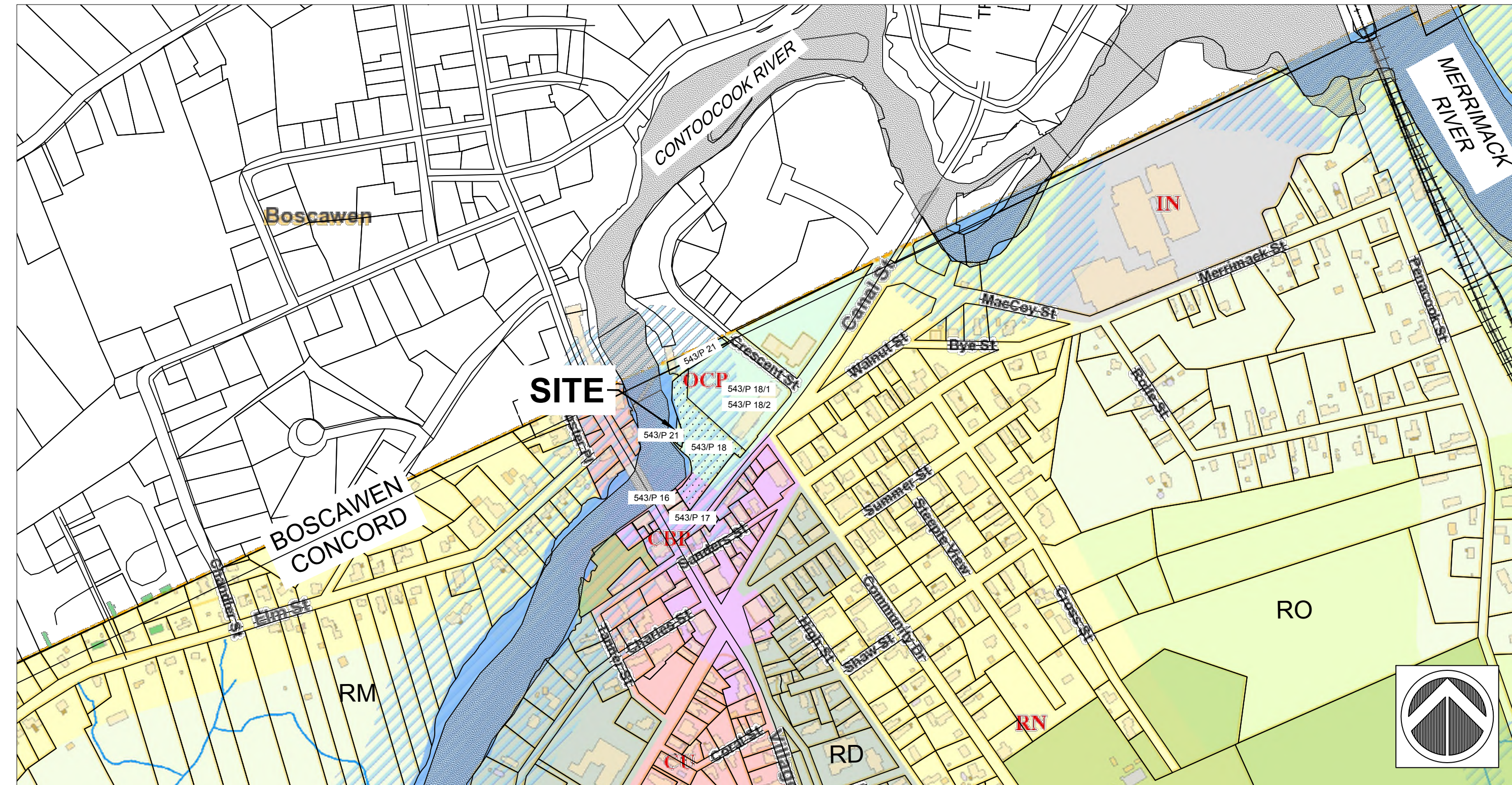




# SITE DEVELOPMENT PLANS FOR CANAL STREET RIVERFRONT PARK CONCORD, NH



SCALE: 1" = 400'

PREPARED FOR:  
City of Concord, New Hampshire

## INDEX

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21	SITE DETAILS
22	SITE DETAILS
23	ELECTRIC DETAILS
24	ELECTRIC DETAILS
25	ELECTRIC DETAILS
1 OF 1	PHOTOMETRIC PLAN

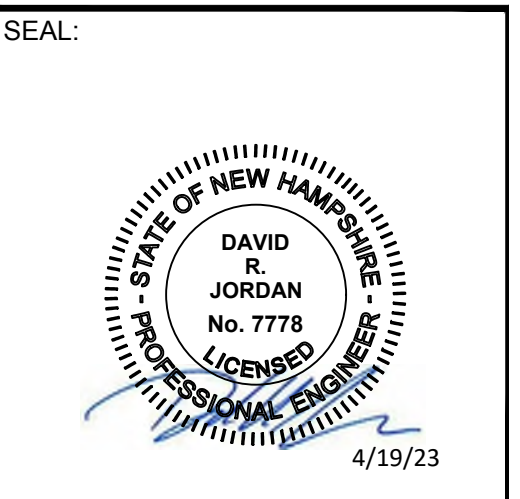
### ABUTTERS LIST

MAP/LOT #	NAME & ADDRESS	ADDRESS	CONTACT
0543/P18 (SUBJECT PARCEL)	CITY OF CONCORD 41 GREEN STREET CONCORD, NH 03301-4255	1412/P52 1412/P54 1412/P53	VSG PROPERTIES, LLC 336 VILLAGE STREET PENACOOK, NH 03303
0543/P18-1 (SUBJECT PARCEL)	CALEB PENACOOK PARTNERSHIP 270 BROADWAY LYNN, MA 01904-1086	0543/P17	AMAZON REALTY LLC 346 VILLAGE STREET PENACOOK, NH 03303
0543/P21 (SUBJECT PARCEL)	BRIAR HYDRO ASSOCIATES C/O ESSEX HYDRO ASSOCIATES 55 UNION STREET FL 4 BOSTON, MA 02108-2425	0543/P16, UNITS 1-7	JEFFREY R. DAY AMY J. DAY 964 BACK MOUNTAIN ROAD GOFFSTOWN, NH 03045
0543/P23	DEW CRESENT STREET PROPERTIES LLC 227 BLAR PARK RD STE 130 WILLISTON, VT 05495-7885	0543/P1	369 VILLAGE STREET, LLC 55 TREMONT STREET BOSCAWEN, NH 03303
0543/P23-1	PENACOOK REAL ESTATE GROUP, LLC 2996 CALLAWAY DRIVE THE VILLAGES, FL 32162	0543/P14	378 VILLAGE STREET, LLC 378 VILLAGE STREET PENACOOK, NH 03303
0543/P23-2	4 CRESCENT STREET UNIT 2 LLC 142 WEST PARISH ROAD CONCORD, NH 03303	0543/P13	GO MILL SPACE, LLC P.O. BOX 256 HENNIKER, NH 03242
0543/P1	CITY OF CONCORD 41 GREEN STREET CONCORD, NH 03301	183C/51	GO MILL SPACE, LLC P.O. BOX 256 HENNIKER, NH 03242
0543/P26	ELIZABETH HAYWARD 31 MERRIMACK STREET APT 3 PENACOOK, NH 03303	183C/51-A 183C/52	BRIAR HYDRO ASSOCIATES C/O ESSEX HYDRO ASSOCIATES 55 UNION STREET, 4 FLOOR BOSTON, MA 02108
0543/P25	MARY E. BOWEN RICHARD M. BOWEN 99 CLINTON STREET UNIT 523 CONCORD, NH 03301		
0543/P26 0543/P34	UNITED CHURCH OF PENACOOK P.O. BOX 6179 PENACOOK, NH 03303		
0543/P36 0543/P37	PHIL AND STEPHANIE RENTALS, LLC 30 HANNAH DUSTIN DRIVE CONCORD, NH 03301		
0543/P38	RAVI K. & CHAITANYA KICHANNAGARI 131 DANIEL WEBSTER HIGHWAY, PMB 888 NASHUA, NH 03060		

### CONSULTANTS LIST

NAME	ADDRESS
ENGINEER	GREENMAN-PEDERSEN, INC. 44 STILES ROAD, SUITE ONE SALEM, NH 03079
LANDSCAPE ARCHITECT	GREENMAN-PEDERSEN, INC. 21 DANIEL STREET, SECOND FLOOR PORTSMOUTH, NH 03801
SURVEYOR	MARK C. SARGENT, PLS RICHARD D. BARTLETT & ASSOCIATES, LLC 214 NORTH STATE STREET CONCORD, NH 03301

**APPROVED**  
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36  
**CITY PLANNING BOARD**  
CITY OF CONCORD, NEW HAMPSHIRE  
In accordance with vote of the board dated:  
  
Approval of this plan is limited to the lots as shown  
  
Chair \_\_\_\_\_ Clerk \_\_\_\_\_



OWNER:  
**CITY OF CONCORD**  
41 GREEN ST.  
CONCORD, NH 03301

DESIGN TEAM:  
**Greenman-Pedersen, Inc.**  
Landscape Architecture  
Civil Engineering

PROJECT:  
**CANAL STREET RIVERFRONT PARK**  
  
11 CANAL STREET, CONCORD NEW HAMPSHIRE, 03303

REVISIONS		
NO.	REVISION	DATE
1	REV. FOR PB SUBMISSION	4/19/23

MARCH 29, 2023

DRAWN/DESIGN BY RW	CHECKED BY DRJ
-----------------------	-------------------

**TITLE SHEET AND INDEX**  
  
SCALE:  
  
NEX-2021385.00  
  
1 OF 25

SEAL:

OWNER:  
**CITY OF CONCORD**  
41 GREEN ST.  
CONCORD, NH 03301

DESIGN TEAM:  
**Greenman-Pedersen, Inc.**  
Landscape Architecture  
Civil Engineering

PROJECT:  
**CANAL STREET RIVERFRONT PARK**

11 CANAL STREET, CONCORD  
NEW HAMPSHIRE, 03303

REVISIONS

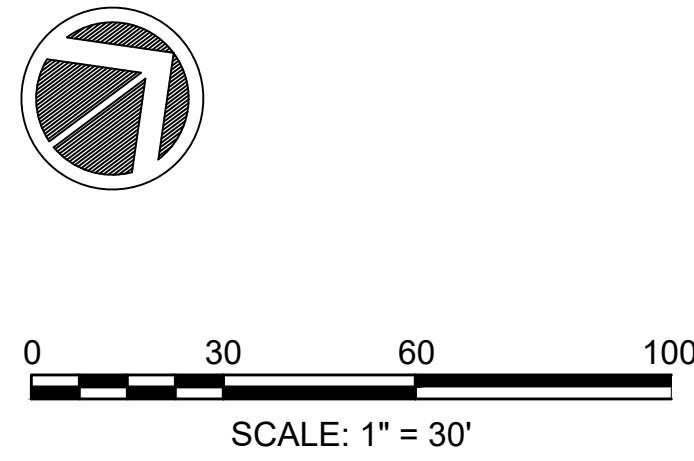
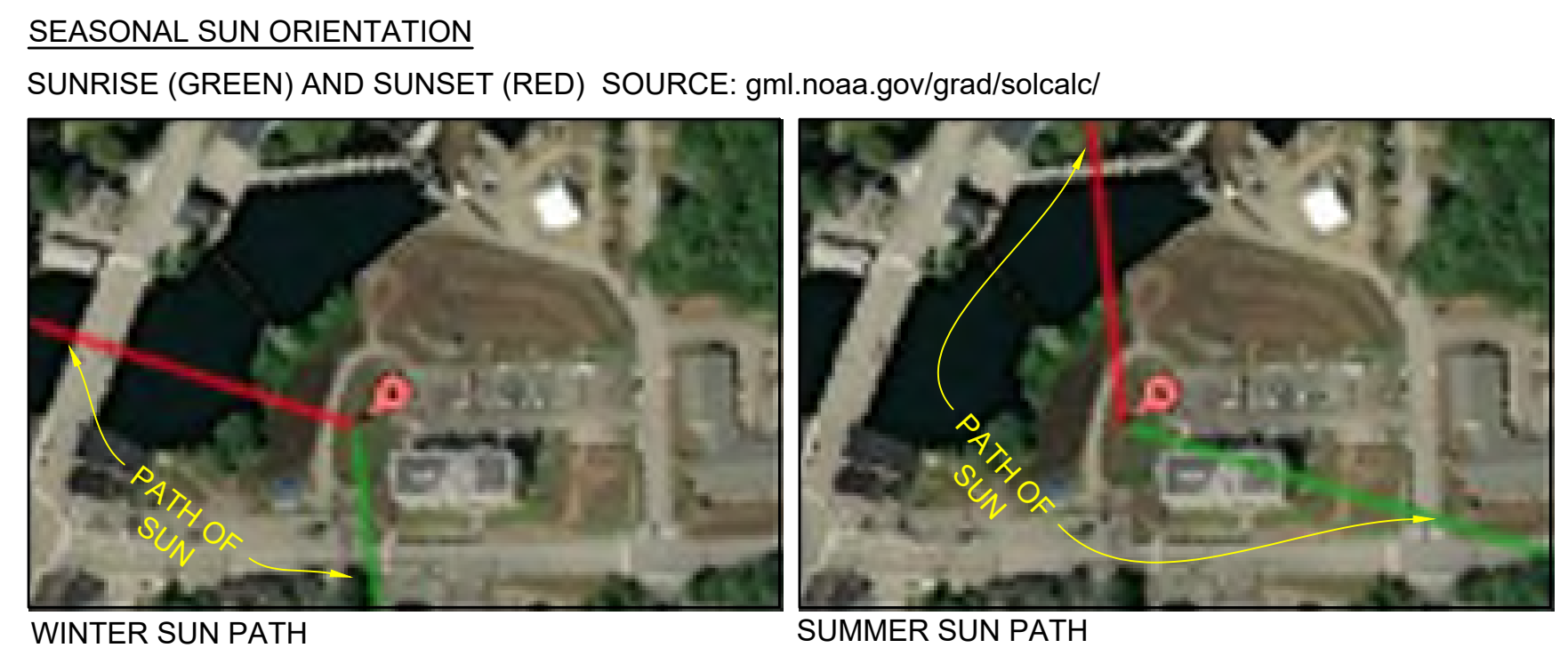
NO.	REVISION	DATE

APRIL 19, 2023  
DRAWN/DESIGN BY: RW  
CHECKED BY: DRJ

**RIVER ELEVATION ANALYSIS**

SCALE:

NEX-2021385.00





ID	Minimum Slope	Maximum Slope	Scheme: Rainbow
1	0.1106%	4.9990%	
2	5.0000%	14.9990%	
3	15.0000%	24.9999%	
4	25.0000%	227180.0000%	

**GPI** Engineering  
Design  
Planning  
Construction Management  
978.570.2999 GPINET.COM  
Greenman-Pedersen, Inc.  
181 Ballardvale Street, Suite 202  
Wilmington, MA 01887

SEAL:

OWNER:  
**CITY OF CONCORD**  
41 GREEN ST.  
CONCORD, NH 03301

DESIGN TEAM:  
**Greenman-Pedersen, Inc.**  
Landscape Architecture  
Civil Engineering

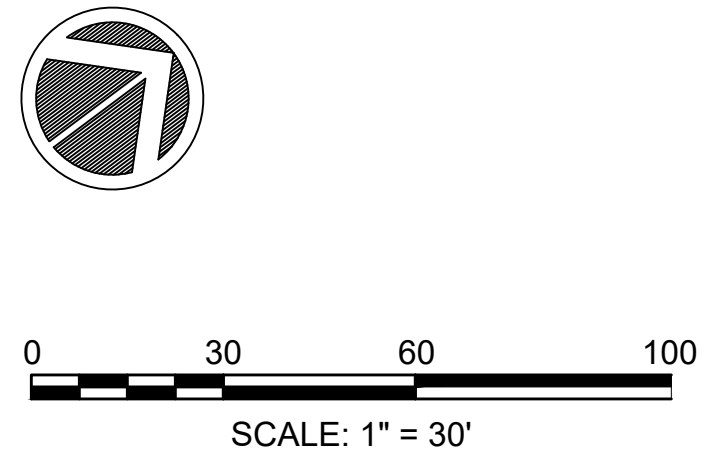
PROJECT:  
**CANAL STREET RIVERFRONT PARK**  
  
11 CANAL STREET, CONCORD NEW HAMPSHIRE, 03303

REVISIONS		
NO.	REVISION	DATE

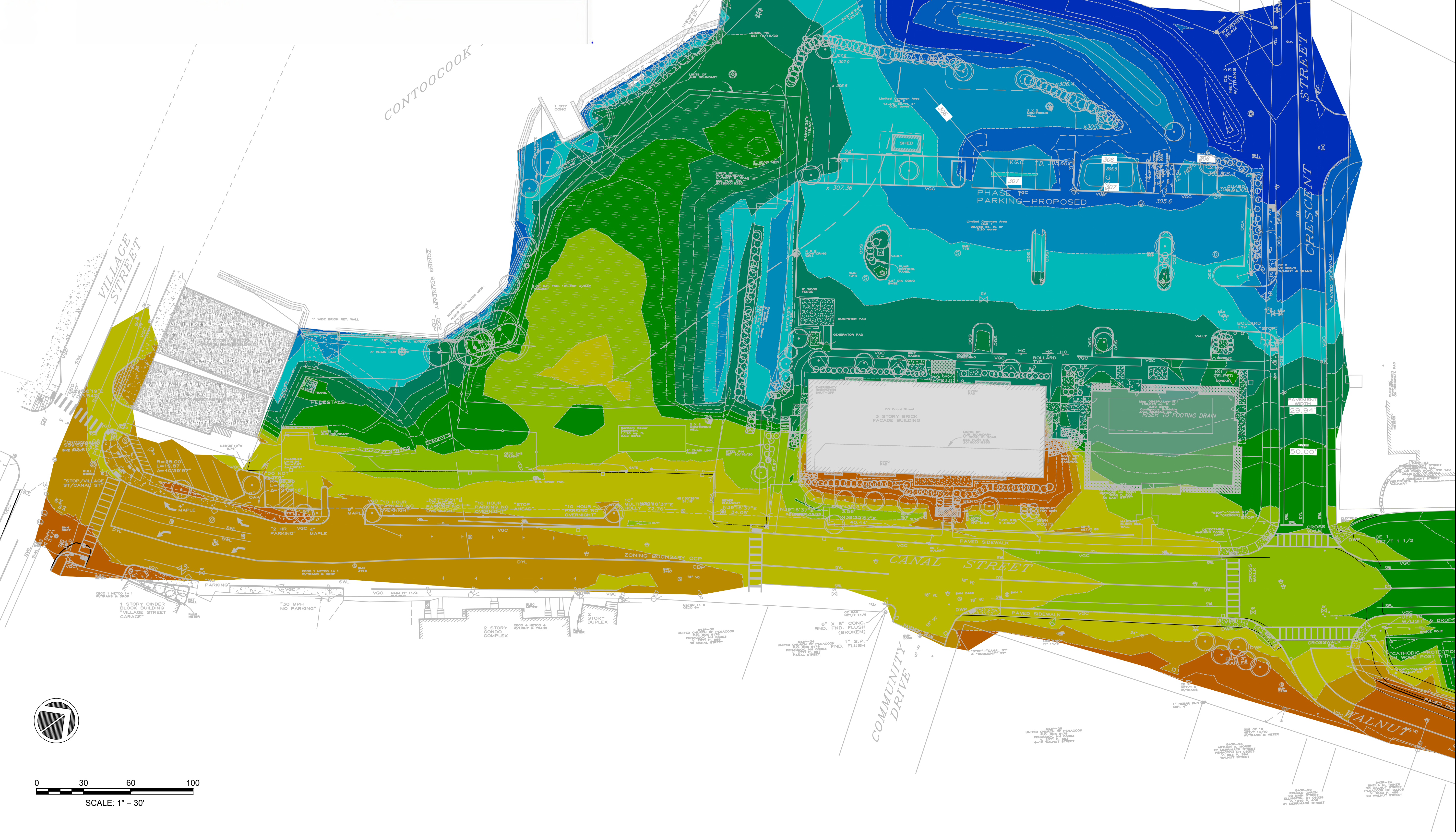
APRIL 19, 2023  
DRAWN/DESIGN BY: RW    CHECKED BY: DRJ

## SLOPE ANALYSIS

SCALE:  
NEX-2021385.00



Minimum Elevation	Maximum Elevation	Color Scheme
296.09'	304.00'	
304.00'	306.00'	
306.00'	307.00'	
307.00'	308.00'	
308.00'	309.00'	
309.00'	311.00'	
311.00'	313.00'	
313.00'	314.00'	
314.00'	315.00'	
315.00'	316.00'	
316.00'	320.00'	



SEAL:

OWNER:  
**CITY OF CONCORD**  
41 GREEN ST.  
CONCORD, NH 03301

DESIGN TEAM:  
**Greenman-Pedersen, Inc.**  
Landscape Architecture  
Civil Engineering

PROJECT:  
**CANAL STREET RIVERFRONT PARK**

11 CANAL STREET, CONCORD  
NEW HAMPSHIRE, 03303

REVISIONS		
NO.	REVISION	DATE

APRIL 19, 2023  
DRAWN/DESIGN BY: RW  
CHECKED BY: DRJ

**TOPOGRAPHY ANALYSIS**

SCALE:  
NEX-2021385.00

SEAL:

OWNER:  
**CITY OF CONCORD**  
41 GREEN ST.  
CONCORD, NH 03301

DESIGN TEAM:

**Greenman-Pedersen, Inc.**  
Landscape Architecture  
Civil Engineering

PROJECT:

