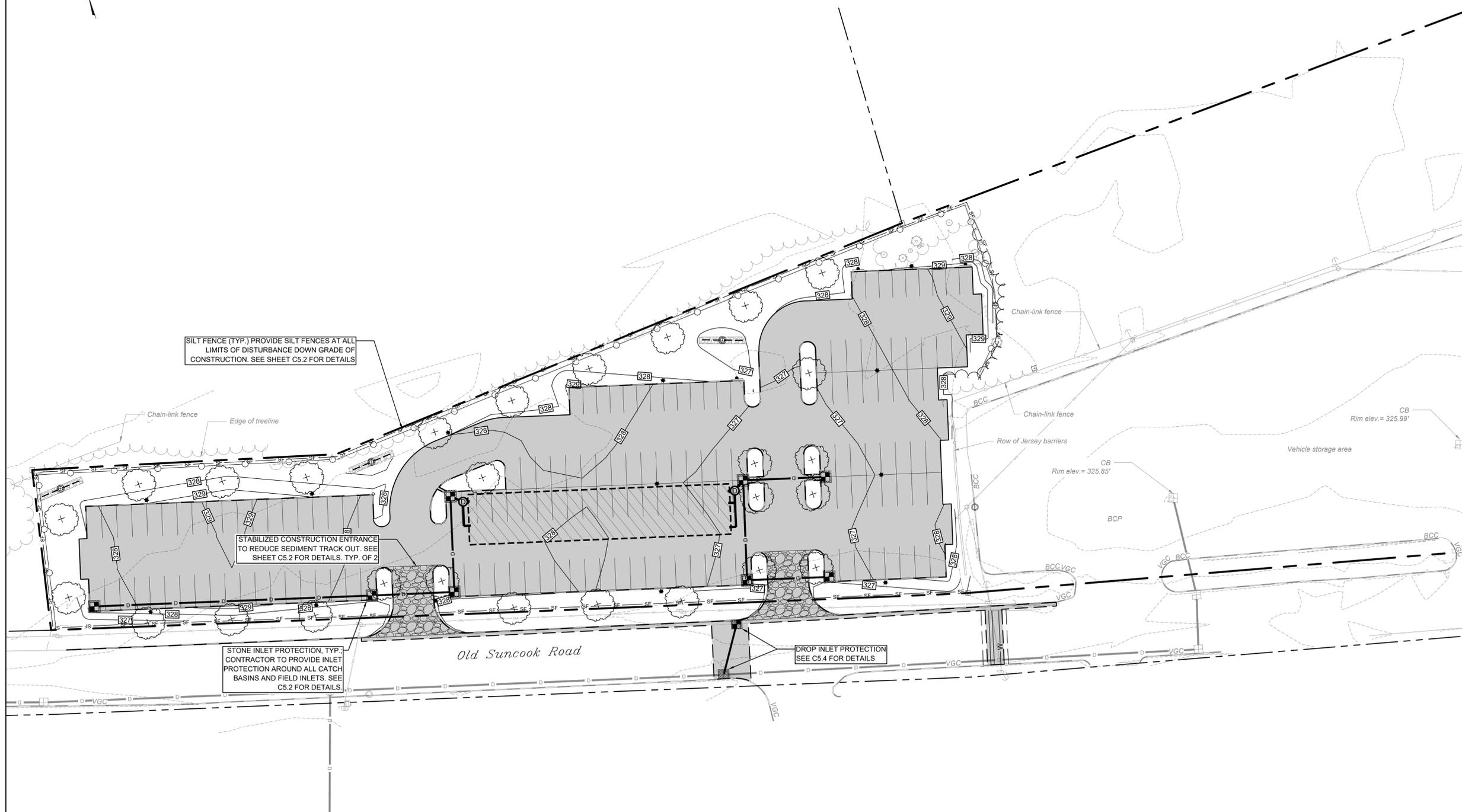
PROJECT NO.

BACC0005

SHEET NO.

C1.4

08 OF 16



SILT FENCE (TYP.) PROVIDE SILT FENCES AT ALL LIMITS OF DISTURBANCE DOWN GRADE OF CONSTRUCTION. SEE SHEET C5.2 FOR DETAILS

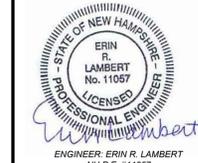
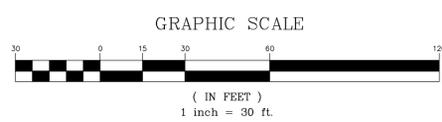
STABILIZED CONSTRUCTION ENTRANCE TO REDUCE SEDIMENT TRACK OUT. SEE SHEET C5.2 FOR DETAILS. TYP. OF 2

STONE INLET PROTECTION, TYP.; CONTRACTOR TO PROVIDE INLET PROTECTION AROUND ALL CATCH BASINS AND FIELD INLETS. SEE C5.2 FOR DETAILS.

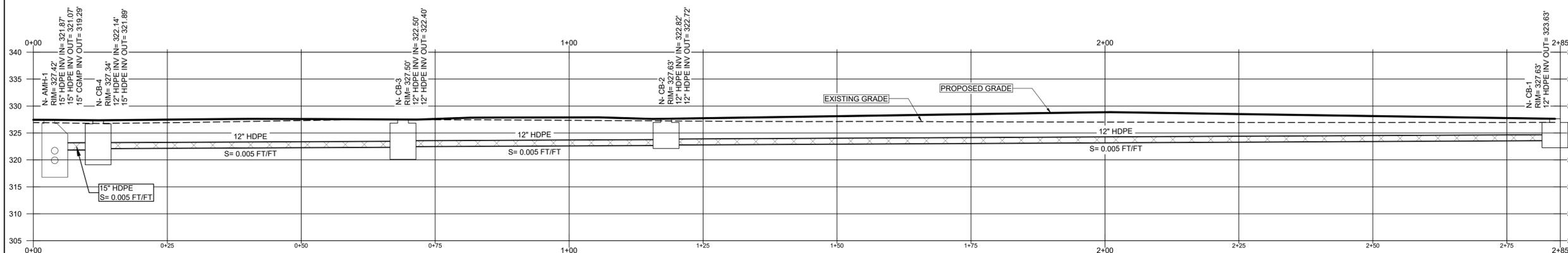
DROP INLET PROTECTION SEE C5.4 FOR DETAILS

PLAN NOTES:

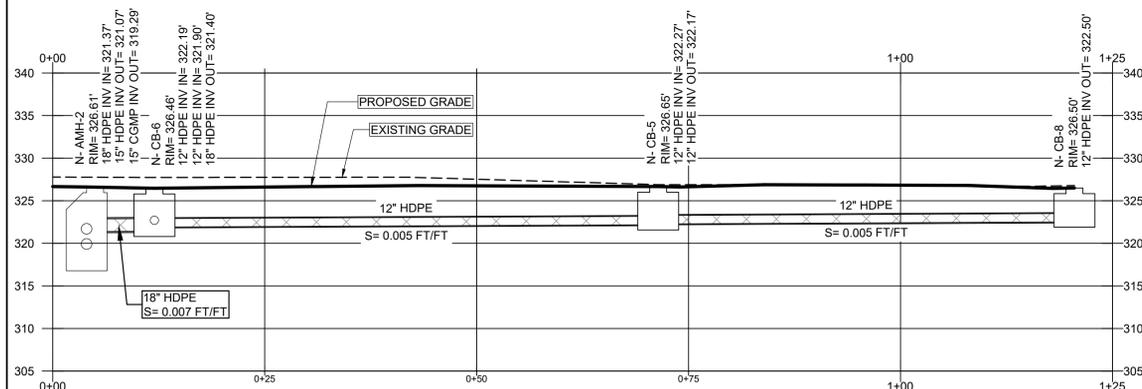
- SEE SHEET C0.2 NOTES AND LEGEND FOR ADDITIONAL EROSION CONTROL NOTES.



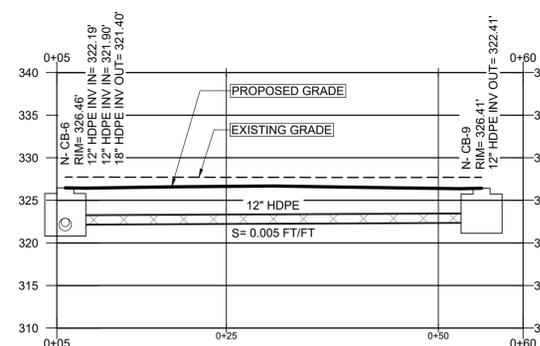
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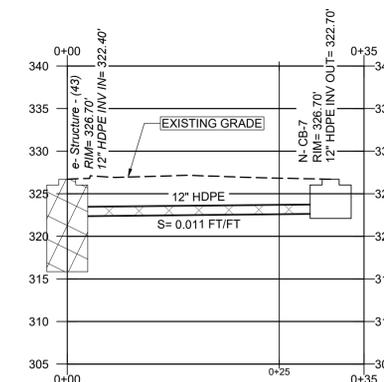
N-SD-WEST
Horiz Scale: 1" = 10'
Vert Scale: 1" = 10'



N-SD-EAST
Horiz Scale: 1" = 10'
Vert Scale: 1" = 10'



N-SD-EAST-2
Horiz Scale: 1" = 10'
Vert Scale: 1" = 10'



N-SD-SOUTH
Horiz Scale: 1" = 10'
Vert Scale: 1" = 10'

ISSUED FOR

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OWNER

**DAVAL REALTY
ASSOCIATES LLC /
BANKS CHEVROLET**

**137 MANCHESTER ST
CONCORD, NH 03301**

SITE **BANKS CHEVROLET
PARKING LOT
RECONSTRUCTION**

**234 AIRPORT ROAD
CONCORD, NH 03301**

MBLU: 782/Z/8

DRAWING TITLE

DRAINAGE PROFILES

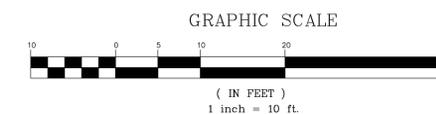
SCALE	1" = 10'	DATE	11/19/2025
DRAFTED BY	KAD	CHECKED BY	ERL
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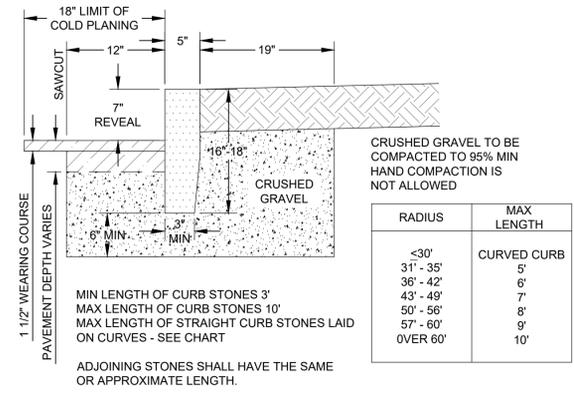
SHEET NO.

C2.1

ENGINEER ERIN R. LAMBERT
NH P.E. #11057

09 OF 16

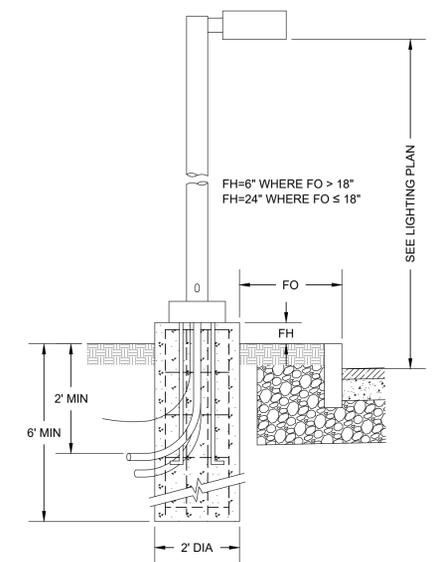




RADIUS	MAX LENGTH
<30'	CURVED CURB
31' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
OVER 60'	10'

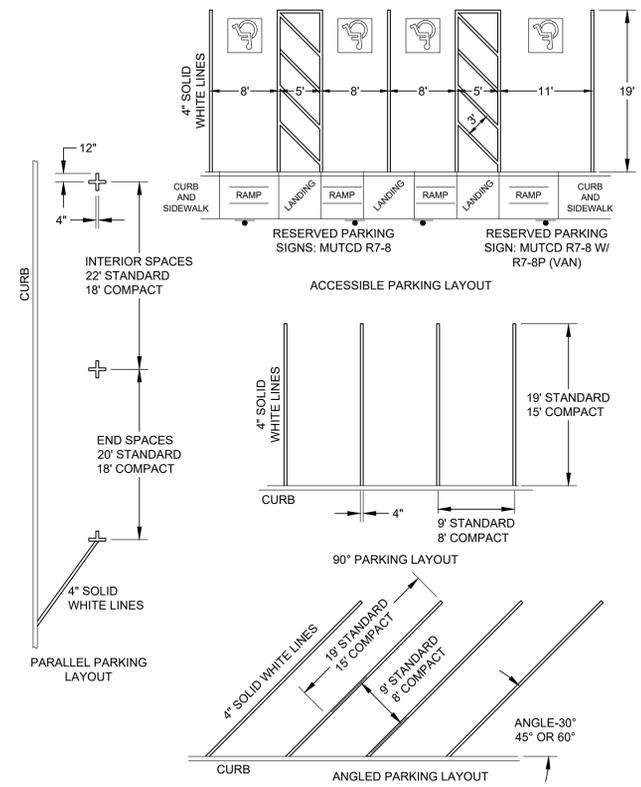
FINISH SURFACE AND TOLERANCES FOR VERTICAL GRANITE CURB		
AREA	FINISH SURFACE	TOLERANCE
TOP	5" WIDE OR AS OTHERWISE SHOWN, SAWN TRUE PLANE.	+1/8" TO +1/2"
	FRONT AND BACK ARRIS LINES PITCHED STRAIGHT AND PARALLEL.	+1/8" TO +1/2"
FRONT FACE	RIGHT ANGLE TO TOP, APPROXIMATELY TRUE PLANE. NO DRILL HOLES SHOWING IN TOP 10"	+1" TO -1/2"
	PLANE PARALLEL WITH FRONT FACE. STRAIGHT SPLIT TO 1/2" BELOW EXPOSED SURFACE. NO LARGER THAN 1/4" SEGMENT OF DRILL HOLES SHOWING IN ARRIS LINES.	+1" TO -1"
CONCEALED	BELOW 1/2" FROM EXPOSED SURFACE.	+1 1/2" TO -1 1/2"
BOTTOM	APPROXIMATELY PARALLEL TO TOP. MINIMUM WIDTH: 3"	SEE PLANS
ENDS EXPOSED PORTION	SQUARE WITH PLANES OF TOP AND FACE	
JOINTS EXPOSED	OPTIMUM WIDTH: 1"	
CONCEALED	TO BREAK BACK NO MORE THAN 4"	+3/4" TO -3/4"