**CANAL STREET RIVERFRONT PARK**

11 CANAL STREET, CONCORD  
NEW HAMPSHIRE, 03303

REVISIONS

NO.	REVISION	DATE
1	REV. FOR PB SUBMISSION	4/19/23

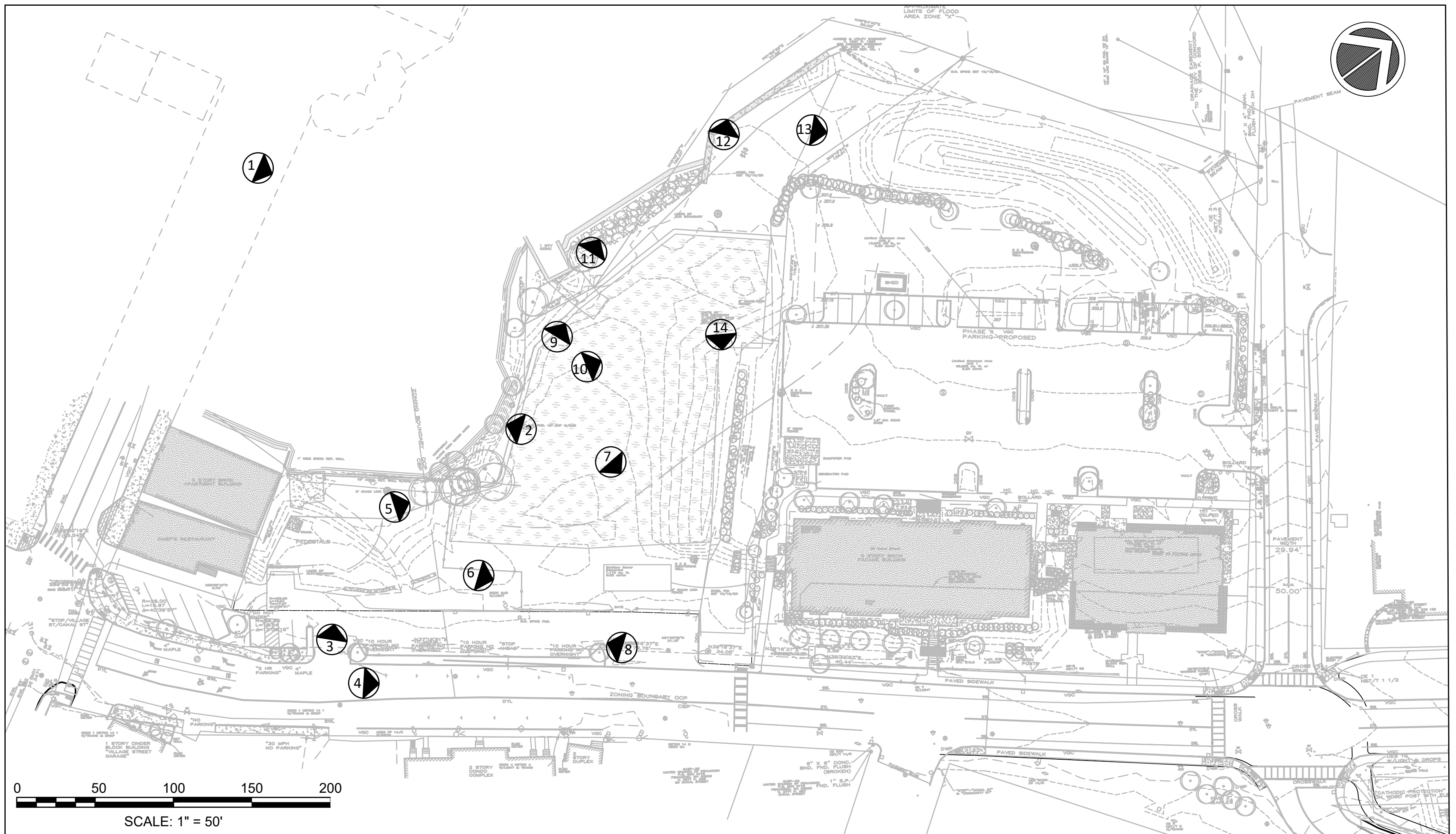
MARCH 29, 2023

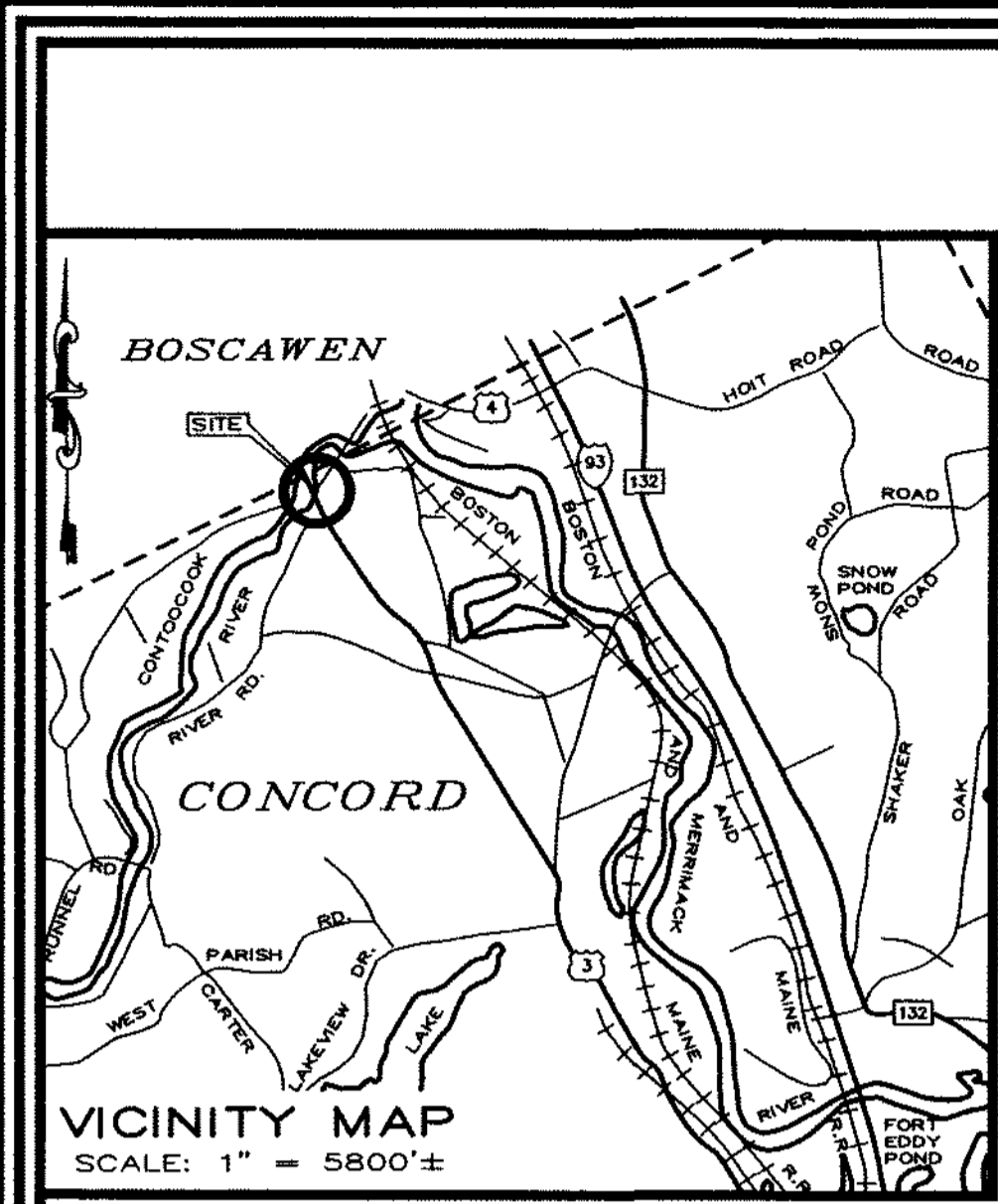
DRAWN/DESIGN BY: RW  
CHECKED BY: DRJ

**VISUAL ANALYSIS**

SCALE:

NEX-2021385.00





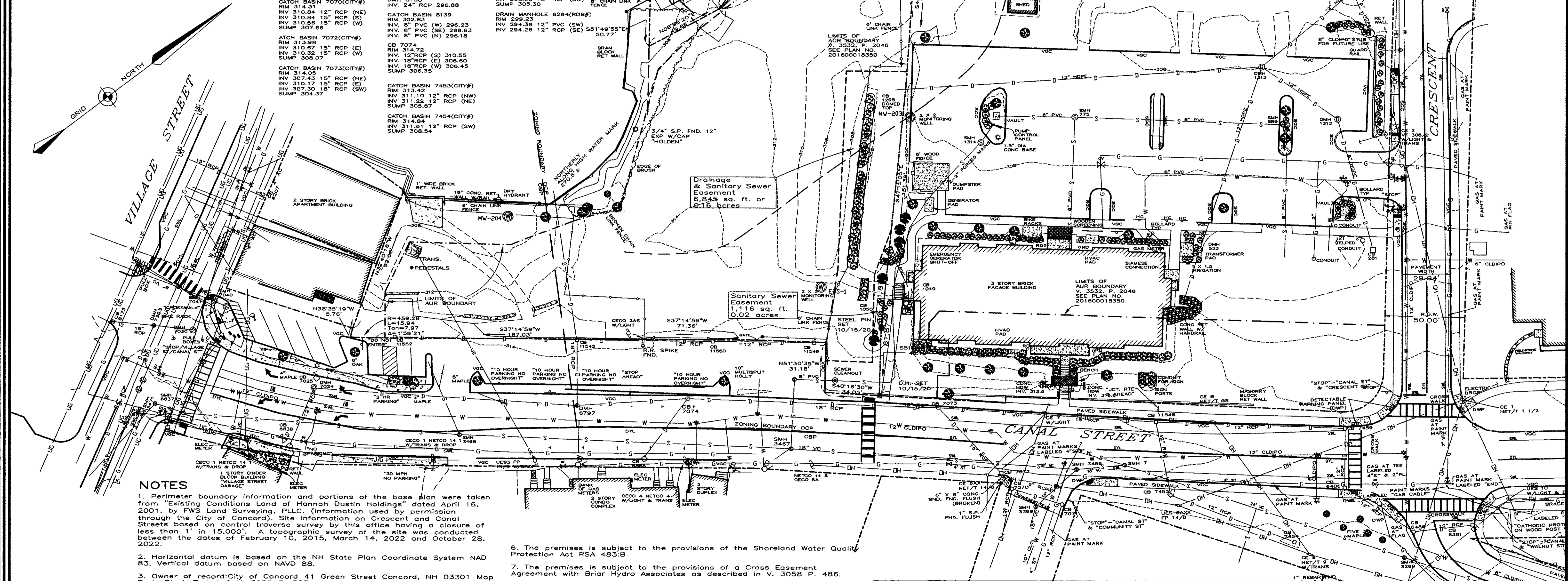
**LEGEND**

---	PROPERTY LINE	●	CONIFEROUS TREE
---	EDGE OF PAVEMENT	○	SHRUB
---	EDGE OF GRAVEL	○	DECIDUOUS TREE
---	OVERHEAD UTILITY LINES	○	MONITORING WELL
---	DRAINAGE LINE	○	IRON PIPE(I.P.) OR REBAR
---	SEWER LINE	○	STEEL PIN (SP)
---	GAS LINE	○	GRANITE OR CONCRETE
---	TEL. LINE	○	BOUND (GB OR CB)
---	UG. UNDERGROUND ELECT.	○	DRILL HOLE (DH)
---	WATER LINE	○	UTILITY POLE
---	DYL. DOUBLE YELLOW LINE	○	LIGHT POLE
---	SW. SINGLE WHITE LINE	○	SEWER MANHOLE
---	VGC OR SOC. VERTICAL OR SLOPED GRANITE CURB	○	DRAIN MANHOLE
---	SHORE LINE	○	CATCH BASIN
---	CHAIN LINK FENCE	○	HYDRANT
---	STOCKADE FENCE	○	WATER SHUTOFF
---	EDGE OF WOODS	○	WATER VALVE
---	CONCRETE	○	IRRIGATION CONTROL VALVE
---	SIGN HC-HANDICAPPED	○	GAS SHUTOFF
---	NP-NO PARKING	○	

**STRUCTURE SCHEDULE**

CATCH BASIN 6408(ROB#)	RM 313.33	INV. 12'RCP (W) 309.38	INV. 18'RCP (E) 306.01	INV. 18'RCP (N) 305.85
CATCH BASIN 7070(CITY#)	RM 314.31	INV. 310.84 12" RCP (NE)	INV. 310.56 15" RCP (S)	INV. 310.26 15" RCP (W)
CATCH BASIN 7072(CITY#)	RM 313.98	INV. 310.67 15" RCP (E)	INV. 310.32 15" RCP (W)	SUMP 308.07
CATCH BASIN 7073(CITY#)	RM 314.05	INV. 307.43 15" RCP (NE)	INV. 310.17 15" RCP (E)	INV. 307.30 18" RCP (SW)
CATCH BASIN 7453(CITY#)	RM 313.42	INV. 311.10 12" RCP (NW)	INV. 311.22 12" RCP (NE)	SUMP 305.87
CATCH BASIN 7454(CITY#)	RM 314.84	INV. 311.14 12" RCP (SW)	SUMP 305.54	

CB 11542	RM 313.00	INV. 12'RCP (E) 306.95	INV. 18'RCP (S) 304.87	INV. 12'RCP (W) 306.94	INV. 18'RCP (N) 304.87
CATCH BASIN 7071(CITY#)	RM 314.53	INV. 311.91 12" RCP (S)	INV. 311.51 12" RCP (SW)	SUMP 309.95	
CATCH BASIN 7459(CITY#)	RM 313.27	INV. 308.99 12" RCP (NEW-SE)	INV. 309.17 12" RCP (EXIST-SW)	SUMP 306.07	
CATCH BASIN 8139	RM 302.63	INV. 8" PVC (W) 296.23	INV. 8" PVC (SE) 299.63	INV. 8" PVC (N) 296.18	



**NOTES**

1. Perimeter boundary information and portions of the base plan were taken from "Existing Conditions Land of Hannah Dustin Holdings" dated April 16, 2001, by FWS Land Surveying, PLLC. (Information used by permission through the City of Concord). Site information on Crescent and Canal Streets based on control traverse survey by this office having a closure of less than 1" in 15,000'. A topographic survey of the site was conducted between the dates of February 10, 2015, March 14, 2022 and October 28, 2022.

2. Horizontal datum is based on the NH State Plane Coordinate System NAD 83, Vertical datum based on NAVD 88.

3. Owner of record: City of Concord 41 Green Street Concord, NH 03301 Map P-1, Block 7, Lot 6 V. 3058 P. 503.

4. The premises is also subject to the provisions of the Shoreland Protection District; building setbacks 75' from the surface water reference line.

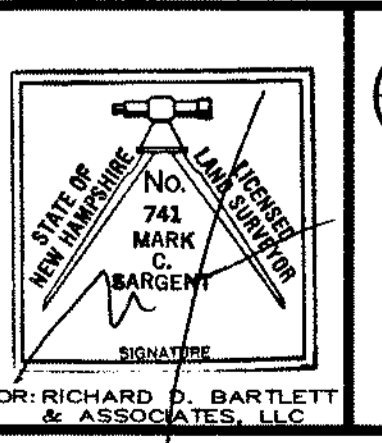
5. The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.

6. The premises is subject to the provisions of the Shoreland Water Quality Protection Act RSA 483:B.

7. The premises is subject to the provisions of a Cross Easement Agreement with Briar Hydro Associates as described in V. 3058 P. 486.

8. A portion of the premises lies within Zone "X" areas of 0.2% Annual chance of flood, areas of 1% annual chance of flood with average depths of less than 1 foot or with drainage areas less than 1 square mile and areas protected by levees from 1% annual chance of flood. Areas within the Contoocook River fall within Floodway Areas Zone "AE" per the Flood Insurance Rate Map for Merrimack County, NH Number 33013C0336E effective date 4/19/2010.

NO.	DATE	REVISION



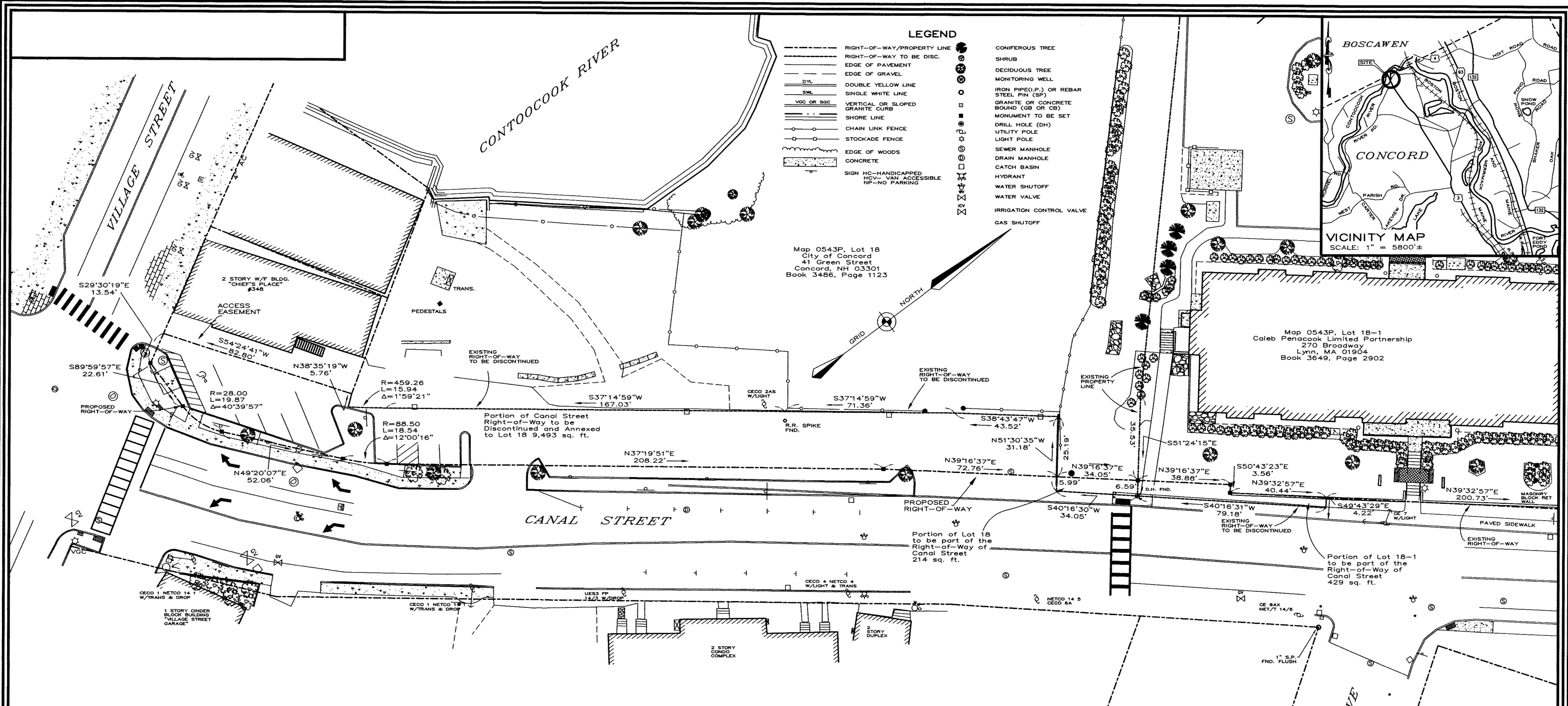
**RICHARD D. BARTLETT & ASSOCIATES, LLC**  
 214 North State Street  
 Concord, N.H. 03301  
 Tel.: (603) 225-8770  
 info@richarddbartlett.com  
 www.richarddbartlett.com  
 LICENSED LAND SURVEYORS

**EXISTING CONDITIONS PLAT**  
 of the land of the  
 CITY OF CONCORD

PROJECT: 11 CANAL STREET CONCORD, NH  
 LOCATION: MAP 543P, LOT 18

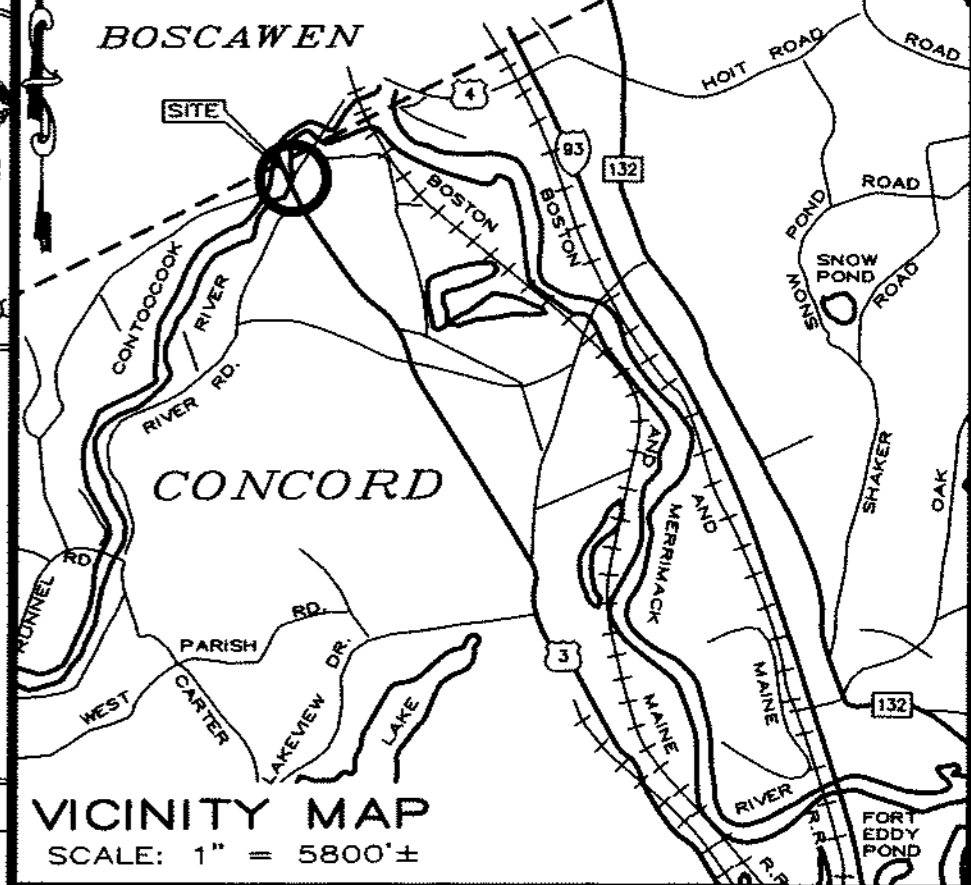
GRAPHIC SCALE  
 0' 30' 60'  
 SCALE: 1" = 30'

DATE: OCT. 31, 2022  
 JOB NO.: 222.116  
 SHEET 1 OF 1



**LEGEND**

--- RIGHT-OF-WAY/PROPERTY LINE	● CONIFEROUS TREE
- - - RIGHT-OF-WAY TO BE DISC.	○ SHRUB
— EDGE OF PAVEMENT	○ DECIDUOUS TREE
— EDGE OF GRAVEL	○ MONITORING WELL
— DYL	○ IRON PIPE(I.P.) OR REBAR
— SWL	○ STEEL PIN (SP)
— VERTICAL OR SLOPED GRANITE CURB	○ GRANITE OR CONCRETE BOUND (GB OR CB)
— SHORE LINE	○ MONUMENT TO BE SET
— CHAIN LINK FENCE	○ DRILL HOLE (DH)
— STOCKADE FENCE	○ UTILITY POLE
— EDGE OF WOODS	○ LIGHT POLE
— CONCRETE	○ SEWER MANHOLE
○ SIGN HC—HANDICAPPED	○ DRAIN MANHOLE
○ SIGN HV—VAN ACCESSIBLE	○ CATCH BASIN
○ SIGN NP—NO PARKING	○ HYDRANT
	○ WATER SHUTOFF
	○ WATER VALVE
	○ IRRIGATION CONTROL VALVE
	○ GAS SHUTOFF



Map 0543P, Lot 18  
City of Concord  
41 Green Street  
Concord, NH 03301  
Book 3486, Page 1123

Map 0543P, Lot 18-1  
Caleb Penacook Limited Partnership  
270 Broadway  
Lynn, MA 01904  
Book 3649, Page 2902

- NOTES**
- Perimeter boundary information and portions of the base plan were taken from "Existing Conditions Land of Hannah Dustin Holdings" dated April 16, 2001, by FWS Land Surveying, PLLC. (Information used by permission through the City of Concord). Site information on Crescent and Canal Streets based on control traverse survey by this office having a closure of less than 1' in 15,000'. A topographic survey of the site was conducted between the dates of February 10, 2015, March 14, 2022 and October 25, 2022.
  - Horizontal datum is based on the NH State Plan Coordinate System NAD 83, Vertical datum based on NAVD 88.
  - Owners of record: City of Concord 41 Green Street Concord, NH 03301 Map 0543P, Lot 18, Book 3486, Page 1123  
Caleb Penacook Limited Partnership 270 Broadway Lynn, MA 01904 Map 0543P, Lot 18-1 Book 3649, Page 2902
  - The intent of this plat is to depict a change in the public right-of-way of Canal Street.
  - The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.

**CERTIFICATIONS**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

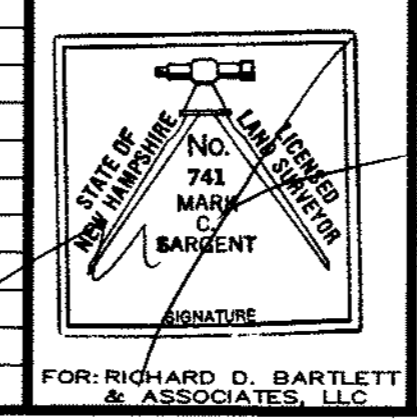
CERTIFICATION PER R.S.A.—676:18, III: I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

SIGNATURE: *[Signature]* LICENSE NO. 741 DATE 3/2/23

I HEREBY CERTIFY THAT I HAVE FILED A COPY OF THIS PLAN WITH THE PLANNING BOARD OF THE CITY OF CONCORD IN ACCORDANCE WITH R.S.A.—676:18 (IV).