VERTICAL GRANITE CURB
NOT TO SCALE

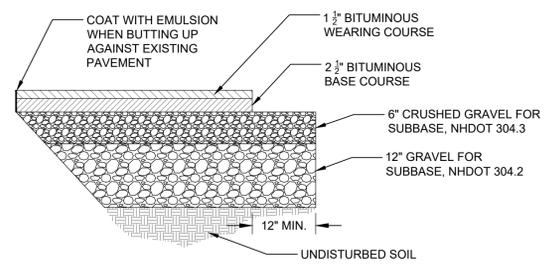


THIS INFORMATION MAY NOT CONTAIN ALL DETAILS REQUIRED FOR CONSTRUCTION APPROPRIATE MODIFICATION MAY BE REQUIRED TO ENSURE SUITABILITY OF THESE DRAWINGS FOR THE SPECIFIC APPLICATION. IT IS THE USERS RESPONSIBILITY TO ENSURE INSTALLATION OF THE EQUIPMENT/SYSTEM IN ACCORDANCE WITH BUILDING/PROJECT SPECIFICATIONS, APPLICABLE CODES AND STANDARDS.

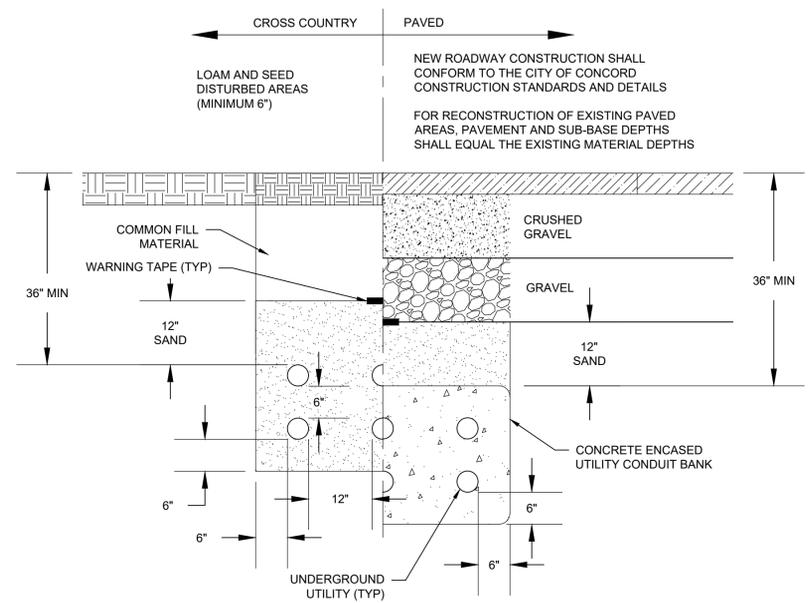
TYPICAL LIGHT POLE AND FOUNDATION
NOT TO SCALE



PARKING SPACE LAYOUT PAVEMENT MARKINGS
NOT TO SCALE

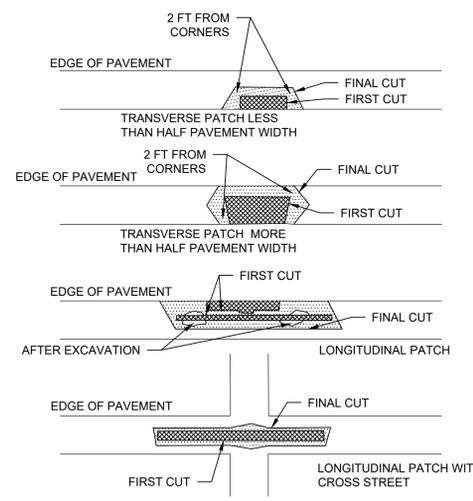


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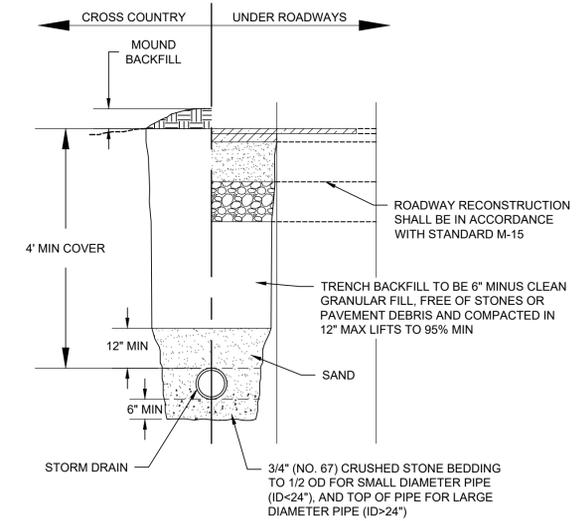


UNDERGROUND CONDUIT INSTALLATIONS SHALL BE COORDINATED WITH ALL LOCAL UTILITIES INCLUDING ELECTRIC, TELEPHONE, GAS, CABLE, STEAM, AND CITY OF CONCORD FIRE ALARM/SIGNAL AND ENGINEERING SERVICES DIVISIONS.
CONDUIT CROSSINGS SHALL BE SWEEPS AT RIGHT ANGLES TO THE STREET. 90° BENDS ARE NOT ACCEPTABLE
PROPOSED CONDUITS WITHIN PAVED SECTIONS OF STREETS SHALL BE RIGID METAL OR SCH 80 PVC CONDUIT. WHEN THE PROPER DEPTH CANNOT BE ACHIEVED, SCH 40 PVC CONDUIT ENCASED IN CONCRETE SHALL BE USED.

TYPICAL UTILITY CONDUIT INSTALLATION
NOT TO SCALE



SAWCUT DETAIL
NOT TO SCALE



NOTES:
1. SAND BLANKET MATERIAL SHALL CONFORM WITH PROVISIONS OF Env-Wq 704.11(b).
2. TRENCH BACKFILL MATERIAL SHALL CONFORM WITH Env-Wq 704.11(h).
3. FOR EXCAVATION IN LEDGE, EXCAVATION SHALL EXTEND AT LEAST 12\"/>

STORM DRAIN TRENCH
NOT TO SCALE

Wilcox & Barton INC.
CIVIL · ENVIRONMENTAL · GEOTECHNICAL

2 HOME AVENUE
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY
1. REVISED IN RESPONSE TO NHDES ECOLOGICAL REVIEW SECTION COMMENTS (12/09/2025)
2. REVISED TO COMPLY WITH RESIDENTIAL SCREENING (12/19/2025)

ISSUED FOR
PERMITTING

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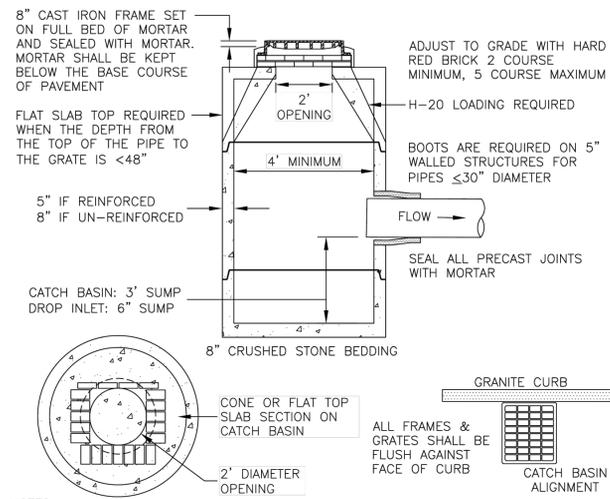
OWNER
DAVAL REALTY ASSOCIATES LLC / BANKS CHEVROLET
137 MANCHESTER ST CONCORD, NH 03301

SITE
BANKS CHEVROLET PARKING LOT RECONSTRUCTION
234 AIRPORT ROAD CONCORD, NH 03301
MBLU: 782/Z/8

DRAWING TITLE
CONSTRUCTION DETAILS

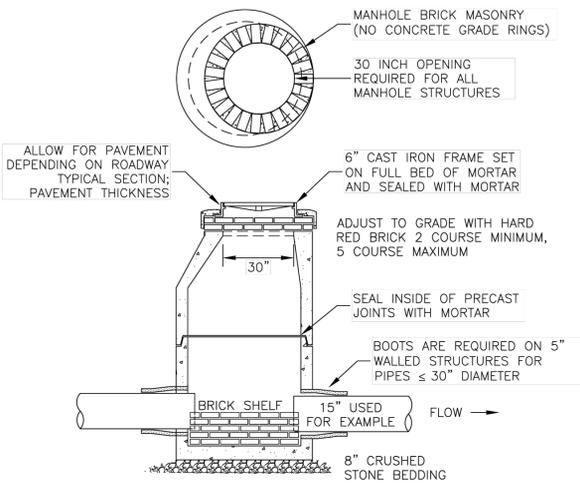
SCALE	N.T.S.	DATE	11/19/2025
DRAFTED BY	KAD	CHECKED BY	ERL
PROJECT MGR	ERL	PROJECT NO.	BACC0005

STATE OF NEW HAMPSHIRE
ERIN R. LAMBERT
No. 11057
LICENSED PROFESSIONAL ENGINEER
C5.1
ENGINEER ERIN R. LAMBERT
NH P.E. #11057



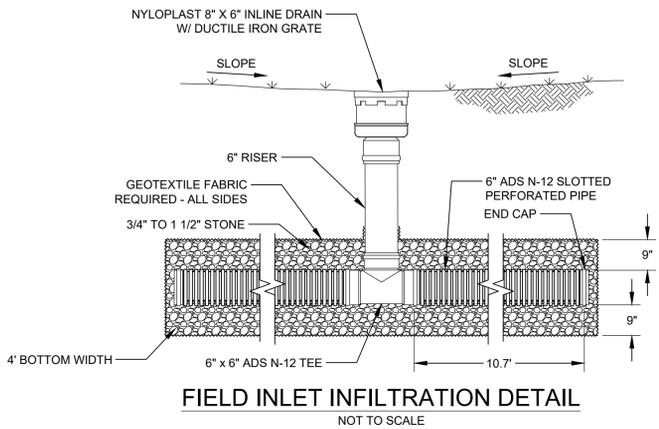
- NOTES:
1. CONCRETE SHALL BE 4,000 PSI AFTER 28 DAYS.
 2. SEAL ALL PRECAST JOINTS WITH BITUMASTIC SEAL.
 3. LIFT HOLES AND BOOT RECESSES ARE TO BE SEALED WITH MORTAR FLUSH TO THE OUTSIDE STRUCTURE WALL PRIOR TO BACKFILLING.
 4. MINIMUM DEPTH FROM RIM TO INVERT OF THE HIGHEST PIPE SHALL BE:
12"φ=3.7', 15"φ=3.9', 18"φ=4.2', 24"φ=4.8', 30"φ=5.3', 36"φ=5.8'
 5. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES. NO MORE THAN 75% OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.
 6. MANHOLES AND TRAFFIC SIGNAL LOOPS SHALL BE SEPARATED BY A MINIMUM OF 2' TO ALLOW FOR MAINTENANCE OF STRUCTURE.
 7. THREE FLANGED FRAMES SHALL BE USED FOR INSTALLATIONS ADJACENT TO VERTICAL GRANITE CURB.
 8. NHDOT TYPE "F" GRATE REQUIRED FOR ROADWAYS HAVING SLOPES EQUAL TO OR GREATER THAN 3%. TYPE "F" SHALL BE BICYCLE SAFE.
 9. BRICK WORK SHALL BE RECTANGULAR AND CONFORM TO THE DIMENSIONS OF THE GRATE BEING USED. TYPE "B" GRATES SHALL BE ALIGNED WITH THE 22" DIMENSION AGAINST THE CURB.

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: STORM DRAIN
1	DRAFTING	11/11		
2	SUMP DIM.	3/19		
CATCH BASIN / DROP INLET				DRAWING NO. SD-6
				DATE: 12/08 PAGE: 1

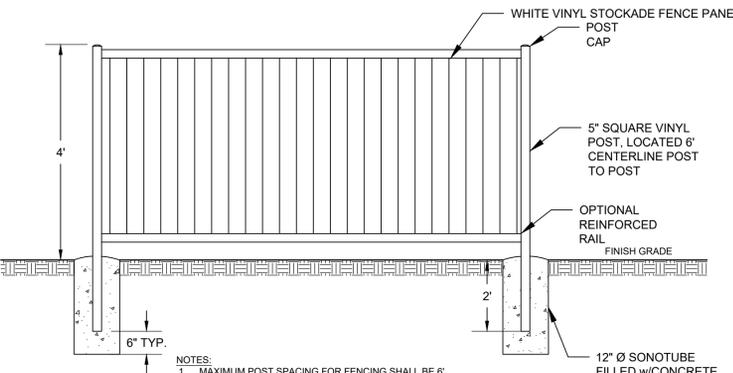


- NOTES:
1. CONCRETE: 4,000 PSI AFTER 28 DAYS
 2. H-20 LOADING REQUIRED
 3. 5" MINIMUM WALL THICKNESS IF REINFORCED, 8" IF UN-REINFORCED
 4. SEAL ALL PRECAST JOINTS WITH BITUMASTIC SEAL
 5. LIFT HOLES AND BOOT RECESSES ARE TO BE SEALED WITH MORTAR FLUSH TO THE OUTSIDE STRUCTURE WALL PRIOR TO BACKFILLING
 6. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES. NO MORE THAN 75% OF A HORIZONTAL CROSS-SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS
 7. MANHOLES AND TRAFFIC SIGNAL LOOPS SHALL BE SEPARATED BY A MINIMUM OF 2' TO ALLOW FOR MAINTENANCE OF STRUCTURE

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: STORM DRAIN
1	DRAFTING	11.11		
2	ADDED INLET	12.15		
STORM DRAIN MANHOLE				DRAWING NO. SD-2
				DATE: 12/08 PAGE: 1



FIELD INLET INFILTRATION DETAIL
NOT TO SCALE



TYPICAL VINYL STOCKADE FENCE
NOT TO SCALE

- NOTES:
1. MAXIMUM POST SPACING FOR FENCING SHALL BE 6'
 2. INTERMEDIATE POSTS SHALL BE CENTERED IN SPACING.
 3. FENCE SHALL BE WHITE VINYL.