SIGNATURE: \_\_\_\_\_ LICENSE NO. \_\_\_\_\_ DATE \_\_\_\_\_

NO.	DATE	REVISION



**RICHARD D. BARTLETT & ASSOCIATES, LLC**  
214 North State Street  
Concord, N.H. 03301  
Tel.: (603) 225-6770  
info@richarddbartlett.com  
www.richarddbartlett.com  
LICENSED LAND SURVEYORS

**Right of Way Easement Plat and Right of Way Discontinuance Plat prepared for the City of Concord and Caleb Penacook Limited Partnership**

PROJECT: 11&33 CANAL STREET CONCORD, NH  
LOCATION: MAP 0543P, LOTS 18 & 18-1

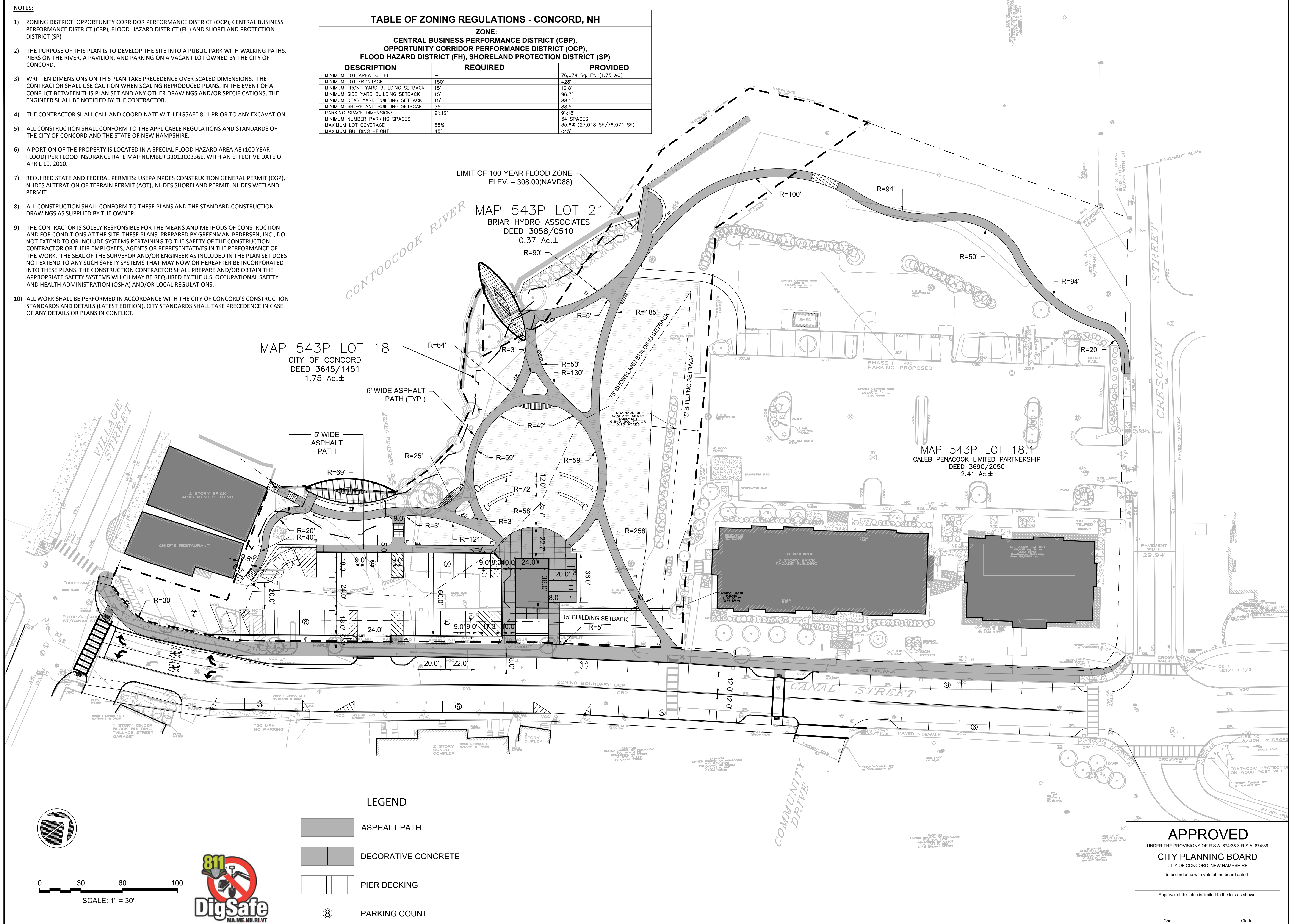
GRAPHIC SCALE: 0' 20' 40'

DATE: FEB. 14, 2023  
JOB NO.: 222.116  
SCALE: 1" = 20'  
SHEET 1 OF 1

**NOTES:**

- ZONING DISTRICT: OPPORTUNITY CORRIDOR PERFORMANCE DISTRICT (OCP), CENTRAL BUSINESS PERFORMANCE DISTRICT (CBP), FLOOD HAZARD DISTRICT (FH) AND SHORELAND PROTECTION DISTRICT (SP)
- THE PURPOSE OF THIS PLAN IS TO DEVELOP THE SITE INTO A PUBLIC PARK WITH WALKING PATHS, PIERS ON THE RIVER, A PAVILION, AND PARKING ON A VACANT LOT OWNED BY THE CITY OF CONCORD.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF CONCORD AND THE STATE OF NEW HAMPSHIRE.
- A PORTION OF THE PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AE (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33013C0336E, WITH AN EFFECTIVE DATE OF APRIL 19, 2010.
- REQUIRED STATE AND FEDERAL PERMITS: USEPA NPDES CONSTRUCTION GENERAL PERMIT (CGP), NHDES ALTERATION OF TERRAIN PERMIT (AOT), NHDES SHORELAND PERMIT, NHDES WETLAND PERMIT
- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE OWNER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN-PEDERSEN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS (LATEST EDITION). CITY STANDARDS SHALL TAKE PRECEDENCE IN CASE OF ANY DETAILS OR PLANS IN CONFLICT.

TABLE OF ZONING REGULATIONS - CONCORD, NH		
ZONE: CENTRAL BUSINESS PERFORMANCE DISTRICT (CBP), OPPORTUNITY CORRIDOR PERFORMANCE DISTRICT (OCP), FLOOD HAZARD DISTRICT (FH), SHORELAND PROTECTION DISTRICT (SP)		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA - Sq. Ft.	-	76,074 Sq. Ft. (1.75 AC)
MINIMUM LOT FRONTAGE	150'	428'
MINIMUM FRONT YARD BUILDING SETBACK	15'	16.8'
MINIMUM SIDE YARD BUILDING SETBACK	15'	96.3'
MINIMUM REAR YARD BUILDING SETBACK	15'	88.5'
MINIMUM SHORELAND BUILDING SETBACK	75'	88.5'
PARKING SPACE DIMENSIONS	9'x19'	9'x18'
MINIMUM NUMBER PARKING SPACES	-	34 SPACES
MAXIMUM LOT COVERAGE	85%	35.6% (27,048 SF/76,074 SF)
MAXIMUM BUILDING HEIGHT	45'	<45'



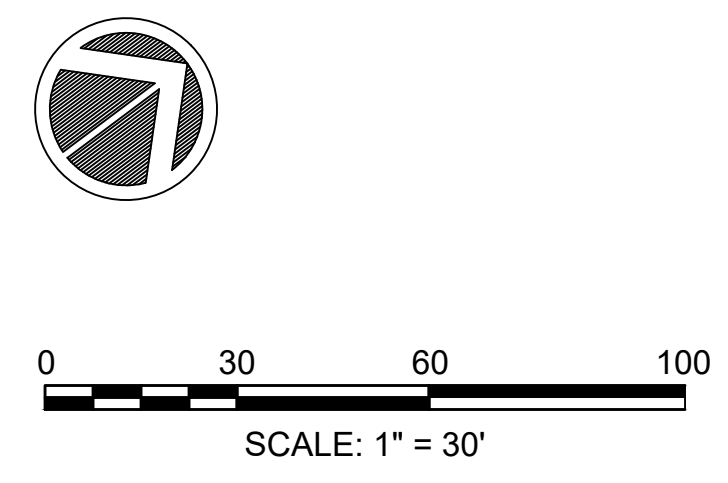
MAP 543P LOT 18  
CITY OF CONCORD  
DEED 3645/1451  
1.75 Ac.±

MAP 543P LOT 21  
BRIAR HYDRO ASSOCIATES  
DEED 3058/0510  
0.37 Ac.±

MAP 543P LOT 18.1  
CALEB PENACOOK LIMITED PARTNERSHIP  
DEED 3690/2050  
2.41 Ac.±

**LEGEND**

- ASPHALT PATH
- DECORATIVE CONCRETE
- PIER DECKING
- PARKING COUNT



**GPI** Engineering  
Design  
Planning  
Construction Management  
978.670.2989  
Greenman-Pedersen, Inc.  
181 Ballardvale Street, Suite 202  
Wilmington, MA 01887  
GPINET.COM

SEAL:

OWNER:  
**CITY OF CONCORD**  
41 GREEN ST.  
CONCORD, NH 03301

DESIGN TEAM:  
**Greenman-Pedersen, Inc.**  
Landscape Architecture  
Civil Engineering

PROJECT:  
**CANAL STREET RIVERFRONT PARK**  
11 CANAL STREET, CONCORD  
NEW HAMPSHIRE, 03303

REVISIONS		
NO.	REVISION	DATE
1	REV. FOR PB SUBMISSION	4/19/23
MARCH 29, 2023		
DRAWN/DESIGN BY	CHECKED BY	
RW	DRJ	

**SITE PLAN**

SCALE: 1" = 30'

NEX-2021385.00

10 OF 25

**APPROVED**  
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36  
**CITY PLANNING BOARD**  
CITY OF CONCORD, NEW HAMPSHIRE  
In accordance with vote of the board dated:  
Approval of this plan is limited to the lots as shown  
Chair \_\_\_\_\_ Clerk \_\_\_\_\_



**NOTES:**

- 1) ZONING DISTRICT: OPPORTUNITY CORRIDOR PERFORMANCE DISTRICT (OCP) AND CENTRAL BUSINESS PERFORMANCE DISTRICT (CBP)
- 2) WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- 3) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- 4) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF CONCORD AND THE STATE OF NEW HAMPSHIRE.
- 5) A PORTION OF THE PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA AE (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33013C0336E, WITH AN EFFECTIVE DATE OF APRIL 19, 2010.
- 6) ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE OWNER.
- 7) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN-PEDERSEN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- 8) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS (LATEST EDITION). CITY STANDARDS SHALL TAKE PRECEDENCE IN CASE OF ANY DETAILS OR PLANS IN CONFLICT.

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SEAL:

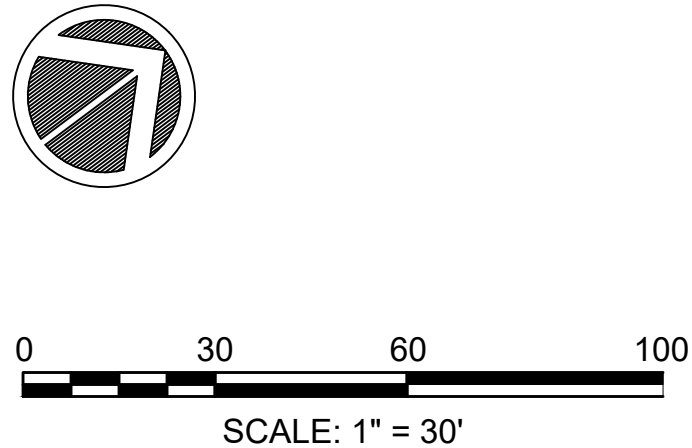
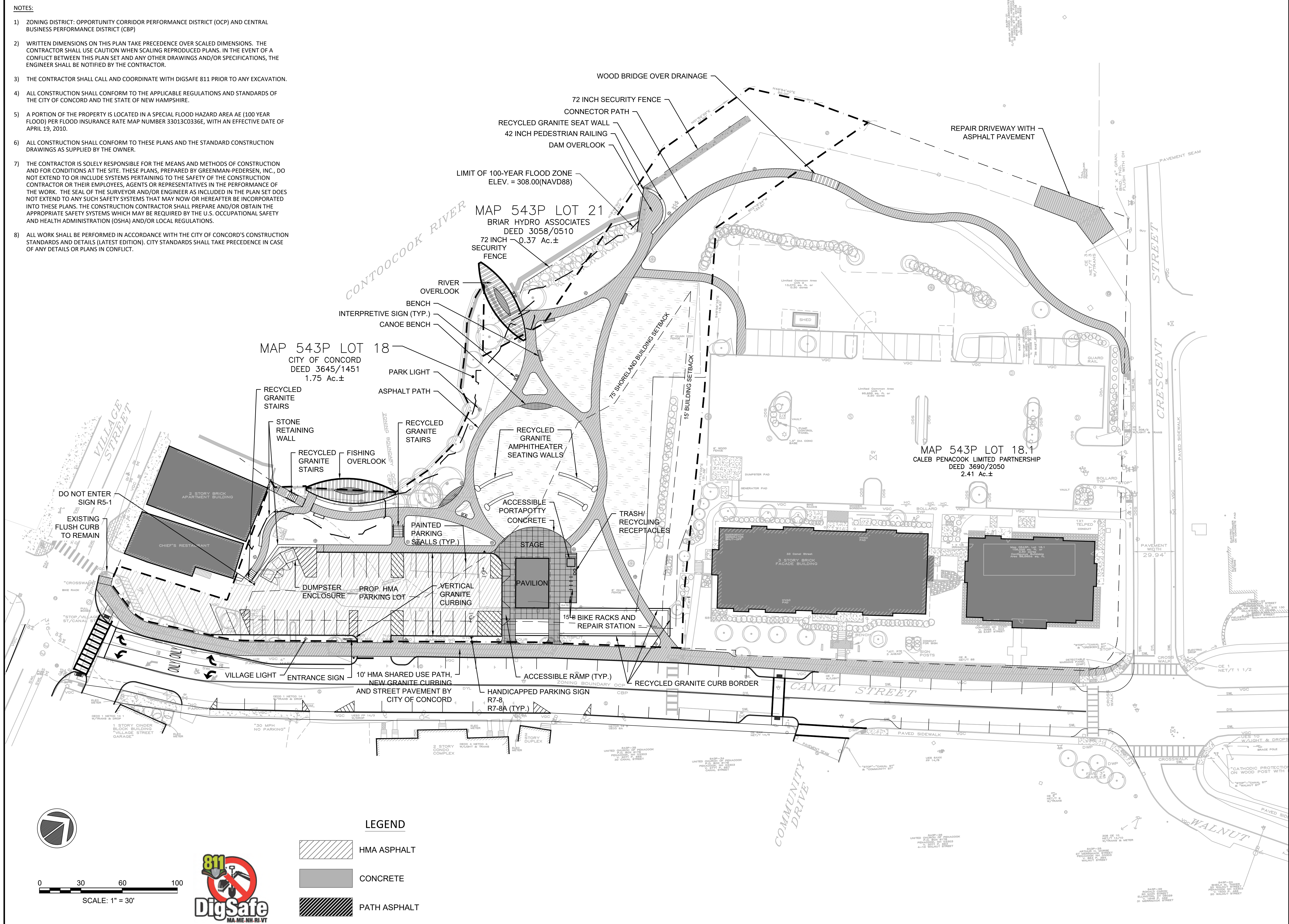
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**MATERIALS PLAN**  
SCALE: 1" = 30'  
NEX-2021385.00  
11 OF 25



**LEGEND**

	HMA ASPHALT
	CONCRETE
	PATH ASPHALT

**GRADING NOTES**

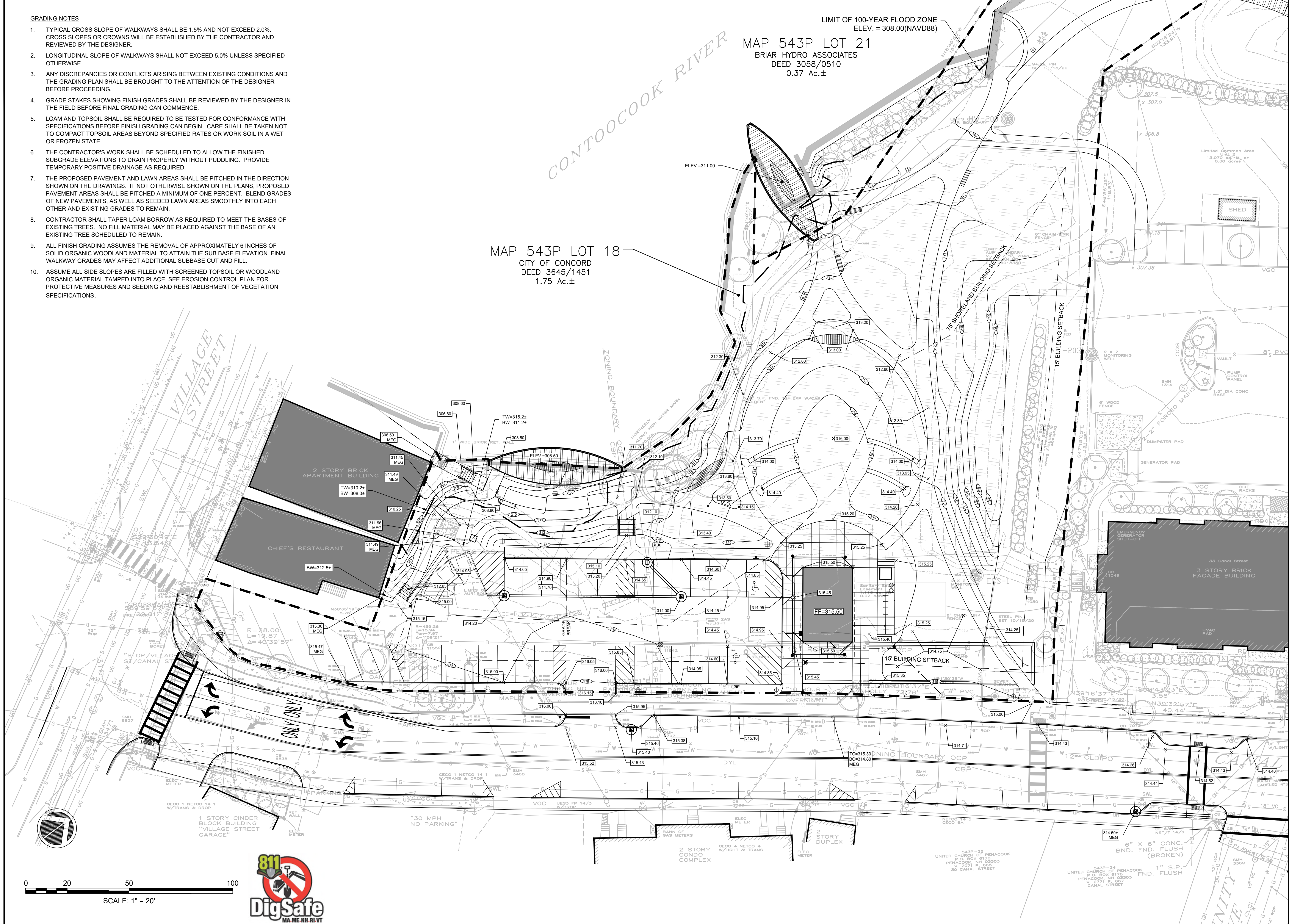
1. TYPICAL CROSS SLOPE OF WALKWAYS SHALL BE 1.5% AND NOT EXCEED 2.0%. CROSS SLOPES OR CROWNS WILL BE ESTABLISHED BY THE CONTRACTOR AND REVIEWED BY THE DESIGNER.
2. LONGITUDINAL SLOPE OF WALKWAYS SHALL NOT EXCEED 5.0% UNLESS SPECIFIED OTHERWISE.
3. ANY DISCREPANCIES OR CONFLICTS ARISING BETWEEN EXISTING CONDITIONS AND THE GRADING PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING.
4. GRADE STAKES SHOWING FINISH GRADES SHALL BE REVIEWED BY THE DESIGNER IN THE FIELD BEFORE FINAL GRADING CAN COMMENCE.
5. LOAM AND TOPSOIL SHALL BE REQUIRED TO BE TESTED FOR CONFORMANCE WITH SPECIFICATIONS BEFORE FINISH GRADING CAN BEGIN. CARE SHALL BE TAKEN NOT TO COMPACT TOPSOIL AREAS BEYOND SPECIFIED RATES OR WORK SOIL IN A WET OR FROZEN STATE.
6. THE CONTRACTOR'S WORK SHALL BE SCHEDULED TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. PROVIDE TEMPORARY POSITIVE DRAINAGE AS REQUIRED.
7. THE PROPOSED PAVEMENT AND LAWN AREAS SHALL BE PITCHED IN THE DIRECTION SHOWN ON THE DRAWINGS. IF NOT OTHERWISE SHOWN ON THE PLANS, PROPOSED PAVEMENT AREAS SHALL BE PITCHED A MINIMUM OF ONE PERCENT. BLEND GRADES OF NEW PAVEMENTS, AS WELL AS SEEDED LAWN AREAS SMOOTHLY INTO EACH OTHER AND EXISTING GRADES TO REMAIN.
8. CONTRACTOR SHALL TAPER LOAM BORROW AS REQUIRED TO MEET THE BASES OF EXISTING TREES. NO FILL MATERIAL MAY BE PLACED AGAINST THE BASE OF AN EXISTING TREE SCHEDULED TO REMAIN.
9. ALL FINISH GRADING ASSUMES THE REMOVAL OF APPROXIMATELY 6 INCHES OF SOLID ORGANIC WOODLAND MATERIAL TO ATTAIN THE SUB BASE ELEVATION. FINAL WALKWAY GRADES MAY AFFECT ADDITIONAL SUBBASE CUT AND FILL.
10. ASSUME ALL SIDE SLOPES ARE FILLED WITH SCREENED TOPSOIL OR WOODLAND ORGANIC MATERIAL TAMPED INTO PLACE. SEE EROSION CONTROL PLAN FOR PROTECTIVE MEASURES AND SEEDING AND REESTABLISHMENT OF VEGETATION SPECIFICATIONS.

LIMIT OF 100-YEAR FLOOD ZONE  
ELEV. = 308.00(NAVD88)

MAP 543P LOT 21  
BRIAR HYDRO ASSOCIATES  
DEED 3058/0510  
0.37 Ac.±

MAP 543P LOT 18  
CITY OF CONCORD  
DEED 3645/1451  
1.75 Ac.±

CONTOOCOOK RIVER



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SEAL:  
  
DAVID R. JORDAN  
No. 7778  
4/19/23

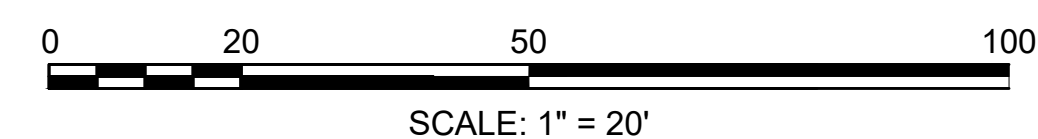
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**GRADING PLAN**  
  
SCALE: 1" = 20'  
NEX-2021385.00  
12 OF 25



**NOTES:**

- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ELEVATIONS ARE BASED ON NAVD 88.
- 3) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 6) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (DIAL 811) PRIOR TO COMMENCING ANY EXCAVATION.
- 8) THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE PROPOSED DISTURBANCE DOES EXCEED ONE ACRE (ACTUAL DISTURBANCE = 70,000 SF).
- 9) ALL STORMWATER IMPROVEMENTS SHALL BE MAINTAINED BY THE CITY OF CONCORD IN PERPETUITY IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, NHDES STORMWATER MANUAL RECOMMENDATIONS, MANUFACTURER SPECIFICATIONS, AND THE INSPECTION AND MAINTENANCE MANUAL (I&M) PREPARED BY GREENMAN-PEDERSEN, INC.
- 10) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 11) ALL WATER PIPE SHALL BE COPPER (TYPE K), UNLESS OTHERWISE NOTED.
- 12) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 13) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 14) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- 15) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND CITY DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.