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2 HOME AVENUE
CONCORD, NH 03301
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REVISION HISTORY
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OWNER
DAVAL REALTY ASSOCIATES LLC / BANKS CHEVROLET
137 MANCHESTER ST CONCORD, NH 03301

SITE
BANKS CHEVROLET PARKING LOT RECONSTRUCTION
234 AIRPORT ROAD CONCORD, NH 03301

MBLU: 782/Z/8

DRAWING TITLE
CONSTRUCTION DETAILS

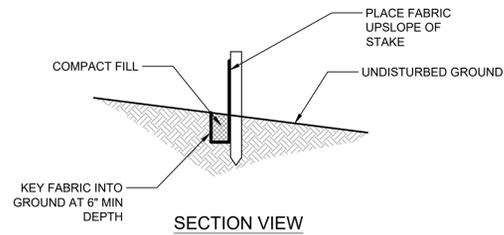
SCALE	DATE
N.T.S.	11/19/2025

DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
KAD	ERL	ERL	BACC0005

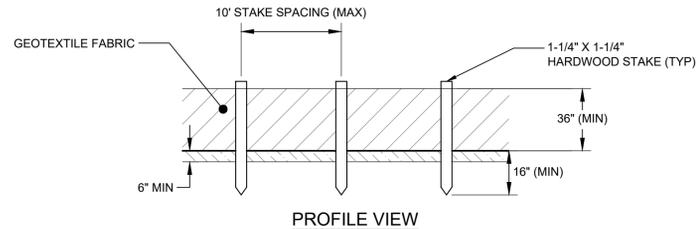
ENGINEER ERIN R. LAMBERT
NH P.E. #11057

C5.2

11 OF 16



SECTION VIEW



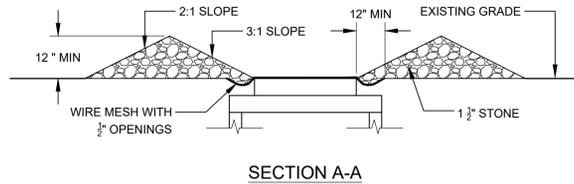
PROFILE VIEW

NOTES:

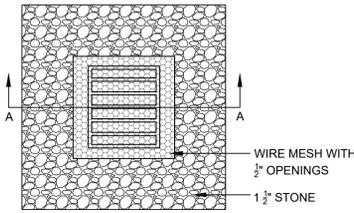
1. DUE TO UV STABILITY OF FABRIC, SILT FENCE MAY NOT BE USED FOR A PERIOD LONGER THAN ONE (1) YEAR.
2. SILT FENCE NOT TO BE USED IN AREAS OF CONCENTRATED FLOW (E.G. SWALES/DITCHES)
3. WIRE FENCE SUPPORT (14 GAGE W/6" MESH OPENING MIN) IS REQUIRED FOR INSTALLATIONS WITHIN 100 FEET OF STREAMS, RIVERS, OR OTHER WATERS OF THE STATE.
4. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
5. ENDS OF FILTER CLOTH SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
6. APPROVED PREFABRICATED FENCING INCLUDES ENVIROFENCE, GEOFAB, MIRAFI 100X. OTHERS MAY BE SUITABLE BUT SUBJECT TO ENGINEER'S APPROVAL.
7. INSPECT FENCE REGULARLY FOR DAMAGE DUE TO ANIMALS, EQUIPMENT, AND WIND
8. REMOVE ACCUMULATED SEDIMENT WHEN LEVEL REACHES 1/2 THE HEIGHT OF FENCE

SILT FENCE DETAIL

NOT TO SCALE

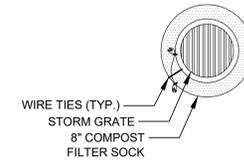


SECTION A-A

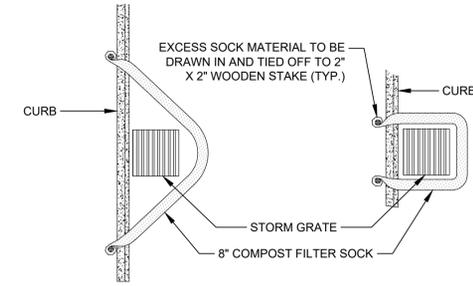


STONE INLET PROTECTION

NOT TO SCALE

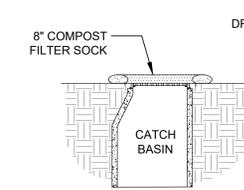


DRAIN INLET PLAN

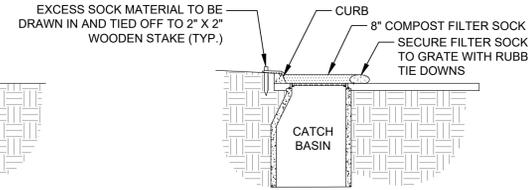


CURBSIDE OPTION "A" PLAN

CURBSIDE OPTION "B" PLAN



DRAIN INLET SECTION



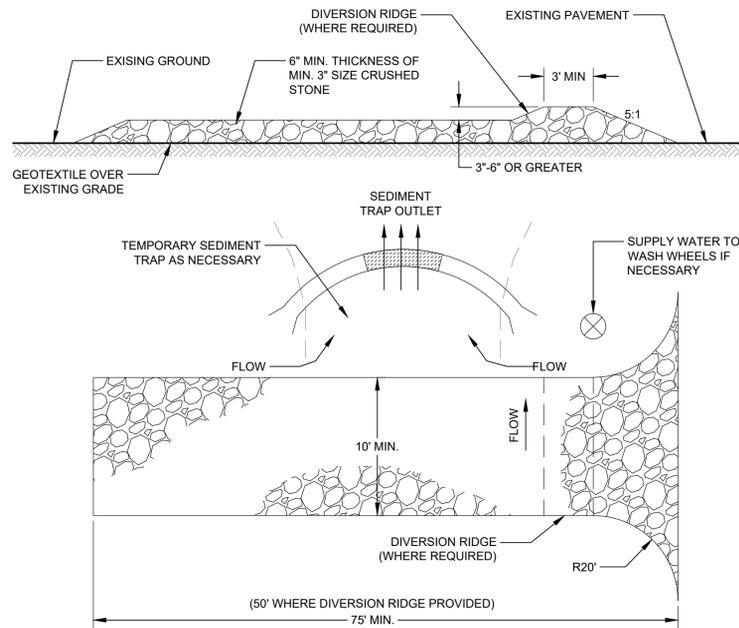
CURBSIDE SECTION

FILTER SOCK SEDIMENT CONTROL INLET PROTECTION

NOT TO SCALE

NOTES:

1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

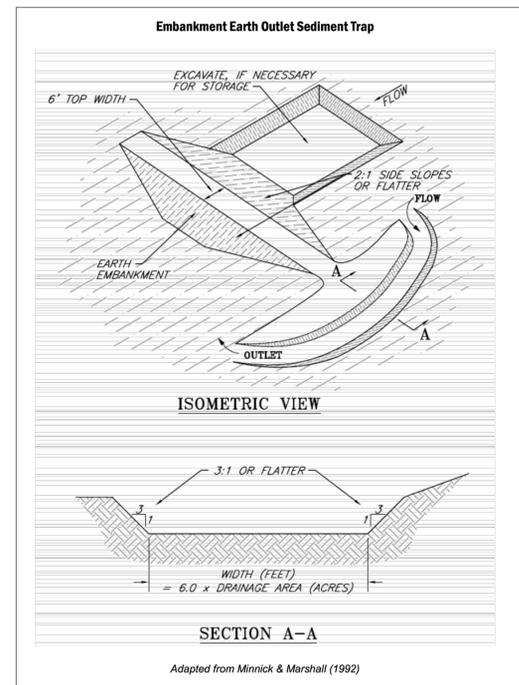


STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

NOTES:

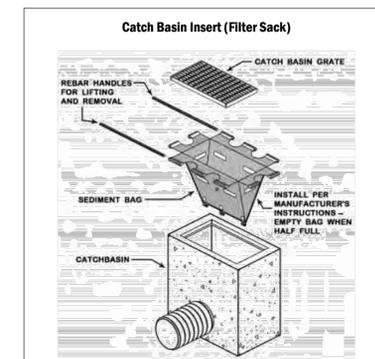
1. STONE SIZE - USE MINIMUM 3 INCH CRUSHED STONE.
2. LENGTH - NOT LESS THAN 75 FEET (50 FEET MAY BE ALLOWED WHERE A DIVERSION RIDGE IS PROVIDED).
3. THICKNESS - NOT LESS THAN 6 INCHES.
4. WIDTH - 10 FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. GEOTEXTILE FILTER FABRIC MUST BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED ACCORDING TO PERMIT REQUIREMENTS.



SEDIMENT TRAP DETAIL

NOT TO SCALE

Adapted from Minnick & Marshall (1992)



CATCH BASIN INSERT - INLET PROTECTION DETAIL

NOT TO SCALE

REVISION HISTORY
1. REVISED IN RESPONSE TO NHDES ECOLOGICAL REVIEW SECTION COMMENTS (12/09/2025)
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OWNER

DAVAL REALTY ASSOCIATES LLC / BANKS CHEVROLET

**137 MANCHESTER ST
CONCORD, NH 03301**

**BANKS CHEVROLET
PARKING LOT
RECONSTRUCTION**

**234 AIRPORT ROAD
CONCORD, NH 03301**

MBLU: 782/Z/8

DRAWING TITLE

EROSION CONTROL DETAILS

SCALE	N.T.S.	DATE	11/19/2025
DRAFTED BY	KAD	CHECKED BY	ERL
PROJECT MGR	ERL	PROJECT NO.	BACC0005

STATE OF NEW HAMPSHIRE
ERIN R. LAMBERT
No. 11057
LICENSED PROFESSIONAL ENGINEER
C5.4
ENGINEER ERIN R. LAMBERT
NH P.E. #11057



NEW HAMPSHIRE SPECIES OF CONCERN

WOOD TURTLE



Report Sightings: Contact Wildlife Biologist Josh Megyesy at (603) 271 – 1125 or the Wildlife Division at (603) 271 – 2461. Observation reports can be sent to RAARP@wildlife.nh.gov. Photographs and exact locations are strongly encouraged.



Specific Information:
• Adults are 5 – 8 inches long.
• Neck and front limbs are orange.
• Associated with streams and rivers where they hibernate. Use surrounding fields, forests, and floodplains extensively during active period.
• Turtles are frequently concealed by leaves and undergrowth and may not be easily visible.
• Turtles are most active from April 15 – October 15.
• During nesting season (May 15 – July 15) turtles are attracted to disturbed ground.



This species is protected under Fis 1400. Thank you for reporting any observations.

PLEASE DO NOT DISTURB OR HANDLE WILDLIFE



NEW HAMPSHIRE STATE THREATENED

SPOTTED TURTLE



Report Sightings: Contact Wildlife Biologist Josh Megyesy at (603) 271 – 1125 or the Wildlife Division at (603) 271 – 2461. Observation reports can be sent to RAARP@wildlife.nh.gov. Photographs and exact locations are strongly encouraged.



Specific Information:
• Adults are 3 – 5 inches long
• Shell is black or brown, fairly flat, and with yellow spots.
• Uses variety of wetlands and moves extensively over land.
• Turtles are frequently concealed by leaves and undergrowth and may not be easily visible.
• Turtles are most active from April 15 – October 15.
• Overwinters individually underground in September.
• Emerges from hibernation typically in March and April.



This species is protected under RSA 212-A and Fis 1000. Thank you for reporting any observations.

PLEASE DO NOT DISTURB OR HANDLE WILDLIFE



NEW HAMPSHIRE STATE ENDANGERED

EASTERN HOGNOSE SNAKE



Report Sightings: Contact Wildlife Biologists Melissa Winters at (603) 479 – 1129 and Brendan Clifford at (603) 944 – 0885 immediately. Group text is preferred. Or, if during business hours, contact the Wildlife Division at (603) 271 – 2461. Photographs and exact locations are encouraged.



Species Information:
• Thick snake, 20 – 40 inches long.
• Darkly colored – often olive, gray, or brown – and patterned in appearance.
• Shovel-like upturned snout with curled tail.
• May puff up, hiss, strike, flatten neck, or play dead if threatened.
• Found in variety of habitats like meadows, wooded areas, forests, and wetlands.
• Nests in sandy and gravelly soils.
• Lays eggs between June and mid-July.
• Overwinters individually underground in September.
• Emerges from hibernation typically in March and April.



This species is protected under RSA 212-A and Fis 1000.

DO NOT DISTURB OR HANDLE WILDLIFE UNLESS AUTHORIZED BY NH FISH AND GAME



NEW HAMPSHIRE STATE THREATENED

NORTHERN BLACK RACER



Report Sightings: Contact Wildlife Biologists Melissa Winters at (603) 479 – 1129 and Brendan Clifford at (603) 944 – 0885 immediately. Group text is preferred. Or, if during business hours, contact the Wildlife Division at (603) 271 – 2461. Photographs and exact locations are encouraged.



Species Information:
• Slender snake, 33 – 65 inches in length.
• Black, smooth, and shiny body with a white chin and throat. Belly has a blue tint.
• Juveniles are light gray and patterned with dark brown blotches (see image below).
• Found in a variety of habitats; prefers open shrublands, grasslands, young forests, rocky open woodlands, and wetland edges.
• Overwinters in groups underground using mammal burrows and rocky outcrops, typically in October.
• Emerges from hibernation in March – April.
• Large home ranges and travel between suitable habitats throughout active season.