**DRAINAGE STRUCTURES**

CB-1  
RIM=314.20  
INV.OUT=310.70

CB-2(FD)  
RIM=314.00  
INV.IN=309.85(CB-1)  
INV.IN=312.00(FD)  
INV.OUT=309.75

CB-3  
RIM=315.40  
INV.IN=309.43(EX.DMH 7024) ±(E)  
INV.OUT=309.43 ±(E)

CB-4  
RIM=314.60  
INV.OUT=311.10

DMH-1  
RIM=314.58  
INV.IN=308.50(CB-2(FD))  
INV.IN=304.67(EX.CB 11542) ±(E)  
INV.OUT=304.67 ±(E)

(FD) DENOTES FIRST DEFENSE  
F3-HC HYDRODYNAMIC  
SEPARATOR OR APPROVED  
EQUAL

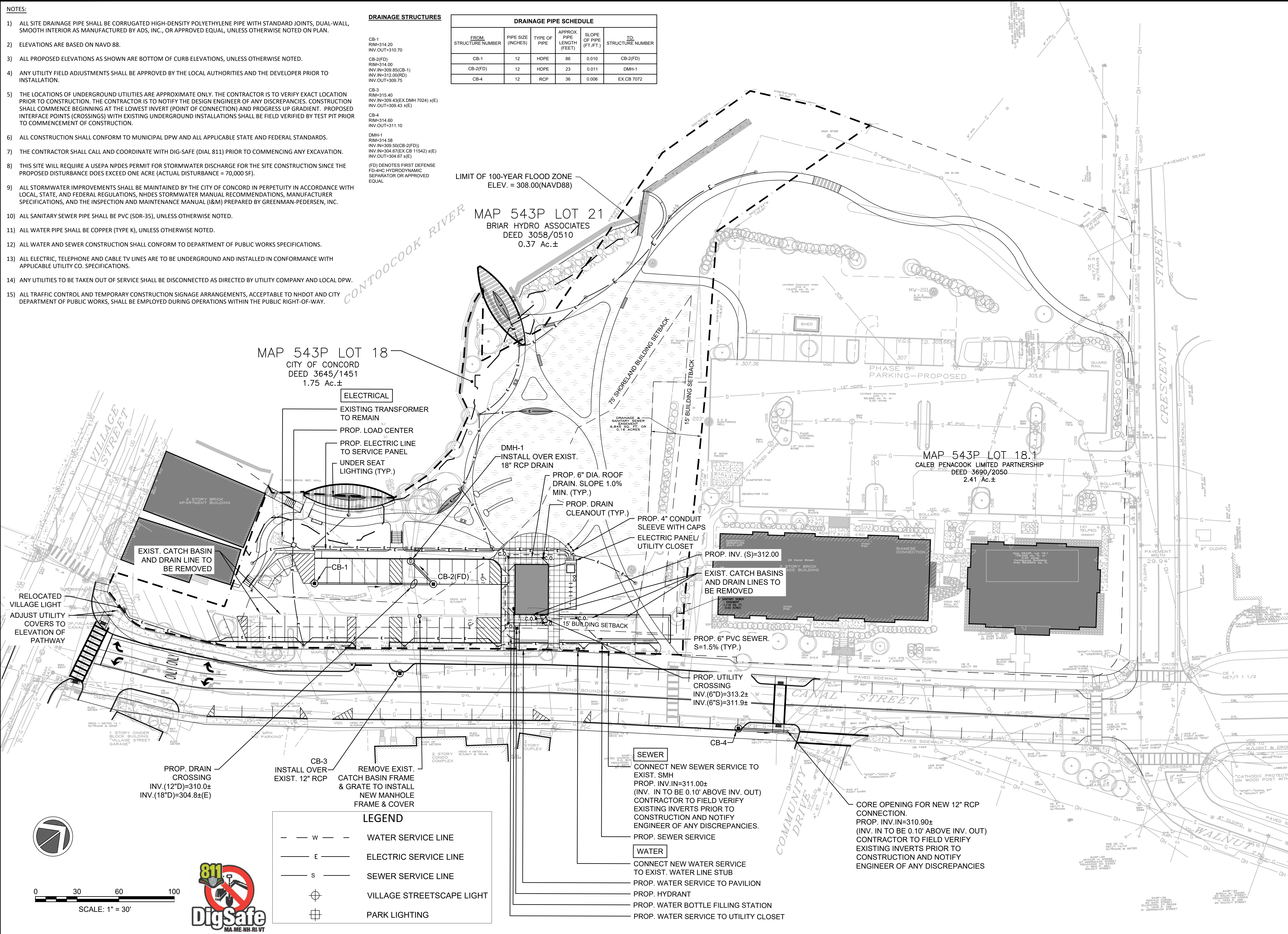
DRAINAGE PIPE SCHEDULE					
FROM STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO STRUCTURE NUMBER
CB-1	12	HDPE	86	0.010	CB-2(FD)
CB-2(FD)	12	HDPE	23	0.011	DMH-1
CB-4	12	RCP	36	0.006	EX.CB 7072

LIMIT OF 100-YEAR FLOOD ZONE  
ELEV. = 308.00(NAVD88)

MAP 543P LOT 21  
BRIAR HYDRO ASSOCIATES  
DEED 3058/0510  
0.37 Ac.±

MAP 543P LOT 18  
CITY OF CONCORD  
DEED 3645/1451  
1.75 Ac.±

MAP 543P LOT 18.1  
CALEB PENACOOK LIMITED PARTNERSHIP  
DEED 3690/2050  
2.41 Ac.±



**ELECTRICAL**  
EXISTING TRANSFORMER TO REMAIN  
PROP. LOAD CENTER  
PROP. ELECTRIC LINE TO SERVICE PANEL UNDER SEAT LIGHTING (TYP.)

DMH-1  
INSTALL OVER EXIST. 18" RCP DRAIN

PROP. 6" DIA. ROOF DRAIN, SLOPE 1.0% MIN. (TYP.)  
PROP. DRAIN CLEANOUT (TYP.)

PROP. 4" CONDUIT SLEEVE WITH CAPS  
ELECTRIC PANEL/UTILITY CLOSET

PROP. INV. (S)=312.00  
EXIST. CATCH BASINS AND DRAIN LINES TO BE REMOVED

PROP. 6" PVC SEWER, S=1.5% (TYP.)

PROP. UTILITY CROSSING  
INV.(6"D)=313.2±  
INV.(6"S)=311.9±

**SEWER**  
CONNECT NEW SEWER SERVICE TO EXIST. SMH  
PROP. INV.IN=311.00±  
(INV. IN TO BE 0.10' ABOVE INV. OUT)  
CONTRACTOR TO FIELD VERIFY EXISTING INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.  
PROP. SEWER SERVICE

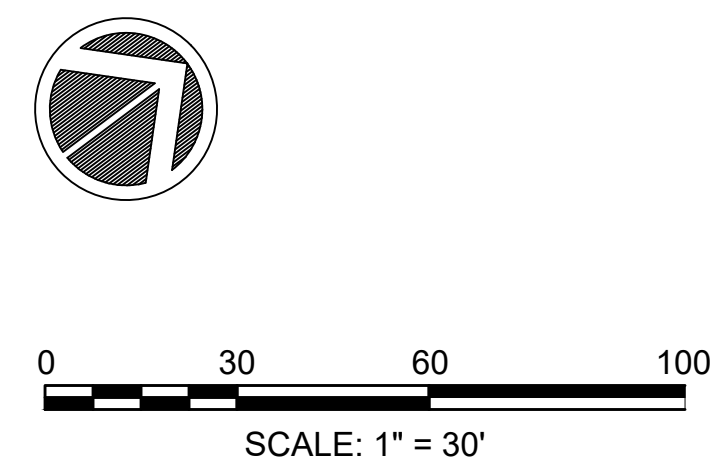
**WATER**  
CONNECT NEW WATER SERVICE TO EXIST. WATER LINE STUB  
PROP. WATER SERVICE TO PAVILION  
PROP. HYDRANT  
PROP. WATER BOTTLE FILLING STATION  
PROP. WATER SERVICE TO UTILITY CLOSET

CORE OPENING FOR NEW 12" RCP CONNECTION.  
PROP. INV.IN=310.90±  
(INV. IN TO BE 0.10' ABOVE INV. OUT)  
CONTRACTOR TO FIELD VERIFY EXISTING INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES

CB-3  
INSTALL OVER EXIST. 12" RCP  
REMOVE EXIST. CATCH BASIN FRAME & GRATE TO INSTALL NEW MANHOLE FRAME & COVER

**LEGEND**

---	W	---	WATER SERVICE LINE
---	E	---	ELECTRIC SERVICE LINE
---	S	---	SEWER SERVICE LINE
⊕			VILLAGE STREETSCAPE LIGHT
⊕			PARK LIGHTING



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SEAL:  
  
DAVID R. JORDAN  
No. 7778  
LICENSED PROFESSIONAL ENGINEER  
4/19/23

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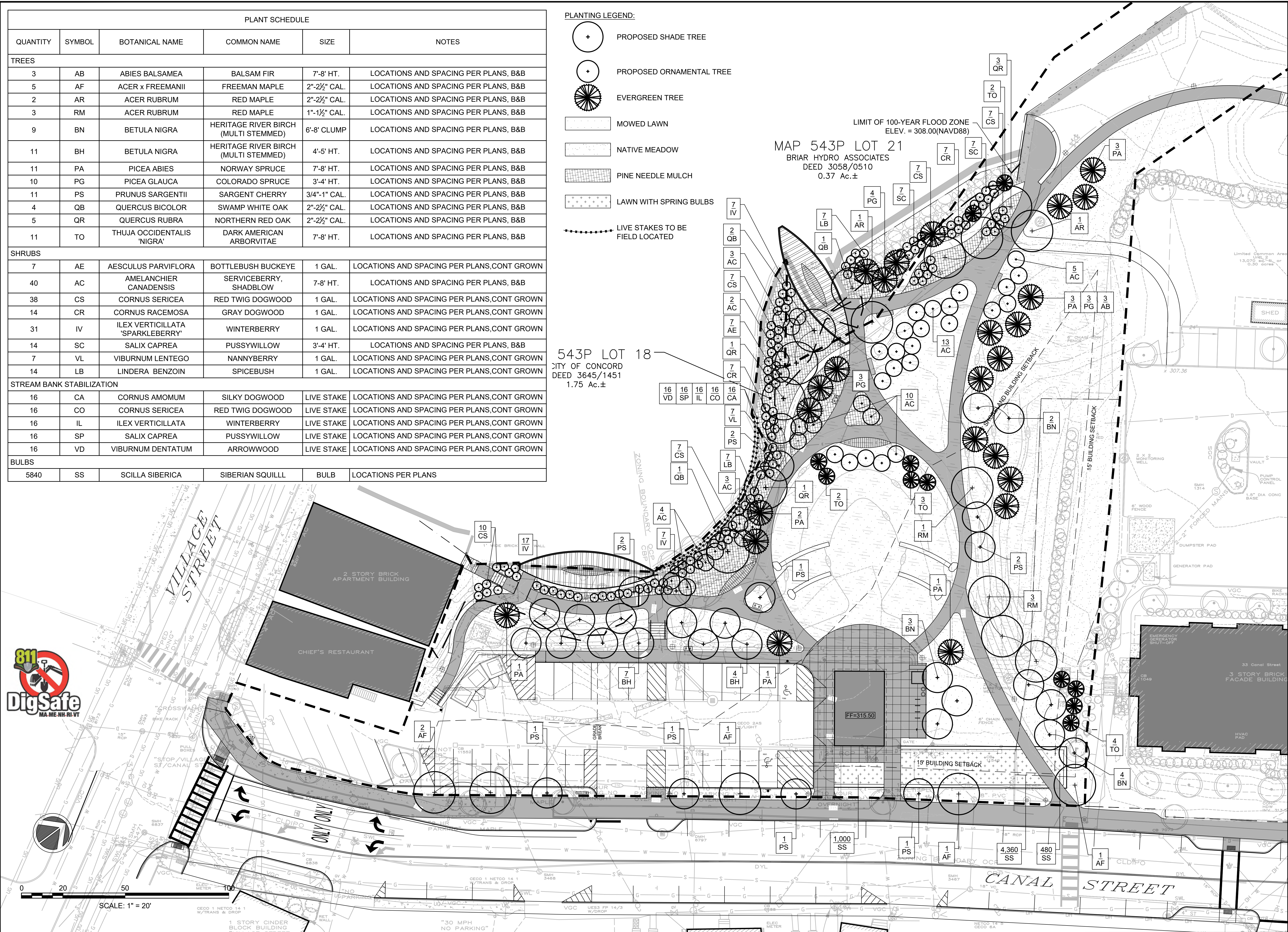
**DRAINAGE AND UTILITY PLAN**

SCALE: 1" = 30'  
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PLANT SCHEDULE					
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
3	AB	ABIES BALSAMEA	BALSAM FIR	7'-8' HT.	LOCATIONS AND SPACING PER PLANS, B&B
5	AF	ACER x FREEMANII	FREEMAN MAPLE	2"-2½" CAL.	LOCATIONS AND SPACING PER PLANS, B&B
2	AR	ACER RUBRUM	RED MAPLE	2"-2½" CAL.	LOCATIONS AND SPACING PER PLANS, B&B
3	RM	ACER RUBRUM	RED MAPLE	1"-1½" CAL.	LOCATIONS AND SPACING PER PLANS, B&B
9	BN	BETULA NIGRA	HERITAGE RIVER BIRCH (MULTI STEMMED)	6'-8' CLUMP	LOCATIONS AND SPACING PER PLANS, B&B
11	BH	BETULA NIGRA	HERITAGE RIVER BIRCH (MULTI STEMMED)	4'-5' HT.	LOCATIONS AND SPACING PER PLANS, B&B
11	PA	PICEA ABIES	NORWAY SPRUCE	7'-8' HT.	LOCATIONS AND SPACING PER PLANS, B&B
10	PG	PICEA GLAUCA	COLORADO SPRUCE	3'-4' HT.	LOCATIONS AND SPACING PER PLANS, B&B
11	PS	PRUNUS SARGENTII	SARGENT CHERRY	¾"-1" CAL.	LOCATIONS AND SPACING PER PLANS, B&B
4	QB	QUERCUS BICOLOR	SWAMP WHITE OAK	2"-2½" CAL.	LOCATIONS AND SPACING PER PLANS, B&B
5	QR	QUERCUS RUBRA	NORTHERN RED OAK	2"-2½" CAL.	LOCATIONS AND SPACING PER PLANS, B&B
11	TO	THUJA OCCIDENTALIS 'NIGRA'	DARK AMERICAN ARBORVITAE	7'-8' HT.	LOCATIONS AND SPACING PER PLANS, B&B
<b>SHRUBS</b>					
7	AE	AESCLUS PARVIFLORA	BOTTLEBUSH BUCKEYE	1 GAL.	LOCATIONS AND SPACING PER PLANS, CONT GROWN
40	AC	AMELANCHIER CANADENSIS	SERVICEBERRY, SHADBLow	7-8' HT.	LOCATIONS AND SPACING PER PLANS, B&B
38	CS	CORNUS SERICEA	RED TWIG DOGWOOD	1 GAL.	LOCATIONS AND SPACING PER PLANS, CONT GROWN
14	CR	CORNUS RACEMOSA	GRAY DOGWOOD	1 GAL.	LOCATIONS AND SPACING PER PLANS, CONT GROWN
31	IV	ILEX VERTICILLATA 'SPARKLEBERRY'	WINTERBERRY	1 GAL.	LOCATIONS AND SPACING PER PLANS, CONT GROWN
14	SC	SALIX CAPREA	PUSSYWILLOW	3'-4' HT.	LOCATIONS AND SPACING PER PLANS, B&B
7	VL	VIBURNUM LENTEGO	NANNYBERRY	1 GAL.	LOCATIONS AND SPACING PER PLANS, CONT GROWN
14	LB	LINDERA BENZOIN	SPICEBUSH	1 GAL.	LOCATIONS AND SPACING PER PLANS, CONT GROWN
<b>STREAM BANK STABILIZATION</b>					
16	CA	CORNUS AMOMUM	SILKY DOGWOOD	LIVE STAKE	LOCATIONS AND SPACING PER PLANS, CONT GROWN
16	CO	CORNUS SERICEA	RED TWIG DOGWOOD	LIVE STAKE	LOCATIONS AND SPACING PER PLANS, CONT GROWN
16	IL	ILEX VERTICILLATA	WINTERBERRY	LIVE STAKE	LOCATIONS AND SPACING PER PLANS, CONT GROWN
16	SP	SALIX CAPREA	PUSSYWILLOW	LIVE STAKE	LOCATIONS AND SPACING PER PLANS, CONT GROWN
16	VD	VIBURNUM DENTATUM	ARROWWOOD	LIVE STAKE	LOCATIONS AND SPACING PER PLANS, CONT GROWN
<b>BULBS</b>					
5840	SS	SCILLA SIBERICA	SIBERIAN SQUILL	BULB	LOCATIONS PER PLANS

**PLANTING LEGEND:**

- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- EVERGREEN TREE
- MOWED LAWN
- NATIVE MEADOW
- PINE NEEDLE MULCH
- LAWN WITH SPRING BULBS
- LIVE STAKES TO BE FIELD LOCATED



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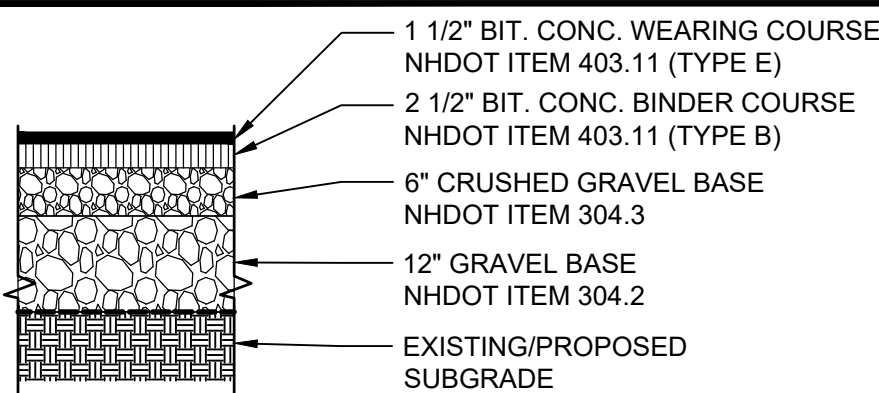
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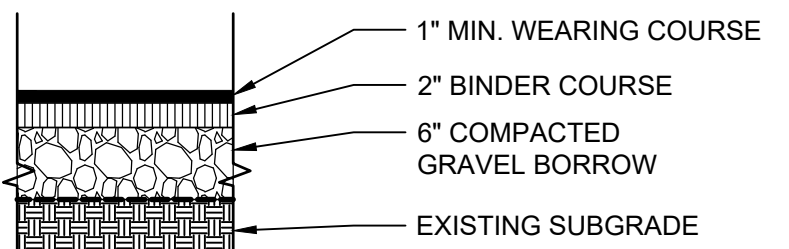
**LANDSCAPE PLAN**

SCALE: 1" = 20'  
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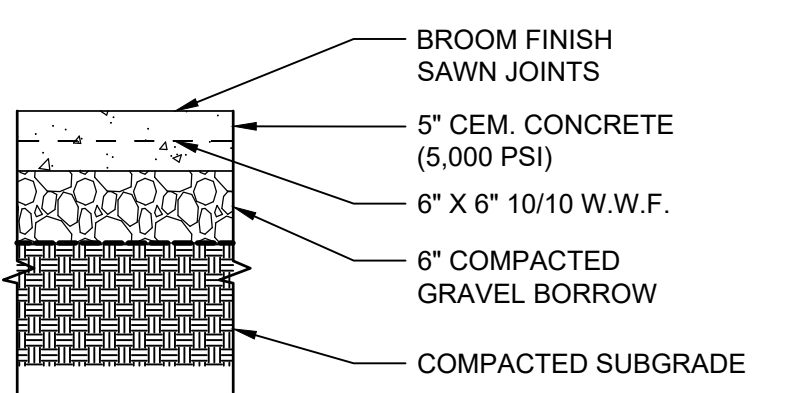




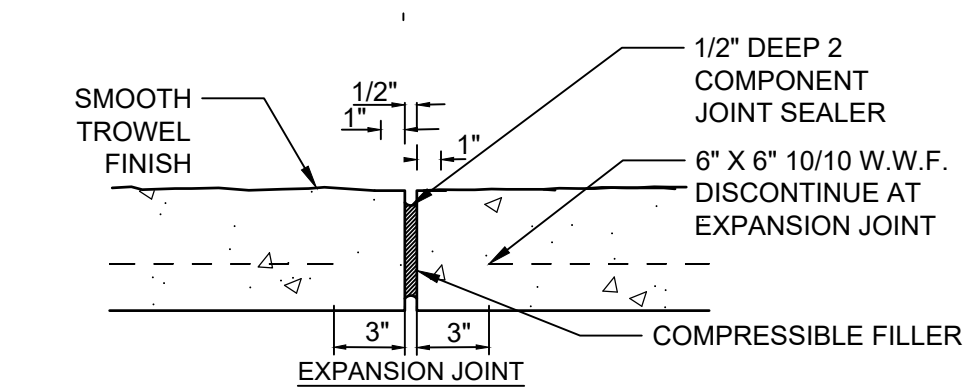
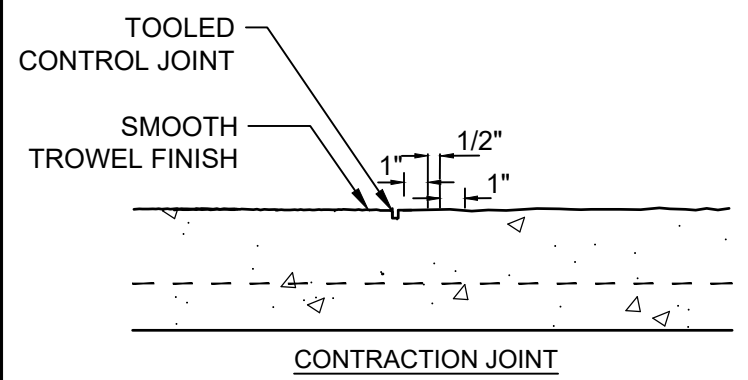
**1 ASPHALT PAVEMENT - PARKING**  
SCALE: 3/4" = 1'-0"



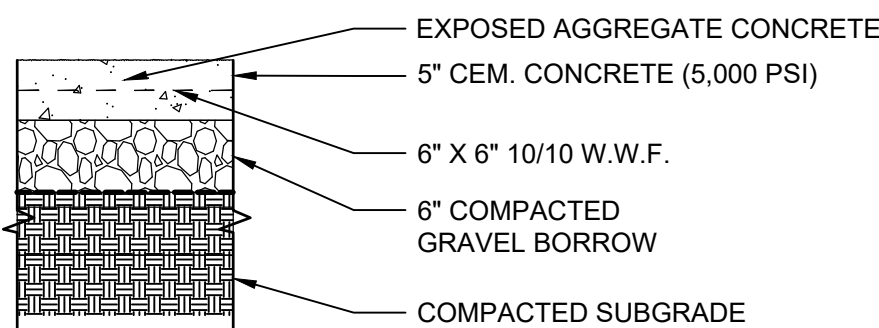
**2 ASPHALT PAVEMENT - PATH**  
SCALE: 3/4" = 1'-0"



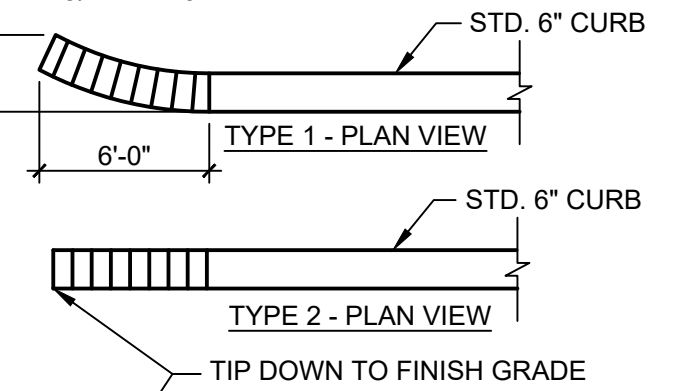
**3 CEMENT CONCRETE PAVEMENT**  
SCALE: 3/4" = 1'-0"



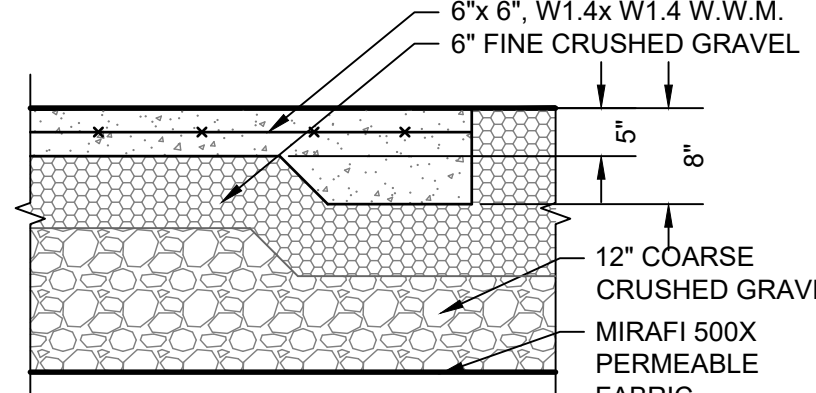
**4 CONCRETE JOINT DETAILS**  
SCALE: 3/4" = 1'-0"



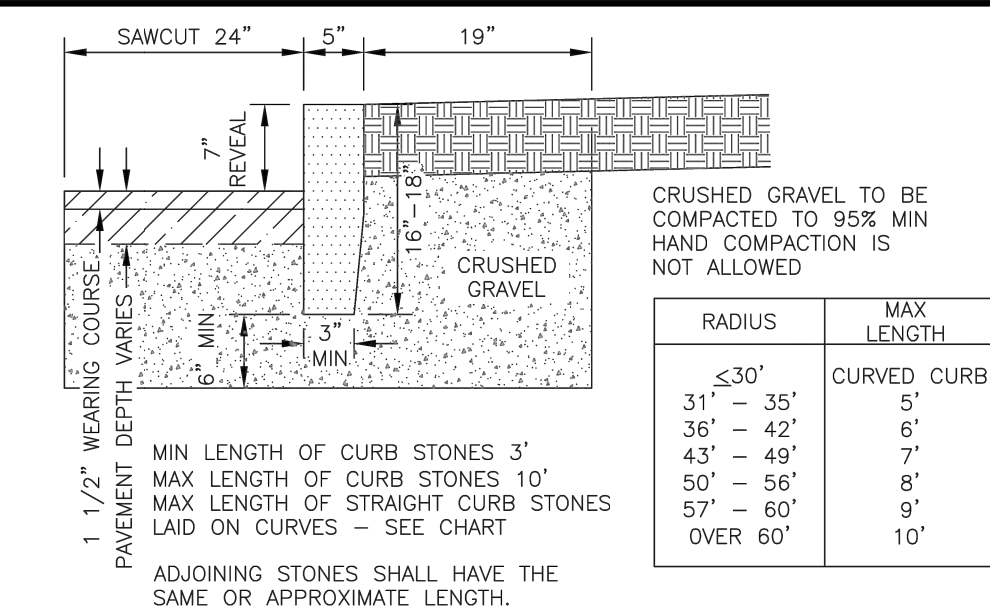
**5 EXPOSED AGGREGATE CONCRETE**  
SCALE: 3/4" = 1'-0"



**6 TYPICAL TIP DOWN CURB DETAIL**  
NOT TO SCALE



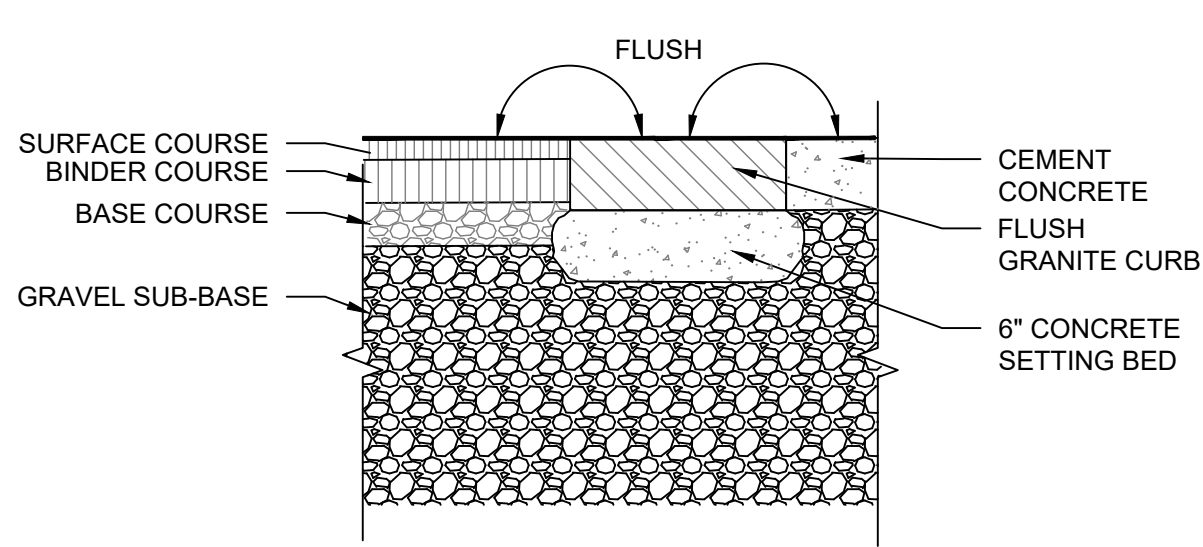
**7 CONCRETE PLAZA**  
SCALE: 3/4" = 1'-0"



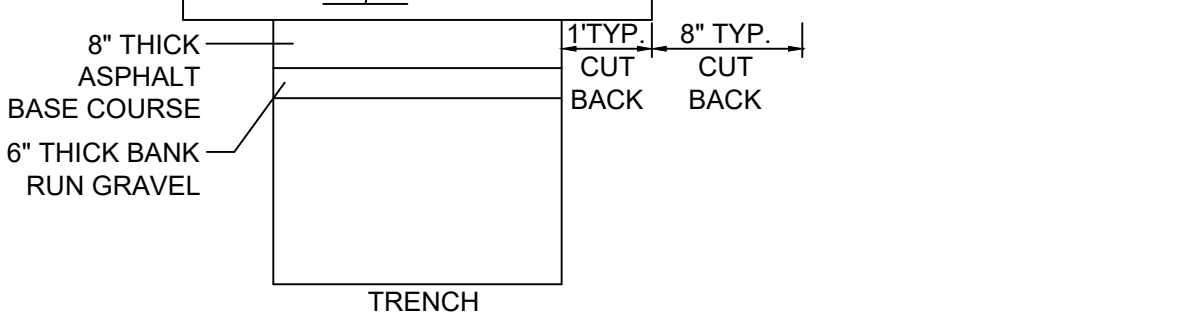
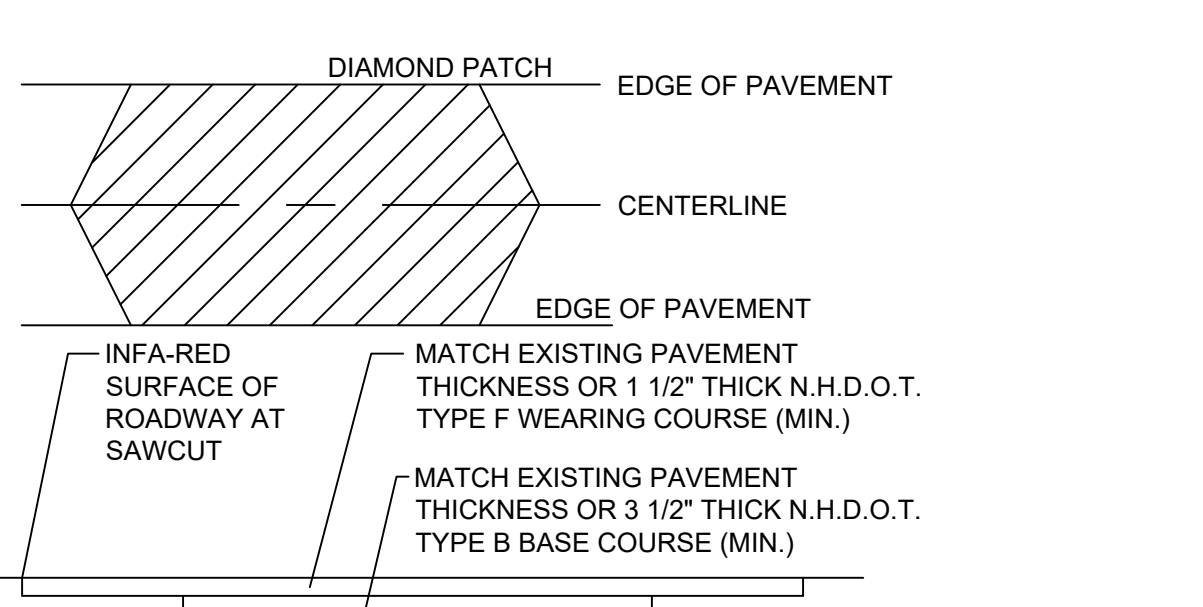
FINISH SURFACE AND TOLERANCES FOR VERTICAL GRANITE CURB

AREA	FINISH SURFACE	TOLERANCE
TOP	5" WIDE OR AS OTHERWISE SHOWN, SAWN TRUE PLANE.	+3/8" TO +3/4"
FRONT AND BACK VERTICAL SURFACES	FRONT AND BACK VERTICAL SURFACES PITCHED STRAIGHT AND PARALLEL.	+3/8" TO +3/4"
FRONT FACE	RIGHT ANGLE TO TOP, APPROXIMATELY TRUE PLANE. NO DRILL HOLES SHOWING IN TOP 10"	+1" TO -3/4"
BACK FACE	PLANE PARALLEL WITH FRONT FACE, STRAIGHT SPLIT TO 1/2" BELOW EXPOSED SURFACE. NO LARGER THAN 1/2" SEGMENT OF DRILL HOLES SHOWING IN ARCS LINES.	+1" TO -1"
CONCEALED	BELOW 1/2" FROM EXPOSED SURFACE.	+1/8" TO -1/8"
BOTTOM	APPROXIMATELY PARALLEL TO TOP. MINIMUM WIDTH: 3"	SEE PLANS
ENDS EXPOSED PORTION	SQUARE WITH PLANES OF TOP AND FACE	SEE PLANS
JOINTS EXPOSED	OPTIMUM WIDTH: 1"	+3/8" TO -3/4"
CONCEALED	TO BREAK BACK NO MORE THAN 4"	+3/8" TO -3/4"

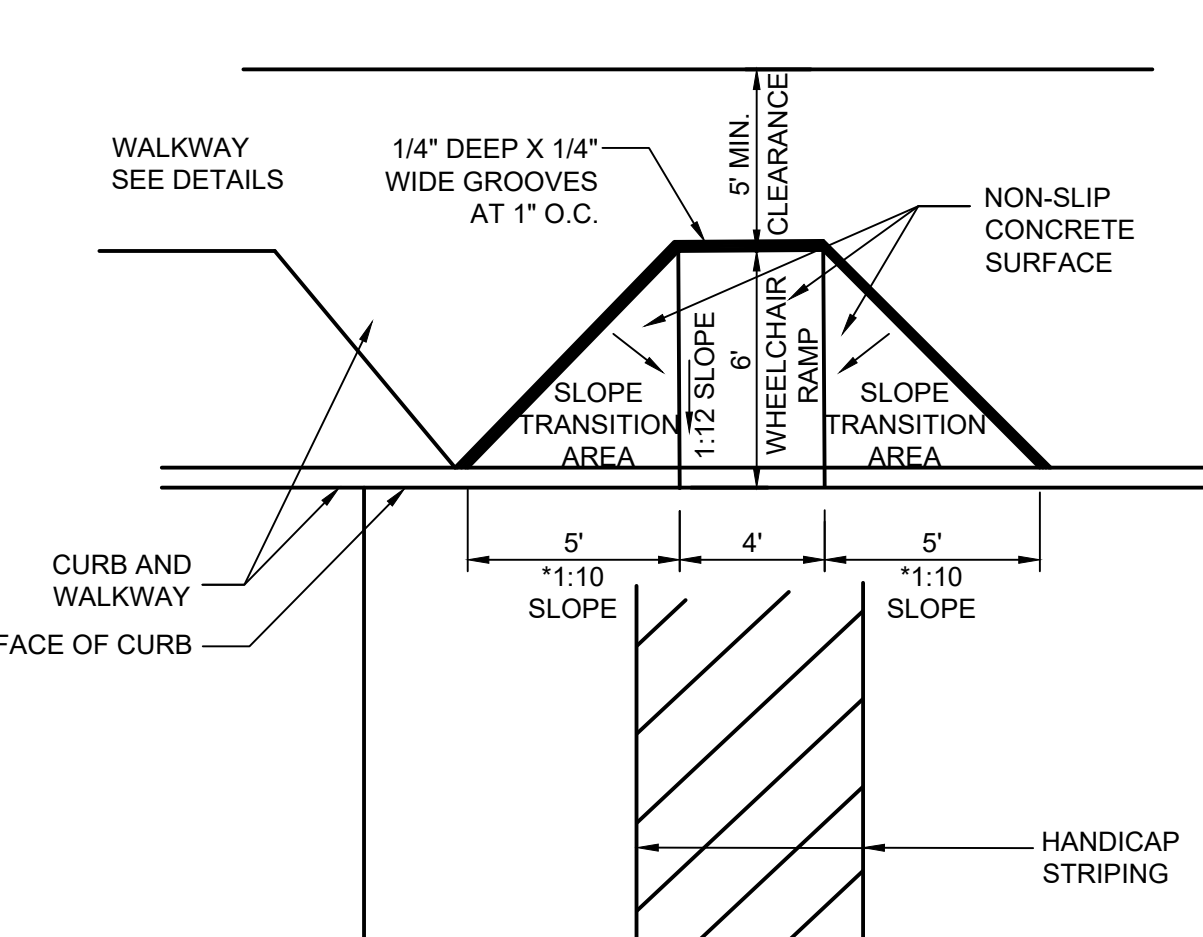
**8 VERTICAL GRANITE CURB**  
NOT TO SCALE



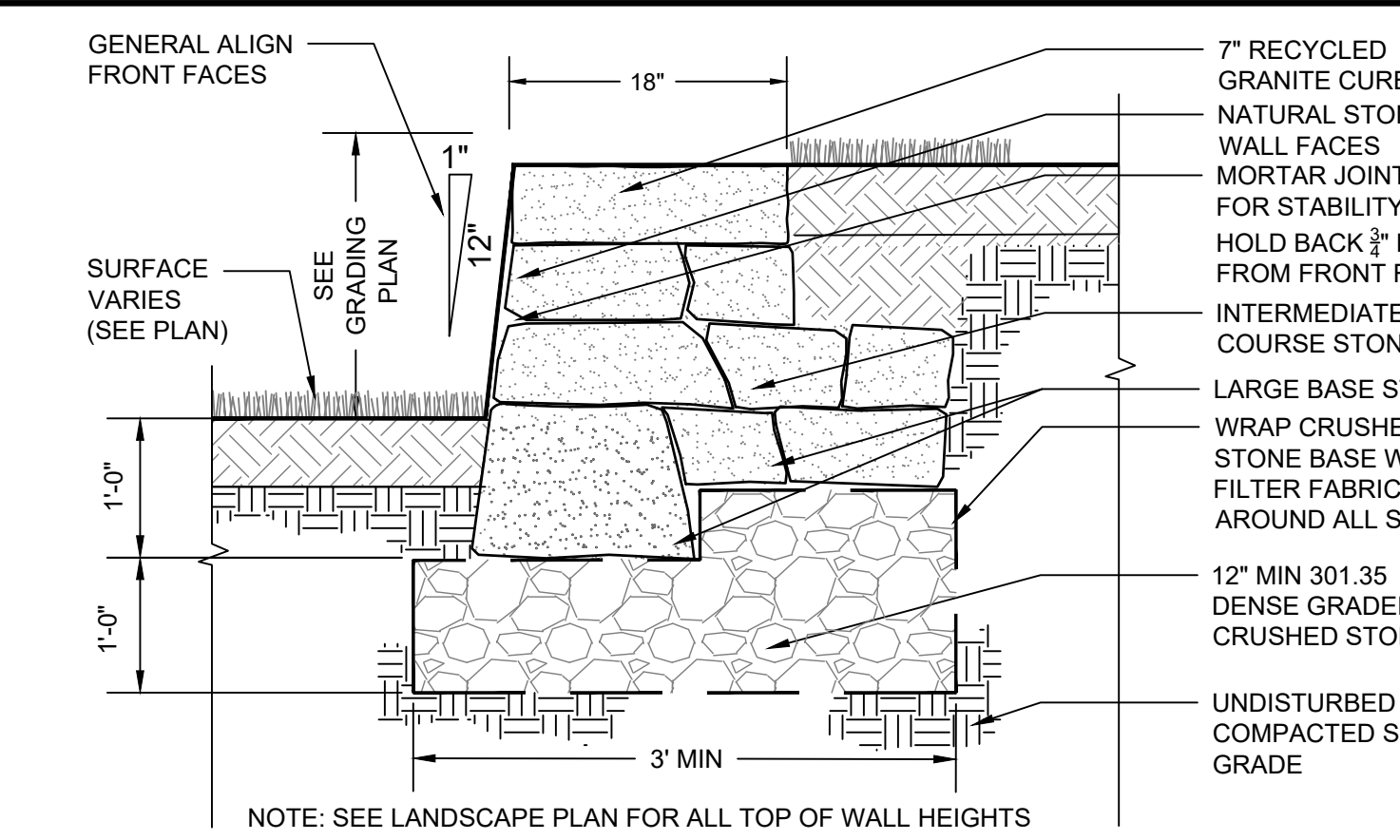
**9 FLUSH GRANITE CURB**  
SCALE: 3/4" = 1'-0"



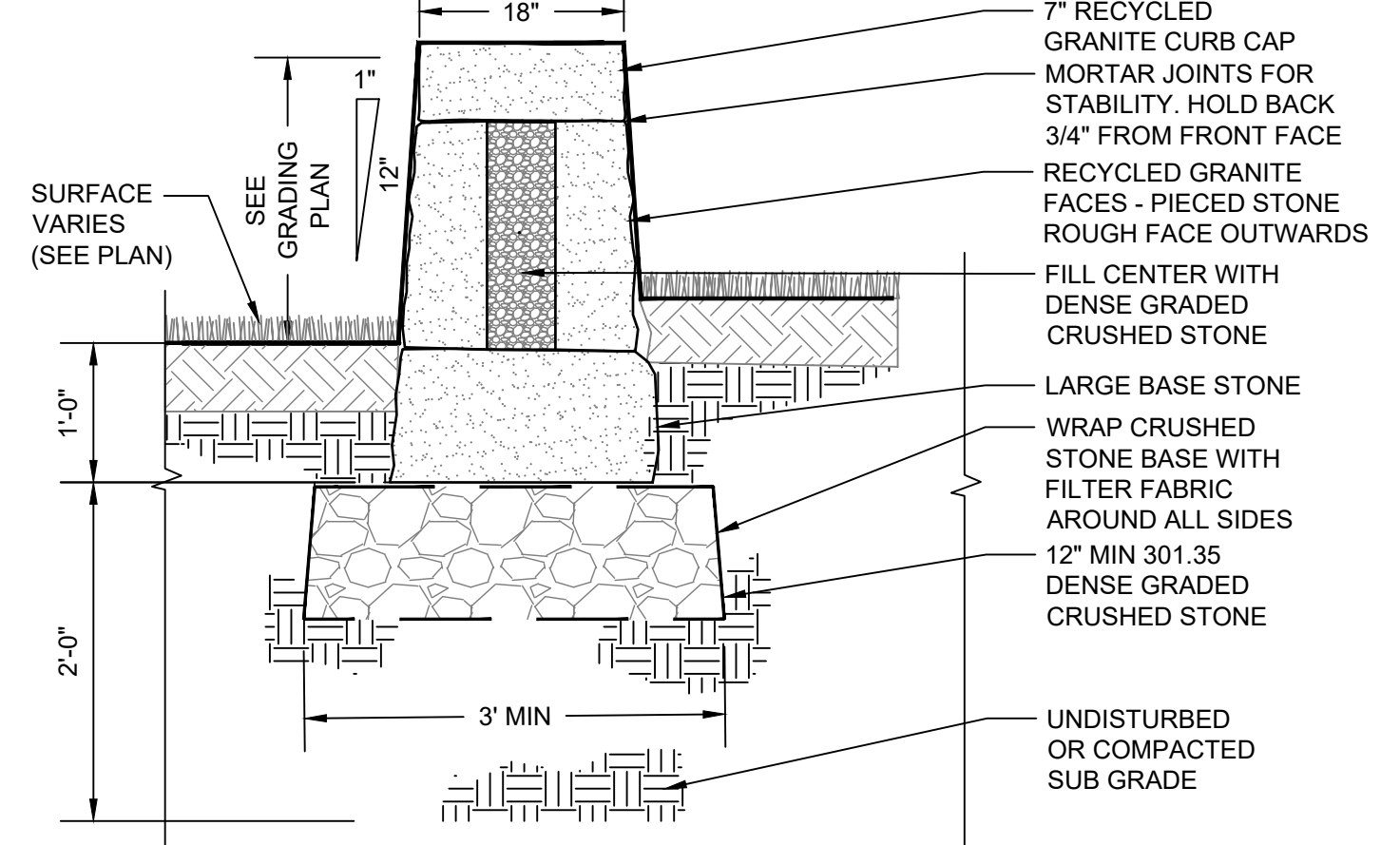
**10 TYPICAL PAVEMENT REPAIR DETAIL**  
NOT TO SCALE



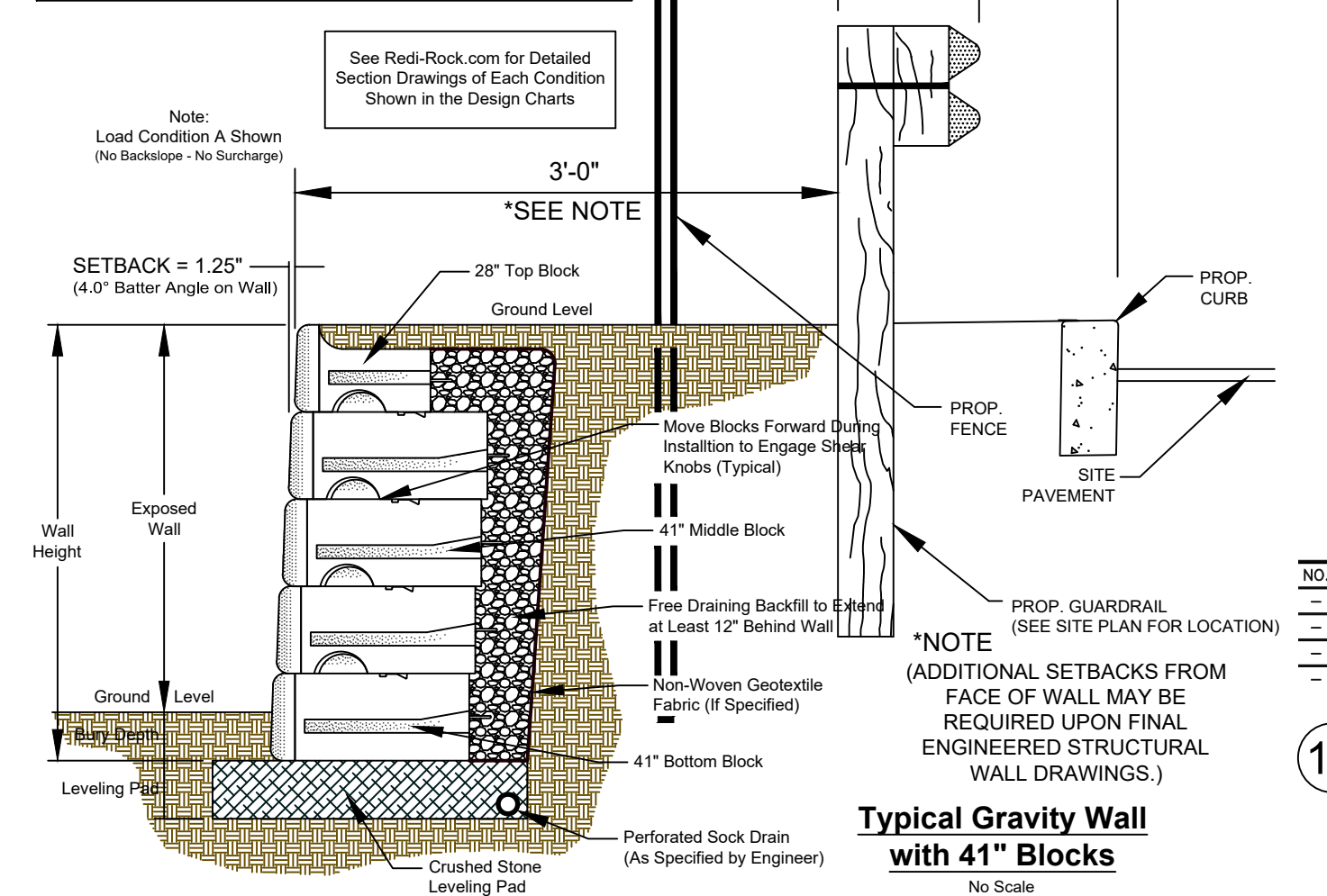
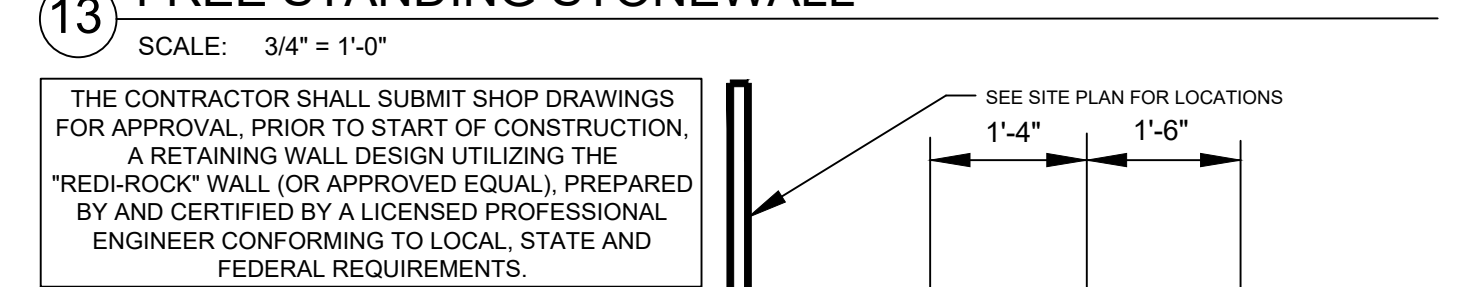
**11 ACCESSIBLE RAMP DETAIL**  
NOT TO SCALE