This species is protected under RSA 212-A and Fis 1000.

DO NOT DISTURB OR HANDLE WILDLIFE UNLESS AUTHORIZED BY NH FISH AND GAME



NEW HAMPSHIRE STATE ENDANGERED

FROSTED ELFIN BUTTERFLY



Report Sightings: For environmental review projects, contact the Wildlife Division at (603) 271 – 2461 or as otherwise noted in permit documents. For non-urgent reports, submit observations to iNaturalist. Photographs and exact locations are strongly encouraged.



Species Information:
• Small butterfly, 1 – 1.5 inch wingspan.
• Tops of wings are dark gray brown, underside are variegated. Dusting of pale scales on outer wing.
• Single black dot on hindwing.
• Found in pine barrens.
• Depend heavily on wild lupine and indigo plants to lay eggs and feed larvae. Feed only on wild lupine as caterpillars.
• Adults lay eggs in spring. Larvae pupate and remain in this form until the following year.
• Adults fly in May and early June.



This species is protected under RSA 212-A and Fis 1000.

DO NOT DISTURB OR HANDLE WILDLIFE UNLESS AUTHORIZED BY NH FISH AND GAME



NEW HAMPSHIRE STATE ENDANGERED

KARNER BLUE BUTTERFLY



Report Sightings: For environmental review projects, contact the Wildlife Division at (603) 271 – 2461 or as otherwise noted in permit documents. For non-urgent reports, submit observations to iNaturalist. Photographs and exact locations are strongly encouraged.



Species Information:
• Small, one inch wingspan.
• Males are silvery blue or dark blue on the upper-side of wings with thin black margins.
• Females are gray-brown, with orange patches on the hindwing.
• Underside of wings are silvery blue with iridescent blue spots and several orange spots on the hindwings.
• Found in the Concord pine barren forests and adjacent open areas.
• Do not stray far from their hatching area.
• Two broods annually in June and July.
• Adults have a short life span, between five to fourteen days.



This species is federally protected and protected under RSA 212-A and Fis 1000.

DO NOT DISTURB OR HANDLE WILDLIFE UNLESS AUTHORIZED BY NH FISH AND GAME

DCT25-2394 NEW HAMPSHIRE FISH AND GAME RECOMMENDED PERMIT CONDITIONS TO AVOID AND MINIMIZE IMPACTS TO NORTHERN BLACK RACER, EASTERN HOGNOSE SNAKE, FROSTED ELFIN, KARNER BLUE BUTTERFLY, SPOTTED TURTLE, AND WOOD TURTLE. PLEASE REFER TO THE FOLLOWING CONSERVATION MEASURES:
1. ALL OPERATORS AND PERSONNEL WORKING ON OR ENTERING THE SITE SHALL BE MADE AWARE OF THE POTENTIAL PRESENCE OF THESE SPECIES AND SHALL BE PROVIDED FLYERS THAT HELP TO IDENTIFY THESE SPECIES, ALONG WITH NHFG BIOLOGIST CONTACT INFORMATION. PLEASE REFER TO THE NHFG WEBSITE FOR UPDATED PROTECTED SPECIES FLYERS.
A. PROTECTED SPECIES INFORMATION (E.G. IDENTIFICATION, OBSERVATION AND REPORTING OF OBSERVATIONS, WHEN TO CONTACT THE NHFG BIOLOGISTS IMMEDIATELY) SHOULD BE COMMUNICATED DURING MEETINGS PRIOR TO WORK COMMENCEMENT THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT. SEE FLYERS, THIS SHEET.
2. OBSERVATIONS OF NORTHERN BLACK RACER AND EASTERN HOGNOSE SNAKE SHALL BE REPORTED IMMEDIATELY TO NHFG WILDLIFE BIOLOGISTS MELISSA WINTERS AND BRENDAN CLIFFORD FOR FURTHER CONSULTATION - VIA GROUP TEXT PREFERRED. SEE SPECIES FLYERS, SEE PLAN SHEET C7.1 FOR CONTACT INFORMATION.
3. TURTLES MAY BE ATTRACTED TO DISTURBED GROUND DURING NESTING SEASON (MAY 15TH - JULY 15TH). TURTLE NESTS ARE PROTECTED BY NH LAWS (RSA 212-B:4, FIS 1401.03). IF A NEST IS OBSERVED OR SUSPECTED, OPERATORS SHALL CONTACT JOSH MEGYESY AT NHFG IMMEDIATELY FOR FURTHER CONSULTATION. SEE SPECIES FLYERS, SEE PLAN SHEET C7.1 FOR NHFG BIOLOGIST CONTACT INFORMATION.
A. THE NEST OR SUSPECTED NEST SHALL BE MARKED (SURROUNDING ROPED OFF OR CONE BUFFER DEPLOYED) AND AVOIDED; THIS SHALL BE COMMUNICATED TO ALL PERSONNEL ONSITE.
B. SITE ACTIVITIES SHALL NOT OCCUR IN THE AREA SURROUNDING THE NEST OR SUSPECTED NEST UNTIL FURTHER GUIDANCE IS PROVIDED BY THE ECOLOGICAL REVIEW SECTION.

ADDITIONAL RECOMMENDED CONSERVATION MEASURES

- 1. SURVEYS FOR THE HOST PLANTS OF FROSTED ELFIN AND KARNER BLUE BUTTERFLY (WILD LUPINE) ARE THE ONLY WAY TO DETERMINE WHETHER OR NOT THESE SPECIES COULD OCCUR WITHIN THE PROPOSED PROJECT AREA. ALTHOUGH THESE SURVEYS ARE RECOMMENDED, BASED ON THE LANDSCAPE CONTEXT OF THE PROPOSED PROJECT AREA IT IS UNLIKELY FOR THESE SPECIES TO OCCUR WITHIN THE PROJECT SITE. THE SURVEY IS NOT REQUIRED AND SHOULD NOT HOLD UP THE PROJECT.
2. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHOULD NOT CONTAIN PLASTIC, OR MULTIFILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES.
3. NATIVE SPECIES SHOULD BE USED FOR RESEEDING OR LANDSCAPING DISTURBED AREAS. LOW GROWING SEED MIXES ARE ENCOURAGED TO REDUCE THE FREQUENCY OF MOWING.
4. ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES ON THE PROJECT SITE SHOULD BE REPORTED IMMEDIATELY TO THE NHFG NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV. WITH THE EMAIL SUBJECT LINE CONTAINING THE DATACHECK TOOL RESULTS LETTER ASSIGNED NUMBER, THE PROJECT NAME, AND THE TERM WILDLIFE SPECIES OBSERVATION. PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHOULD BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION, AS FEASIBLE.
5. IN THE EVENT A PROTECTED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHOULD NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY THE ECOLOGICAL REVIEW SECTION.
6. THESE CONSERVATION MEASURES DO NOT CONSTITUTE COMPLIANCE WITH THE FEDERAL ENDANGERED SPECIES ACT (ESA). THERE MAY BE OCCURRENCES OF FEDERALLY LISTED SPECIES IN NEW HAMPSHIRE THAT ARE NOT INCLUDED ON THE DATACHECK LETTER. PLEASE VISIT THE US FISH AND WILDLIFE SERVICE'S (USFWS) INFORMATION FOR PLANNING AND CONSULTATION WEBSITE (IPAC, HTTPS://IPAC.ECOSYSTEMS.FWS.GOV/) FOR AN OFFICIAL LIST OF FEDERALLY LISTED SPECIES THAT MAY BE PRESENT IN YOUR PROJECT AREA. IF A FEDERAL AGENCY IS INVOLVED IN YOUR PROJECT THROUGH FUNDING, PERMIT, OR OTHER AUTHORIZATION, COORDINATE YOUR IPAC RESULTS WITH YOUR POINT OF CONTACT AT THE AGENCY FOR FURTHER ESA REVIEW. IF THERE IS NO FEDERAL AGENCY NEXUS TO YOUR PROJECT, AND YOU DETERMINE THROUGH IPAC, HABITAT EVALUATIONS, ETC. THAT A PROJECT MAY CAUSE TAKE OF A FEDERALLY LISTED SPECIES, WE RECOMMEND COORDINATING WITH THE USFWS' NEW ENGLAND FIELD OFFICE (NEWENGLAND@FWS.GOV; 603-223-2541).
7. THE ECOLOGICAL REVIEW SECTION, ITS EMPLOYEES AND AUTHORIZED AGENTS, SHOULD HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