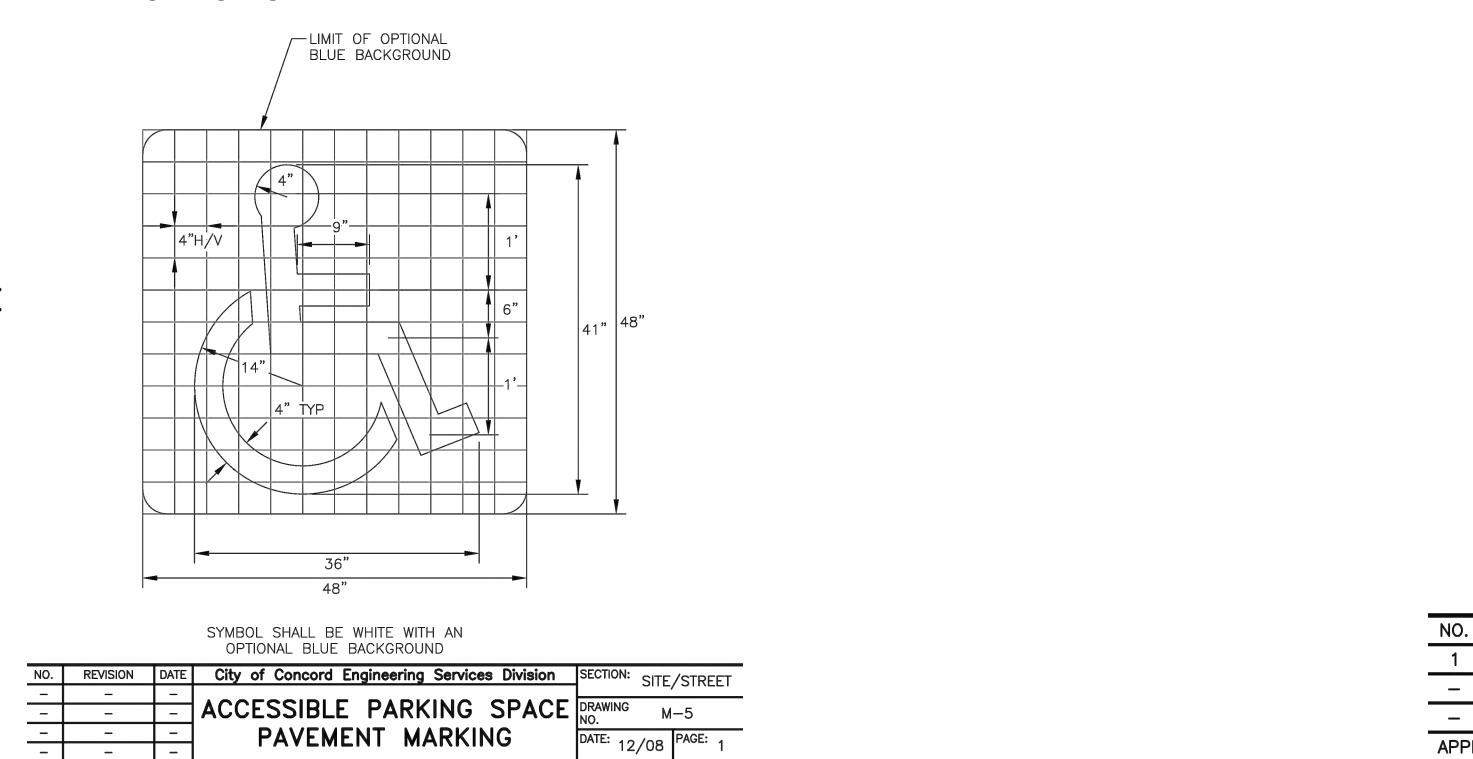
**12 STONE RETAINING WALL**  
SCALE: 3/4" = 1'-0"



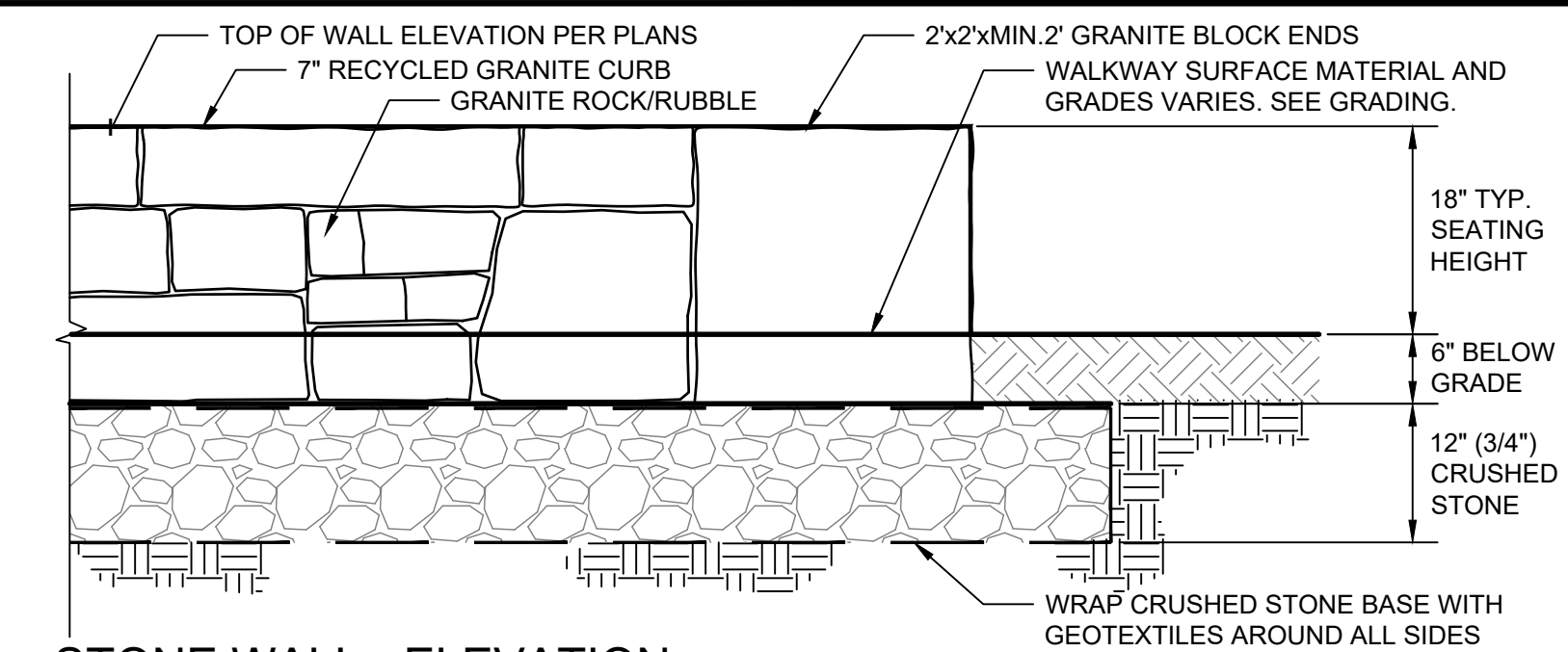
**13 FREE STANDING STONEWALL**  
SCALE: 3/4" = 1'-0"



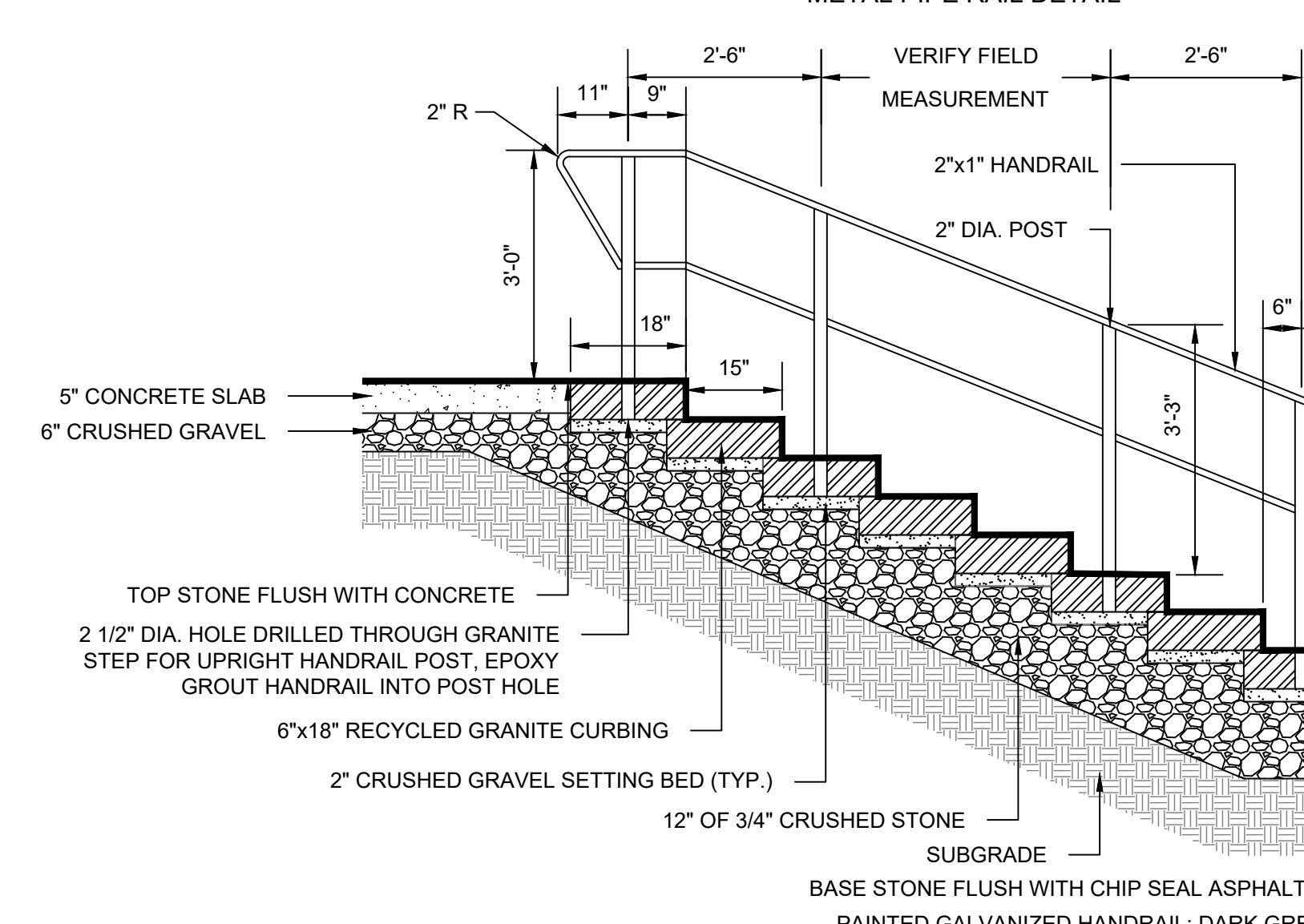
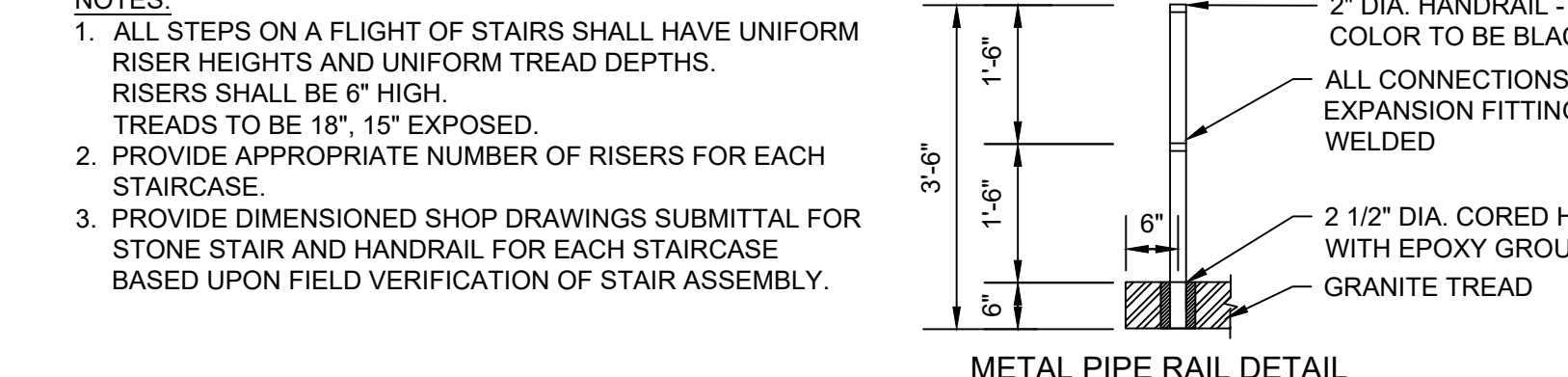
**14 TYPICAL "REDI-ROCK" RETAINING WALL SECTION**  
NOT TO SCALE



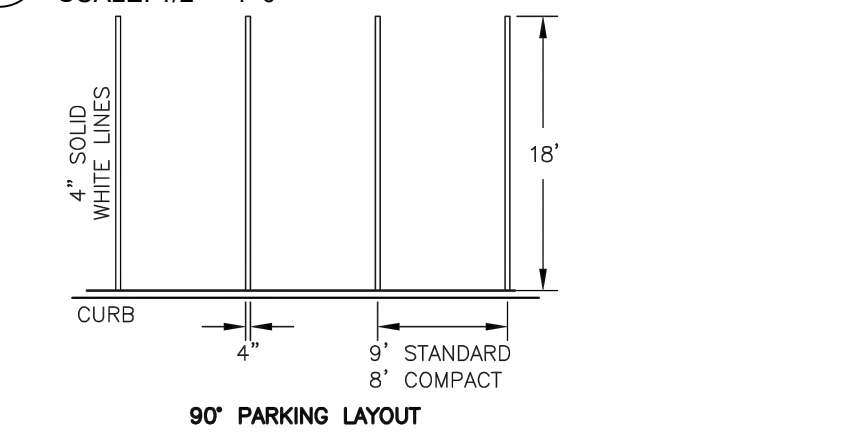
**15 ACCESSIBLE PARKING SPACE PAVEMENT MARKING**  
NOT TO SCALE



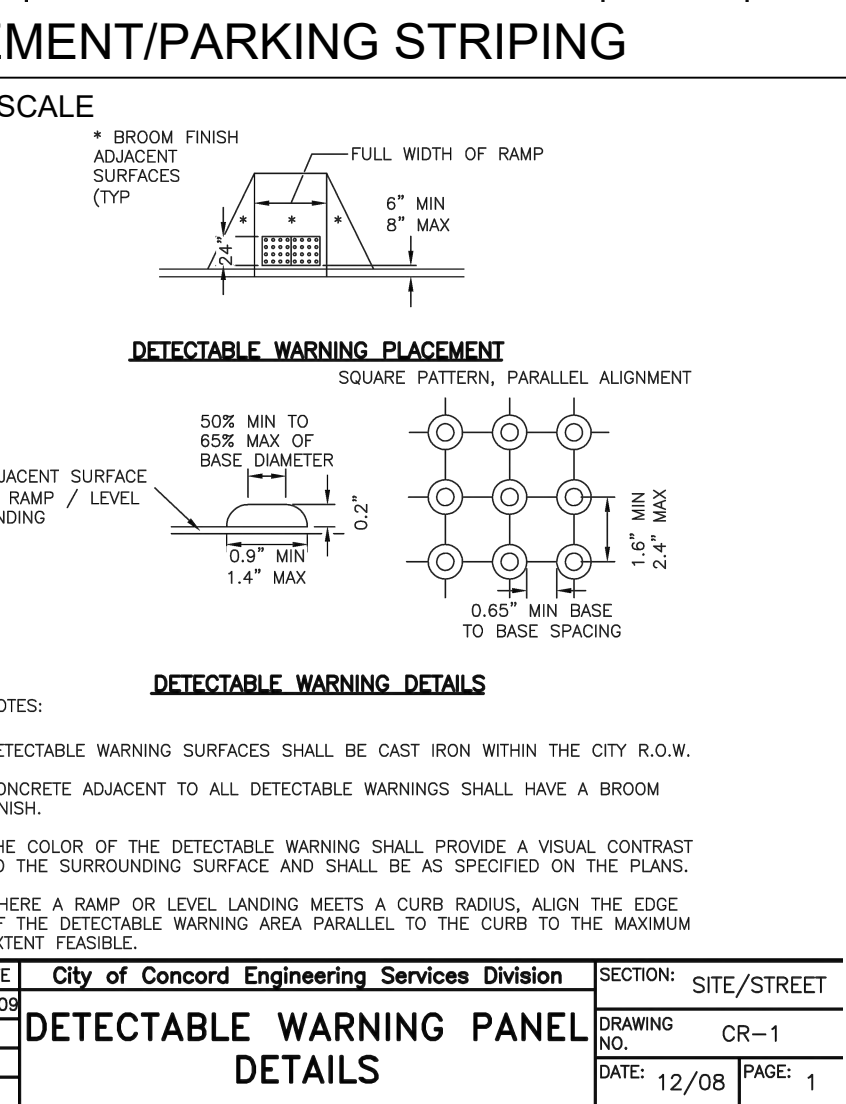
**16 STONE WALL - ELEVATION**  
SCALE: 3/4" = 1'-0"



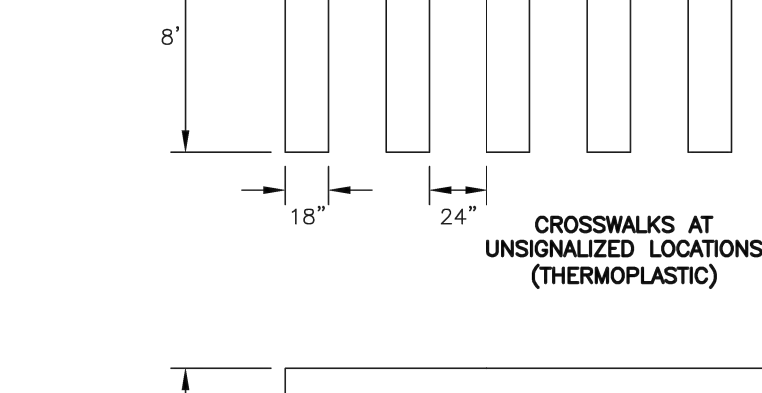
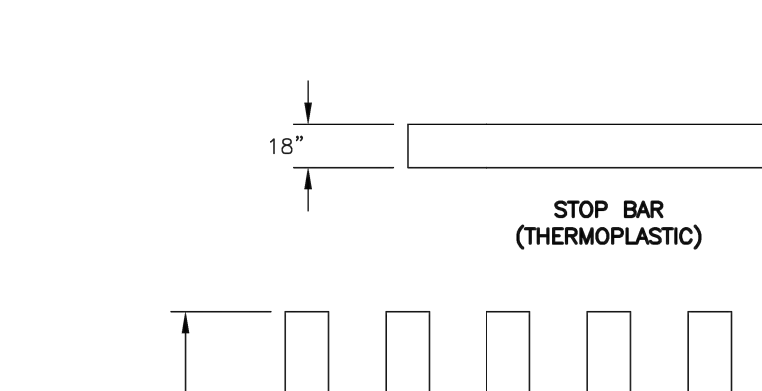
**17 GRANITE STEPS WITH RAILING - SECTION**  
SCALE: 1/2" = 1'-0"



**18 PAVEMENT/PARKING STRIPING**  
NOT TO SCALE



**19 DETECTABLE WARNING PANEL**  
NOT TO SCALE



**20 CROSSWALK**  
NOT TO SCALE

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Wilmington, MA 01887

SEAL:  
DAVID R. JORDAN  
No. 7778  
LICENSED PROFESSIONAL ENGINEER  
4/19/23

OWNER:  
**CITY OF CONCORD**  
41 GREEN ST.  
CONCORD, NH 03301

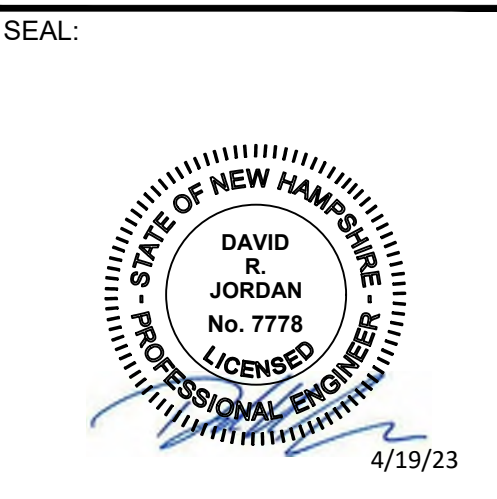
DESIGN TEAM:  
**Greenman-Pedersen, Inc.**  
Landscape Architecture  
Civil Engineering

PROJECT:  
**CANAL STREET RIVERFRONT PARK**

11 CANAL STREET, CONCORD  
NEW HAMPSHIRE, 03303

REVISIONS			
NO.	REVISION	DATE	BY
1	REV. FOR PB SUBMISSION	4/19/23	

SCALE: AS NOTED  
NEX-2021385.00  
**16 OF 25**



OWNER:  
**CITY OF CONCORD**  
41 GREEN ST.  
CONCORD, NH 03301

DESIGN TEAM:  
**Greenman-Pedersen, Inc.**  
Landscape Architecture  
Civil Engineering

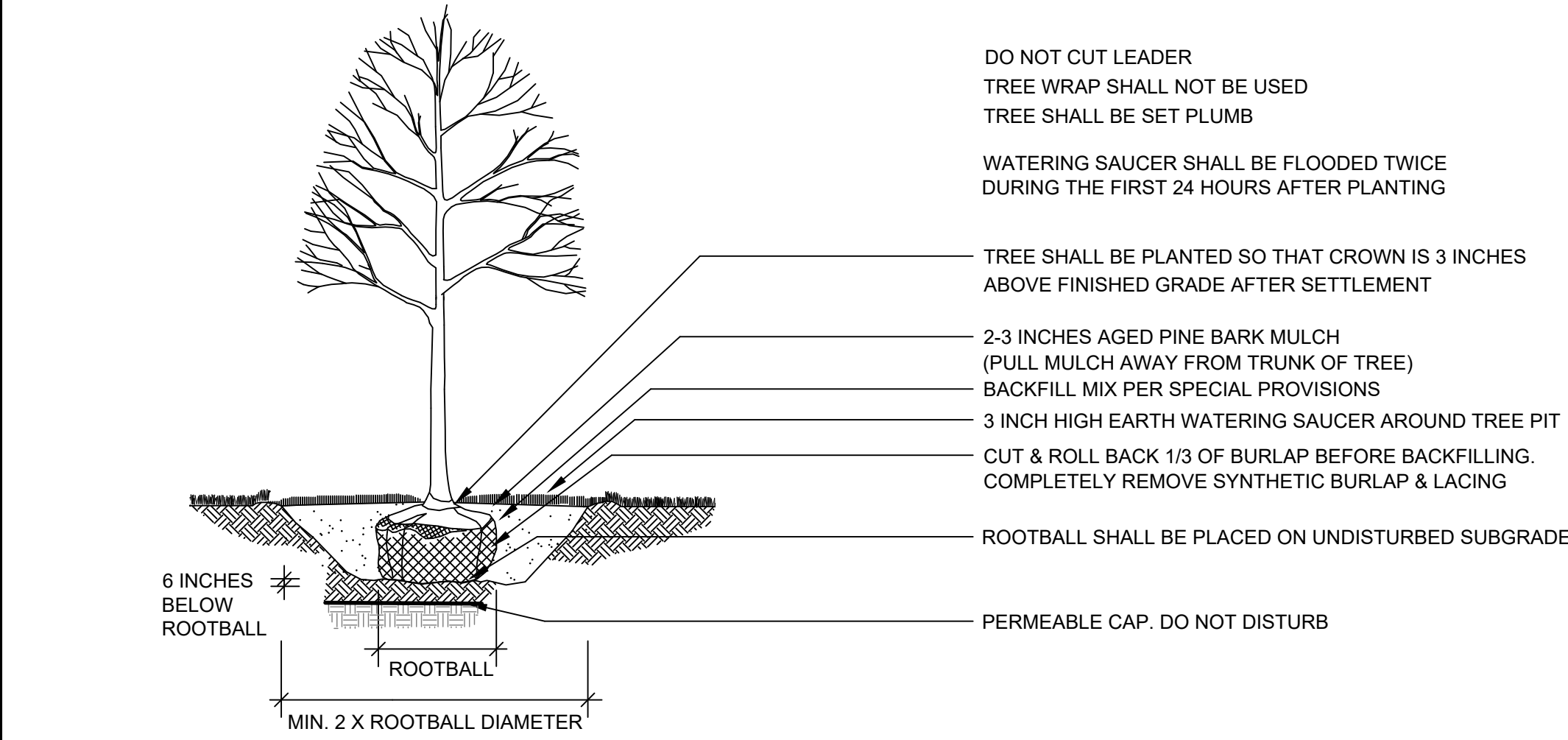
PROJECT:  
**CANAL STREET RIVERFRONT PARK**  
11 CANAL STREET, CONCORD  
NEW HAMPSHIRE, 03303