2 HOME AVENUE
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY
1. REVISED IN RESPONSE TO NHDES ECOLOGICAL REVIEW SECTION COMMENTS (12/09/2025)
2. REVISED TO COMPLY WITH RESIDENTIAL SCREENING (12/19/2025)

ISSUED FOR

PERMITTING

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OWNER

DAVAL REALTY ASSOCIATES LLC / BANKS CHEVROLET

137 MANCHESTER ST
CONCORD, NH 03301

SITE

BANKS CHEVROLET PARKING LOT RECONSTRUCTION

234 AIRPORT ROAD
CONCORD, NH 03301

MBLU: 782/Z/8

DRAWING TITLE

WILDLIFE PROTECTION NOTES

SCALE

N.T.S.

DATE

11/19/2025

DRAFTED BY

KAD

CHECKED BY

ERL

PROJECT MGR

ERL

PROJECT NO.

BACC0005

SHEET NO.

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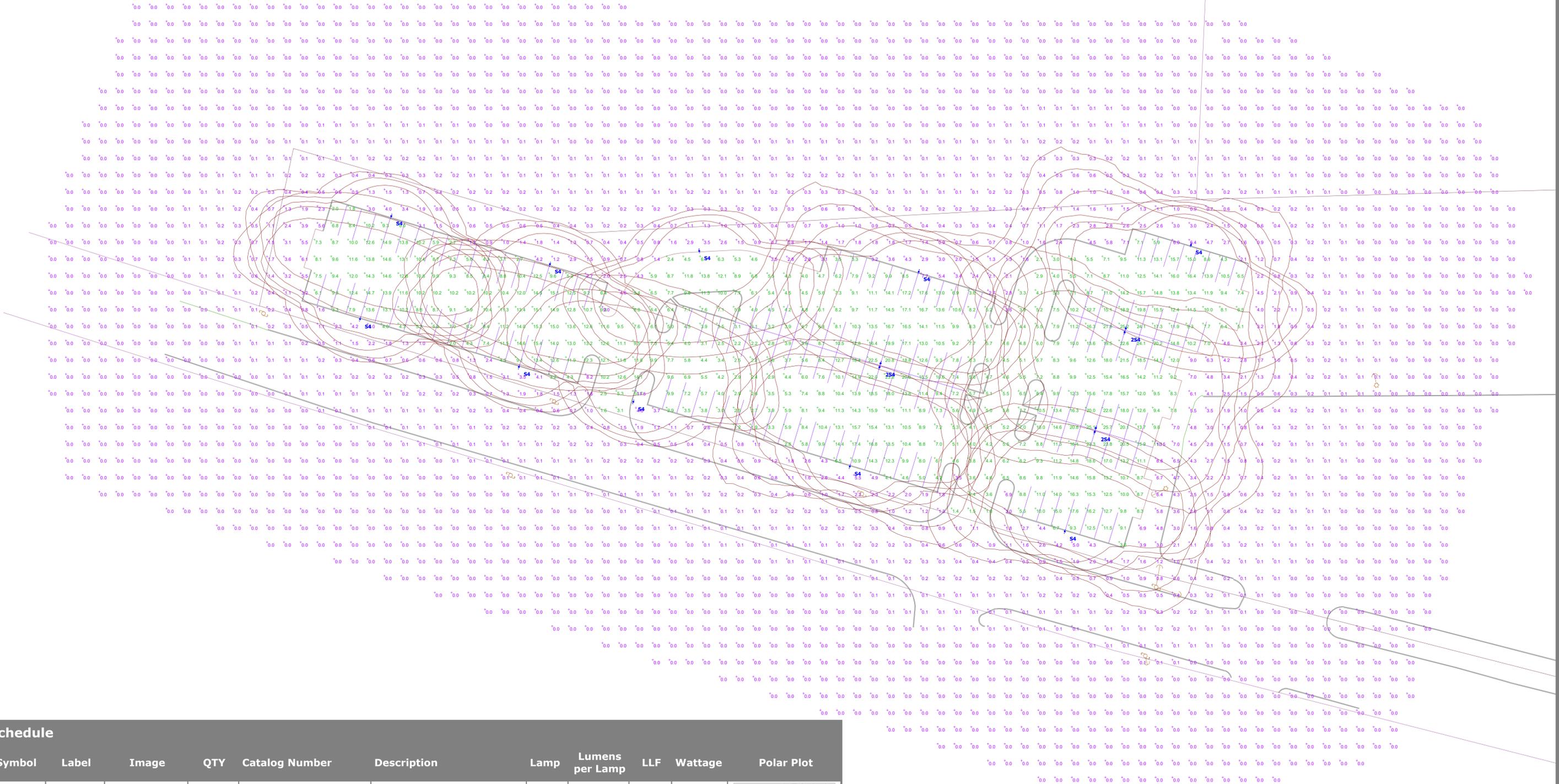
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C7.1



BANKS PARKING LOT ADDITION Site Lighting Layout



Schedule										
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Lumens per Lamp	LLF	Wattage	Polar Plot
□	S4		10	RSX4 LED P4 50K R4 MVOLT HS SPA NLTAIR2 PIRHN DDBXD with SSS 25 4G DM19AS DDBXD	RSX LED Area Fixture with P4 Output and Type R4 Distribution with HS shield; mounted at 25ft	LED	36853	0.9	430.62	
◀ ▶	2S4		3	RSX4 LED P4 50K R4 MVOLT SPA NLTAIR2 PIRHN DDBXD with SSS 25 4G DM28AS DDBXD	2 RSX Area Fixtures with P4 Output and Type R4 Distribution; mounted at 25ft	LED	56197	0.9	861.2378	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.3 fc	11.5 fc	0.0 fc	N/A	N/A
Parking Lot	+	9.6 fc	25.7 fc	1.2 fc	21.4:1	8.0:1

Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
11/18/2025
Scale
1"=30'
Drawing No.
Summary