REVISIONS		
NO.	REVISION	DATE

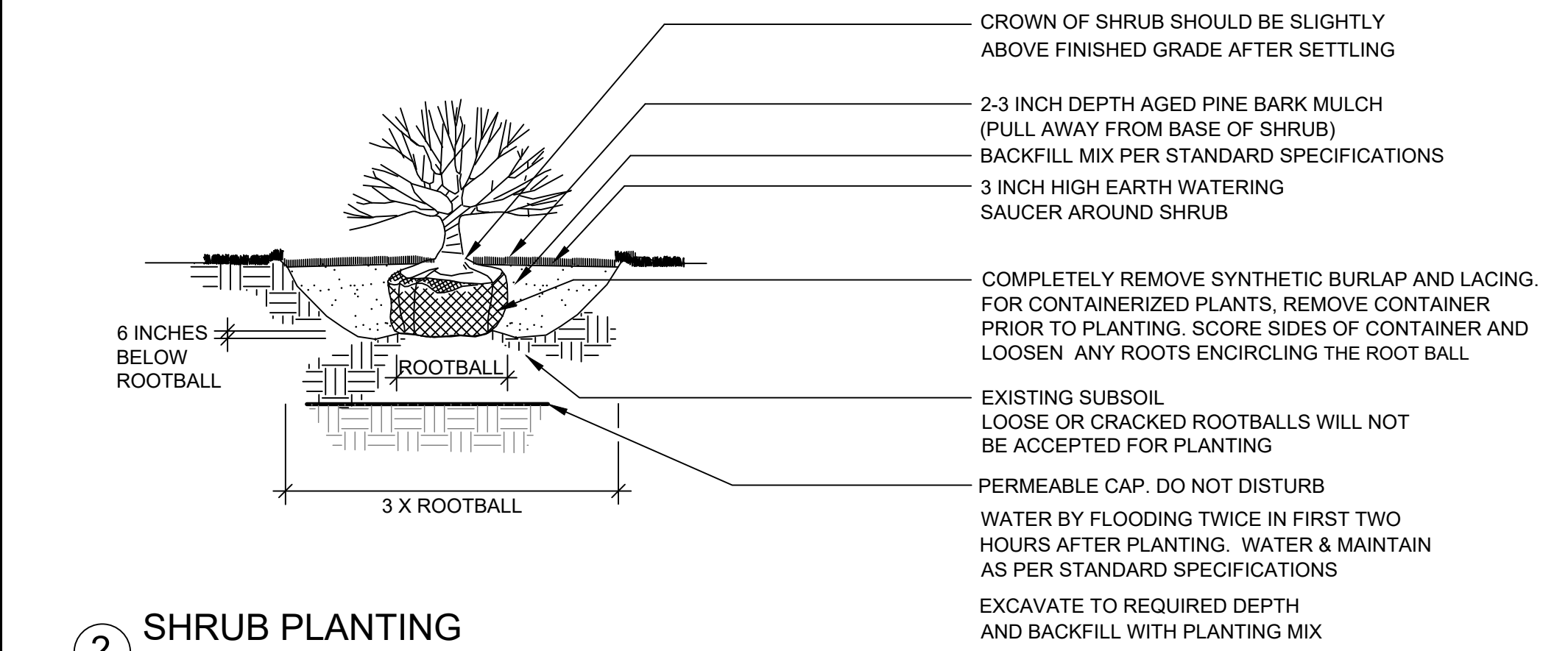
**PLANTING  
DETAILS**

SCALE: AS NOTED

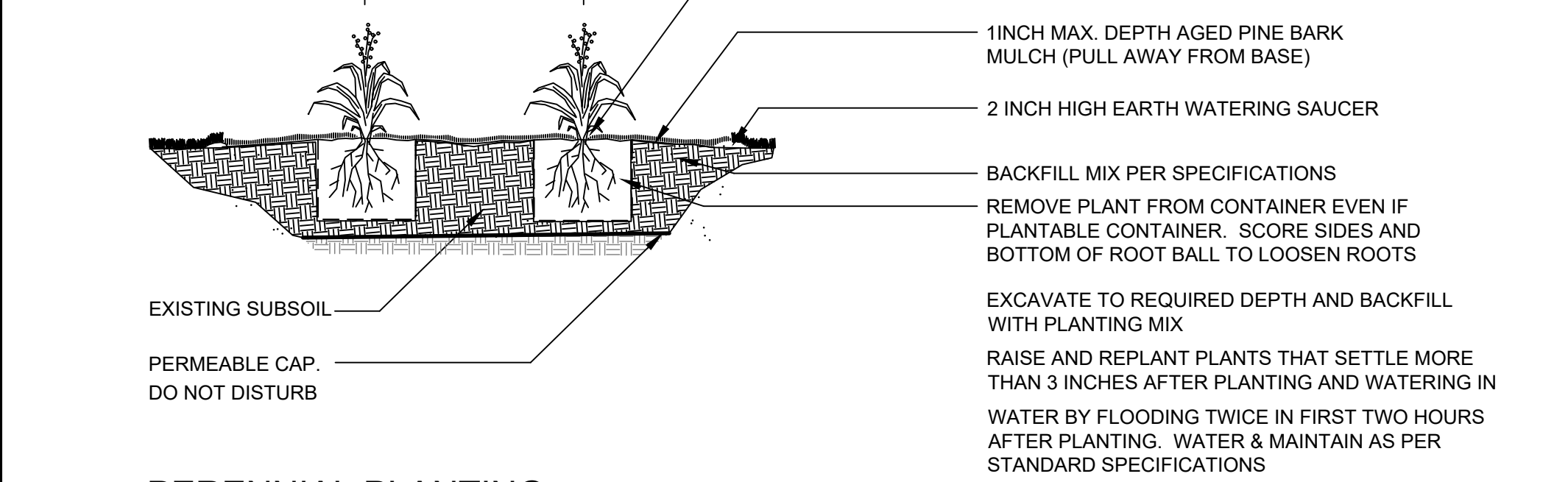
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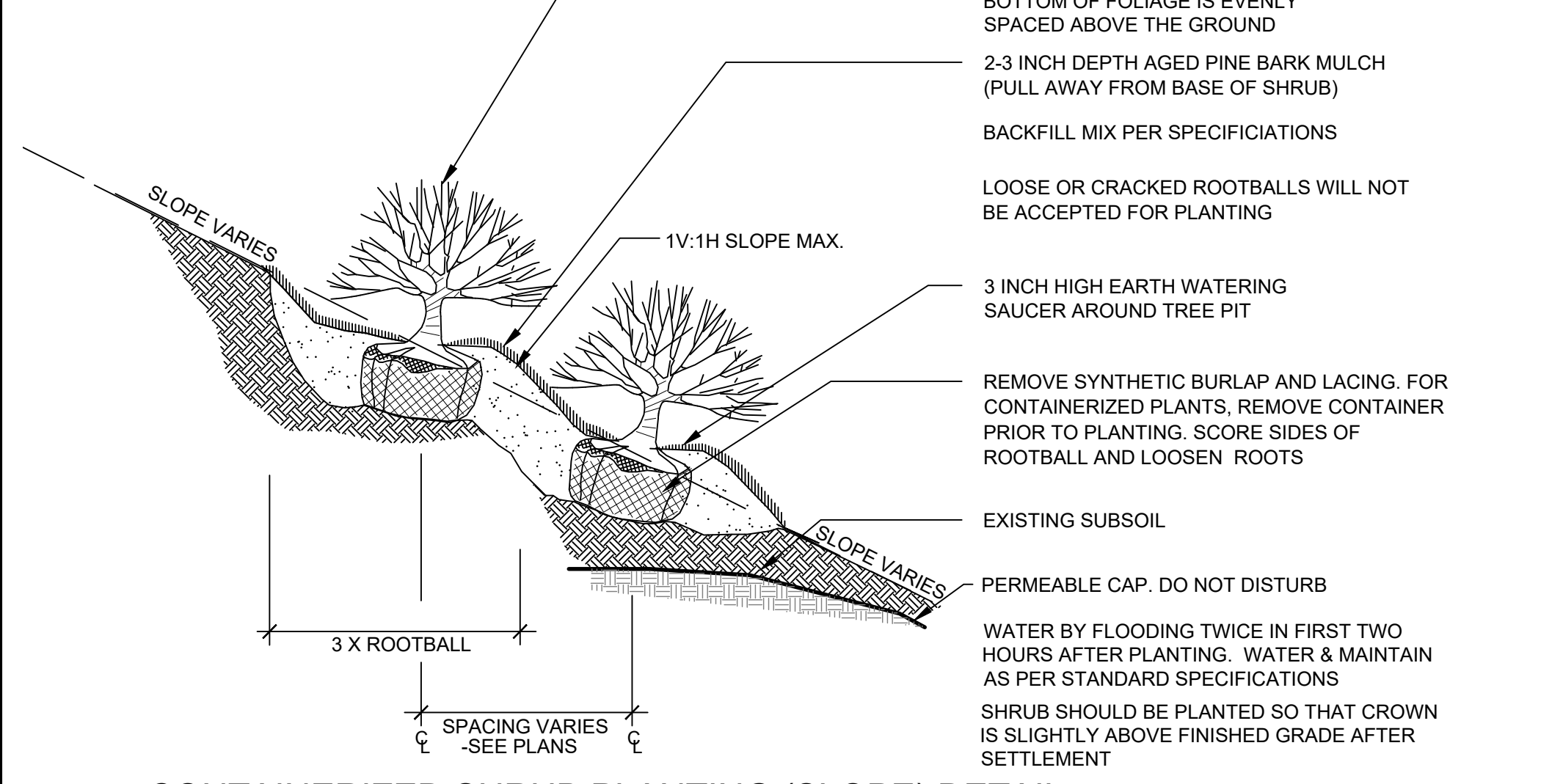
1 DECIDUOUS TREE PLANTING  
NOT TO SCALE



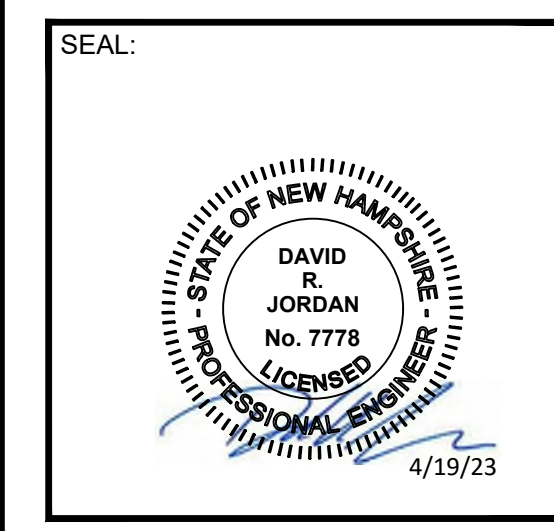
2 SHRUB PLANTING  
NOT TO SCALE



3 PERENNIAL PLANTING  
NOT TO SCALE



4 CONTAINERIZED SHRUB PLANTING (SLOPE) DETAIL  
NOT TO SCALE



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**CANAL STREET RIVERFRONT PARK**

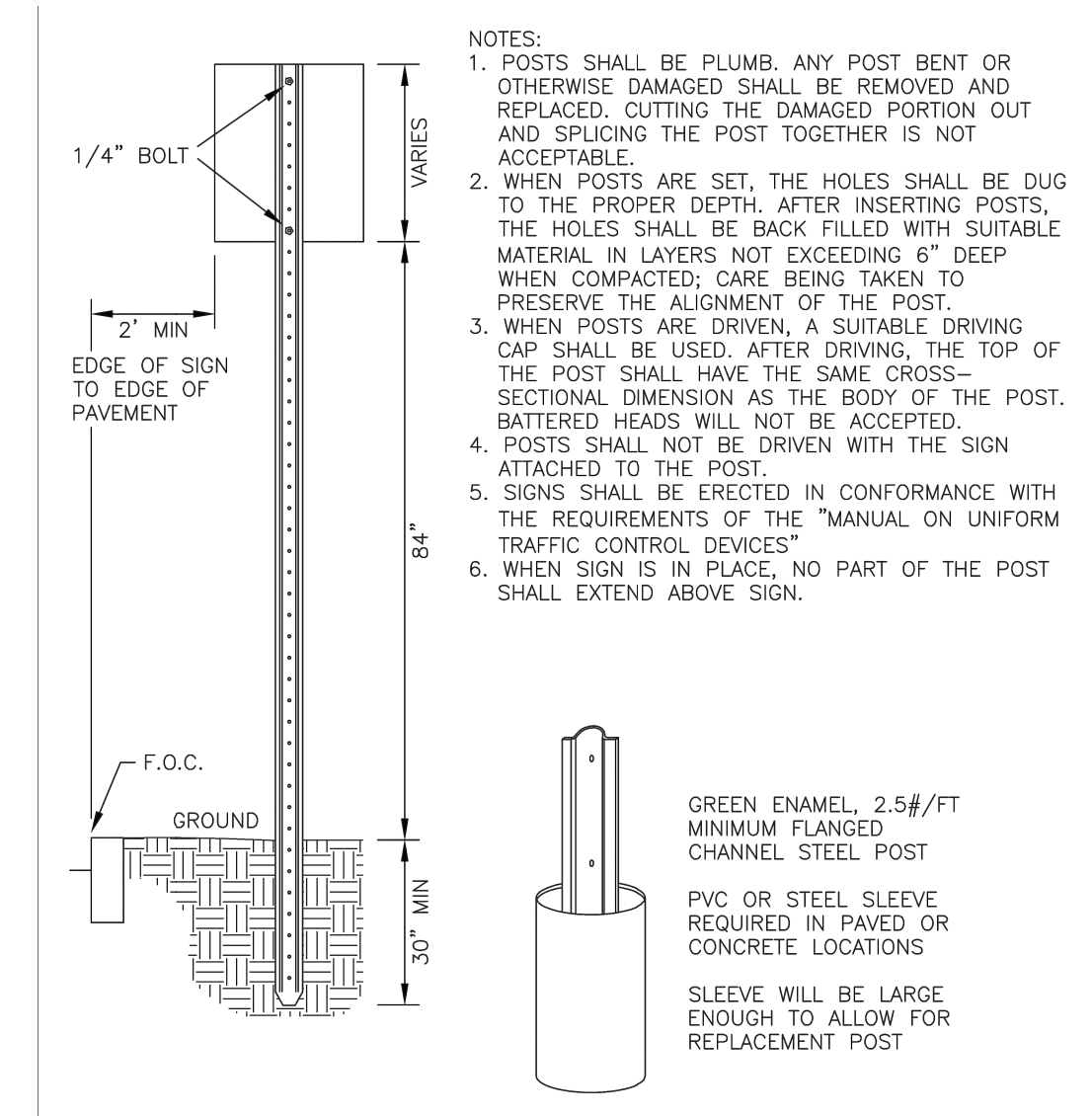
11 CANAL STREET, CONCORD  
 NEW HAMPSHIRE, 03303

REVISIONS		
NO.	REVISION	DATE

NO. REVISION DATE  
 APRIL 19, 2023  
 DRAWN/DESIGN BY: RW CHECKED BY: DRJ

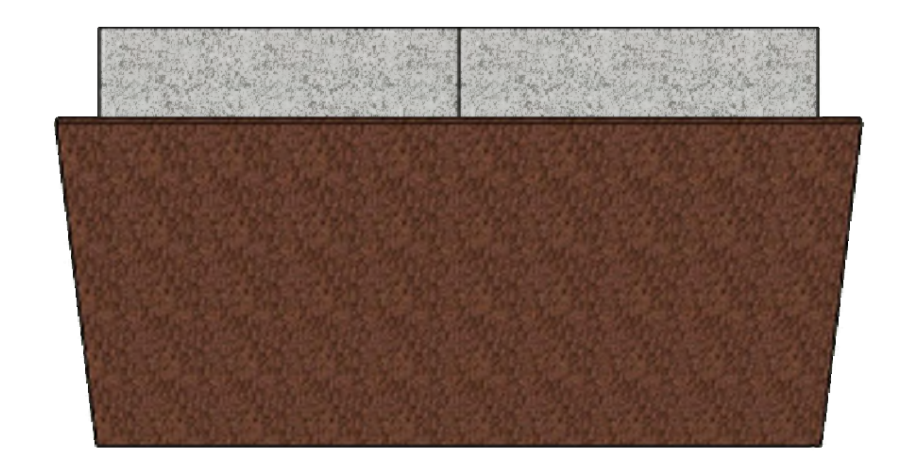
**SITE DETAILS**

SCALE: AS NOTED  
 NEX-2021385.00  
 18 OF 25

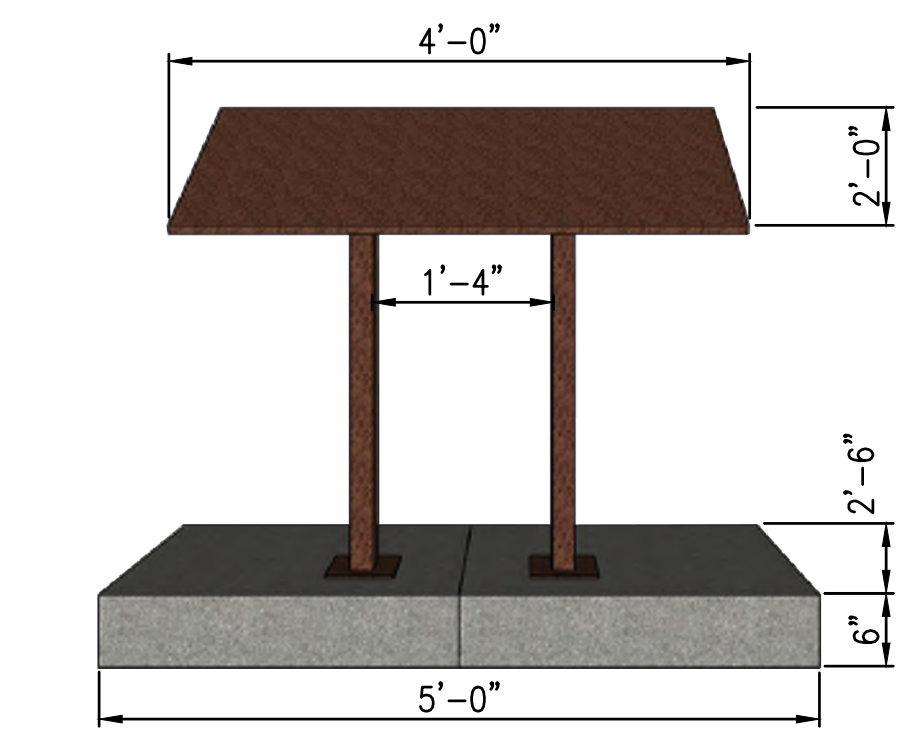


NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION	SITE/STREET
1	DRAFTING	11/11	ROAD SIGN POST and SLEEVE - URBAN	DRAWING NO.	M-1
2	POST #/FT	8/13		DATE:	12/08

1 UPRIGHT SIGN  
 NOT TO SCALE

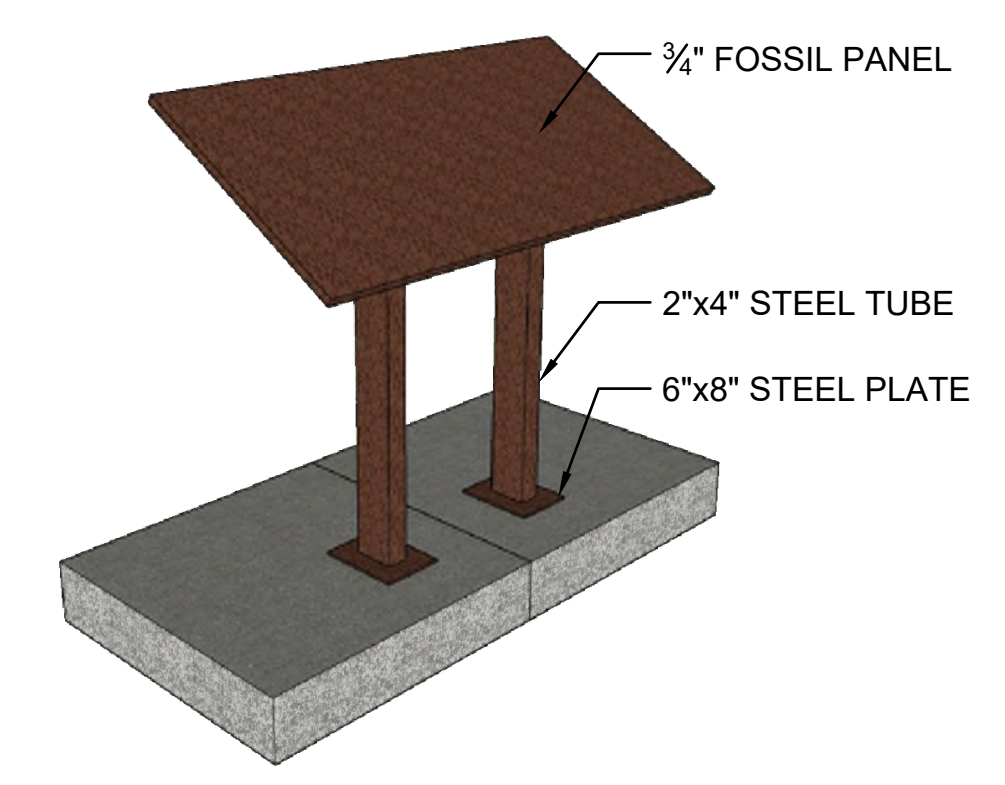


TOP

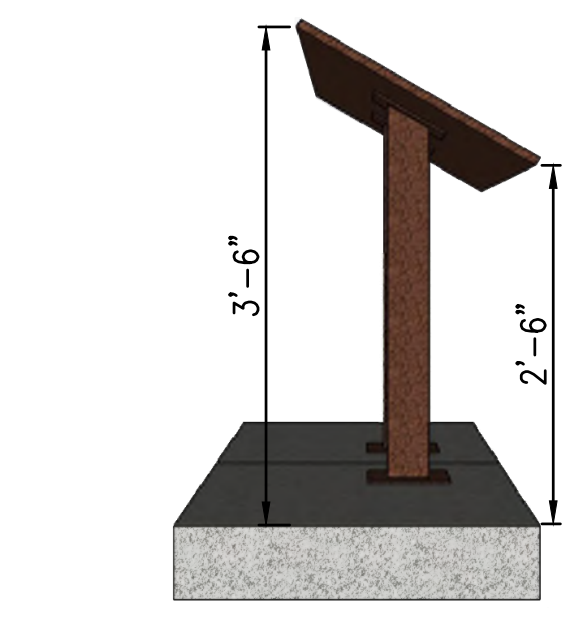


FRONT

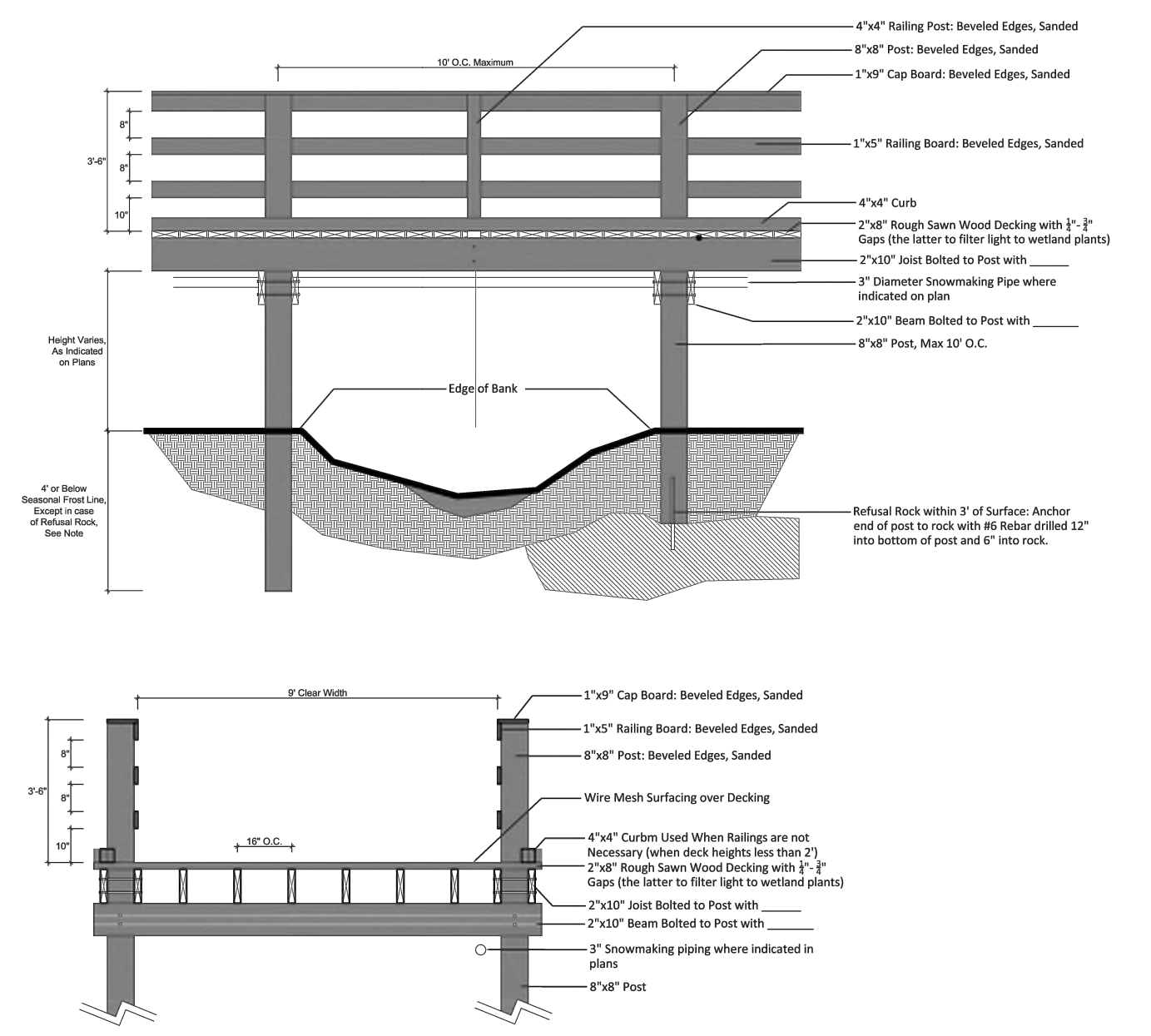
3 INTERPRETIVE SIGN  
 SCALE: 3/4" = 1'-0"



ISOMETRIC

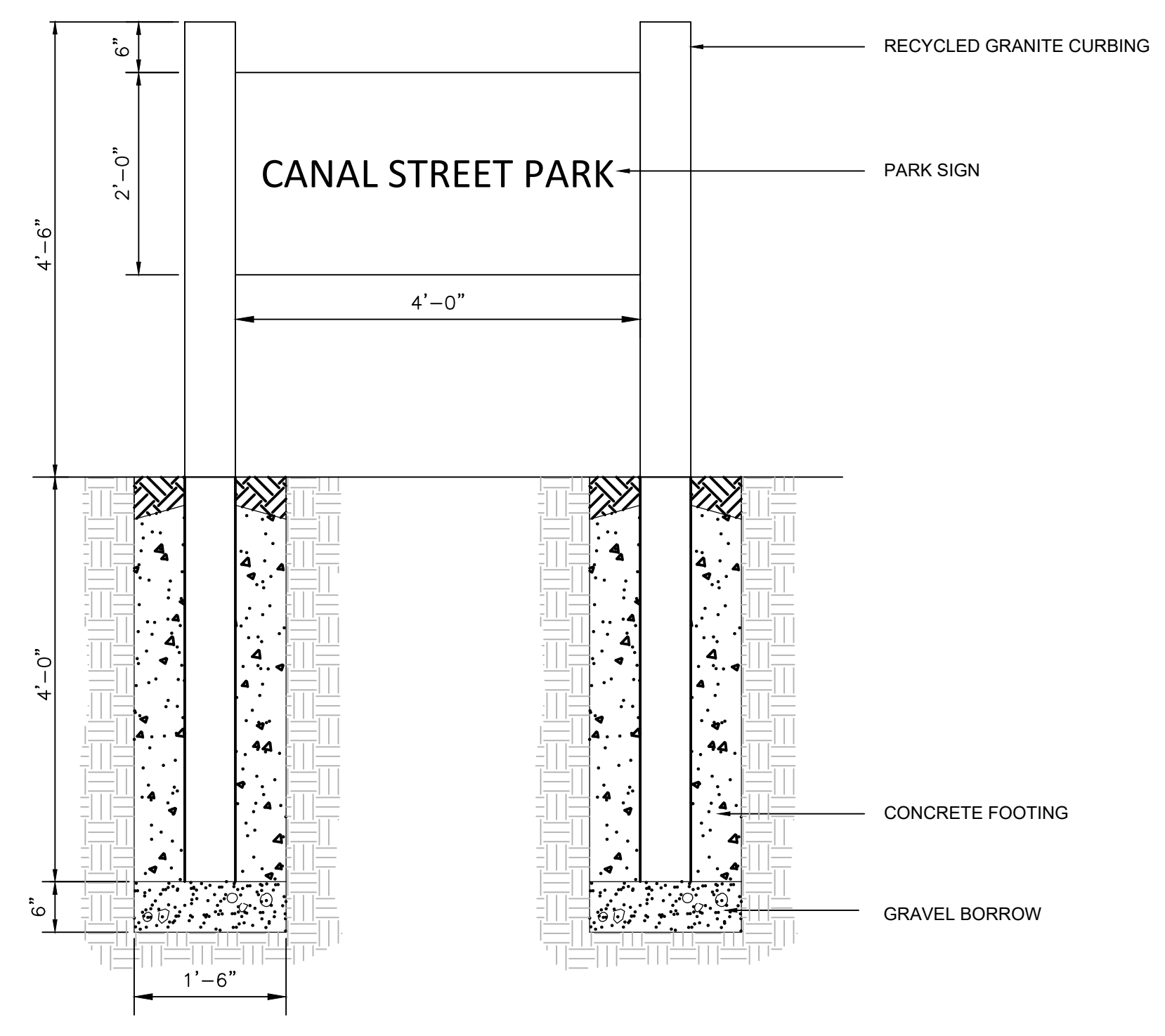


SIDE

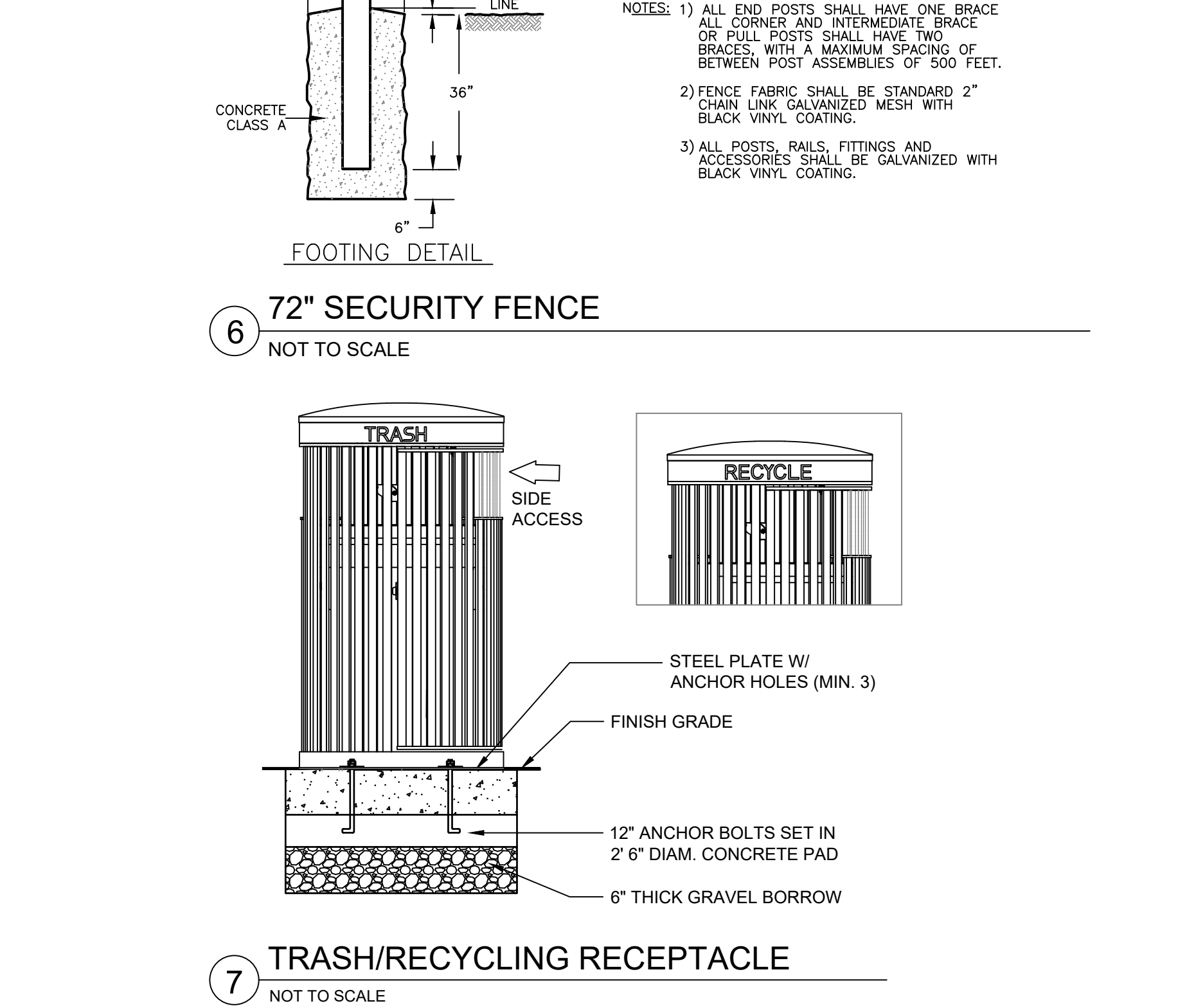
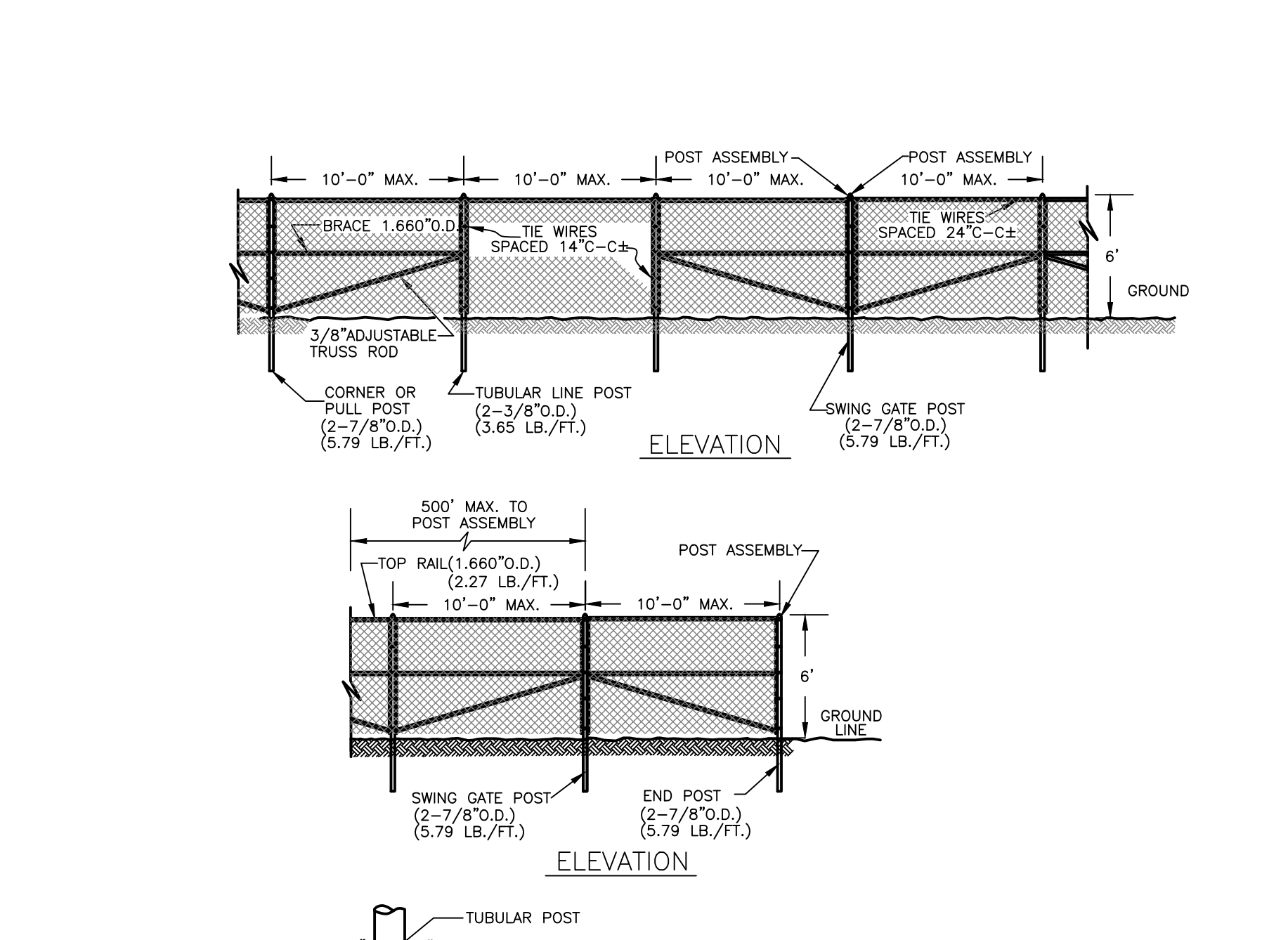
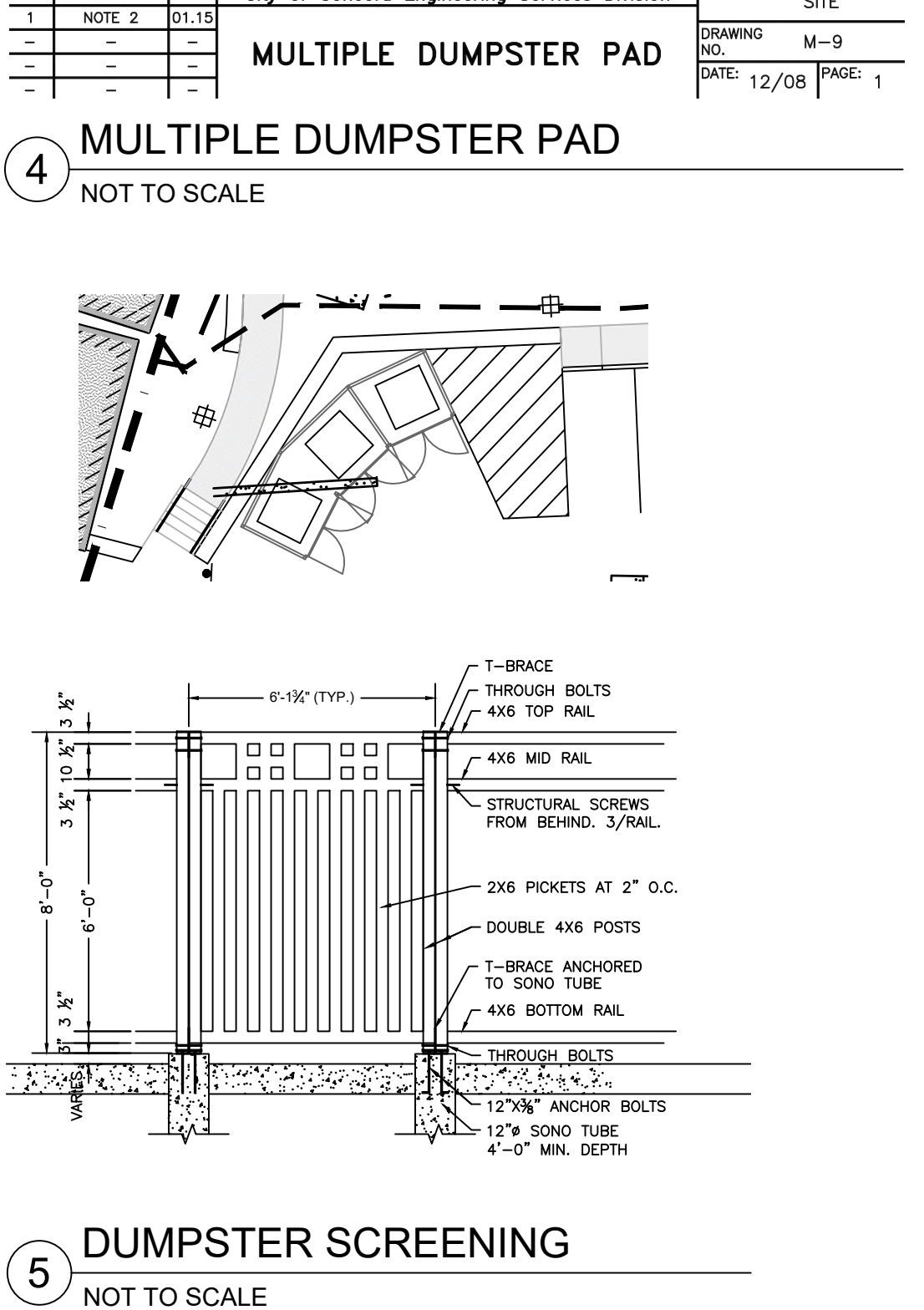
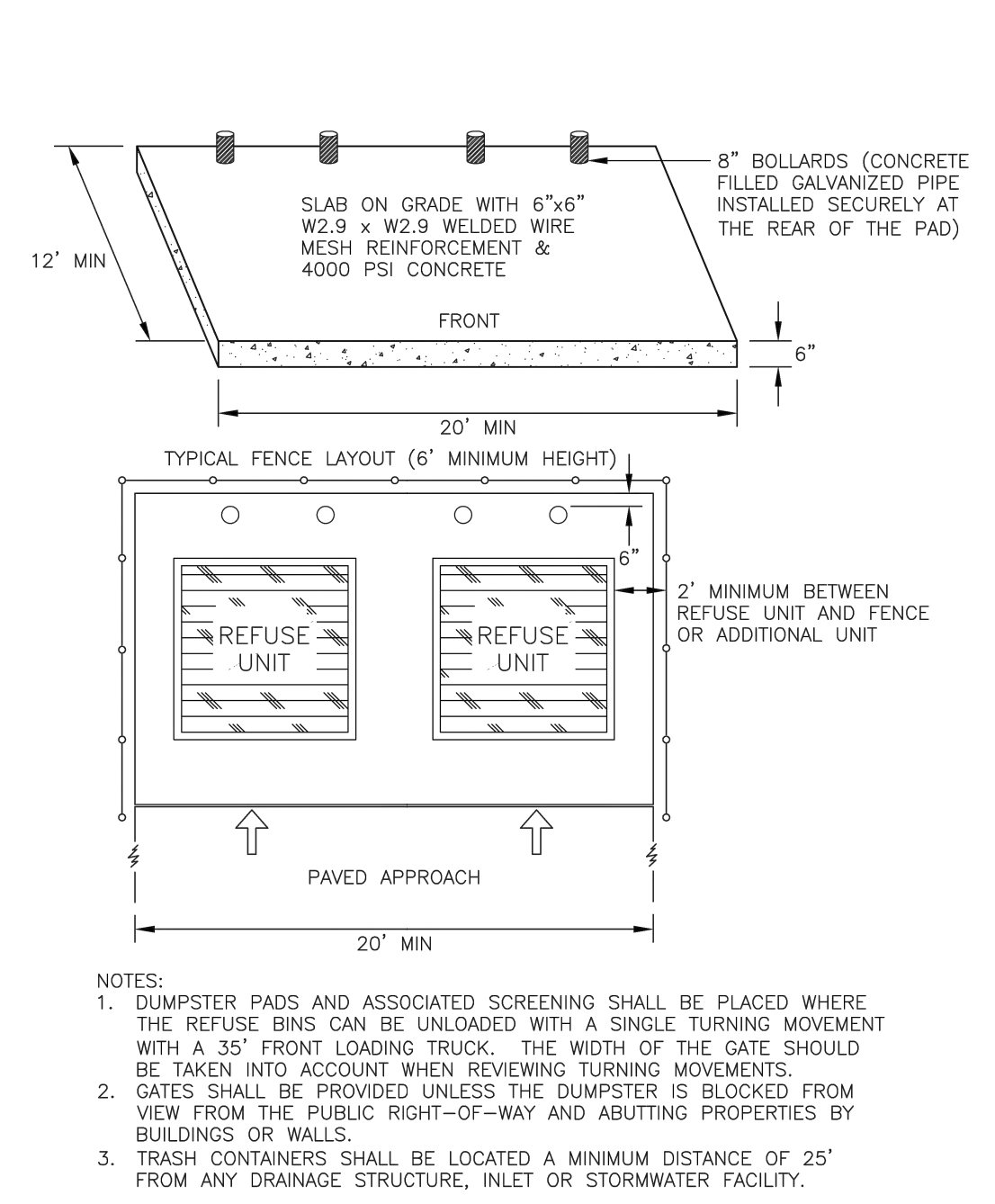
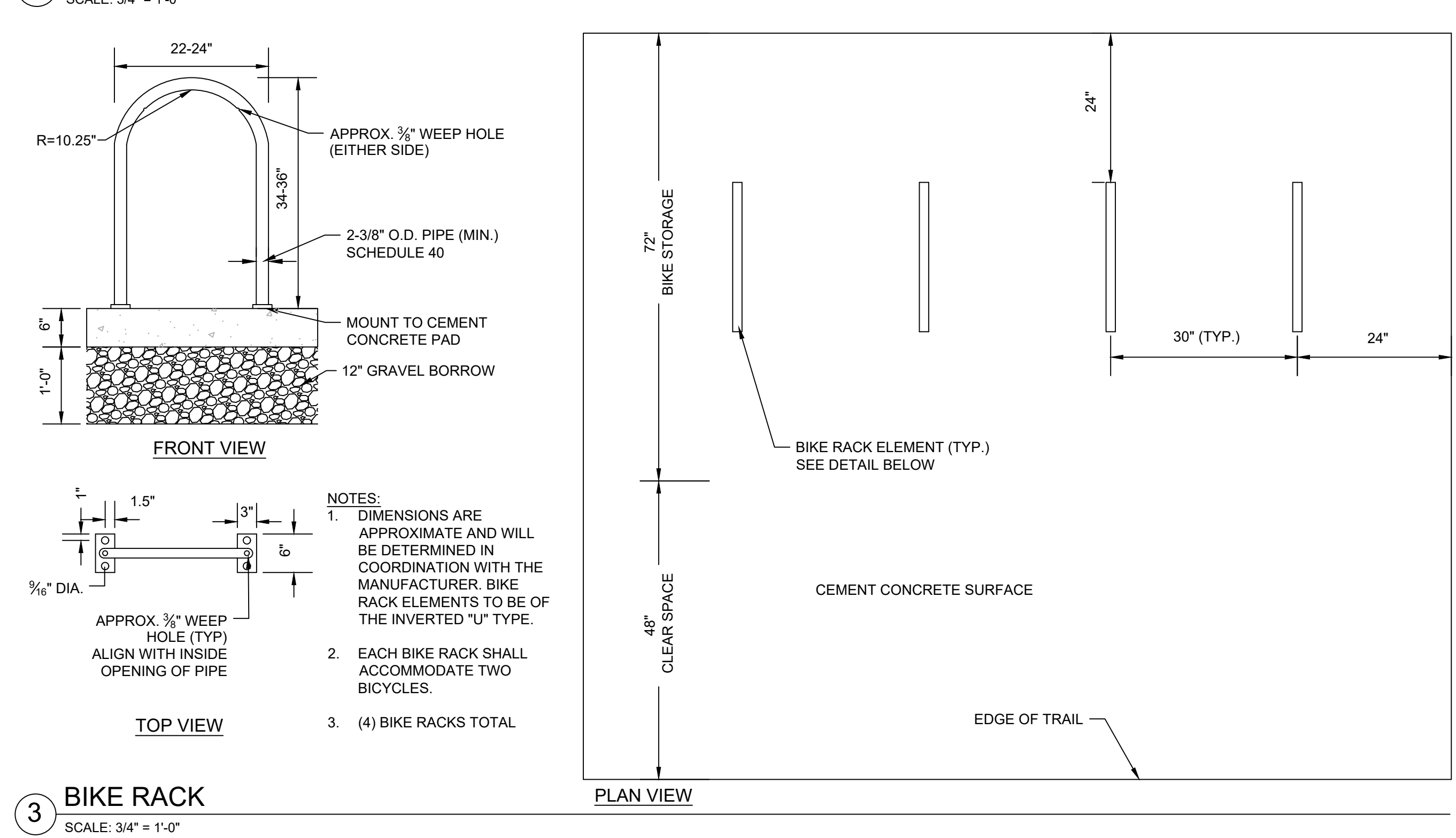
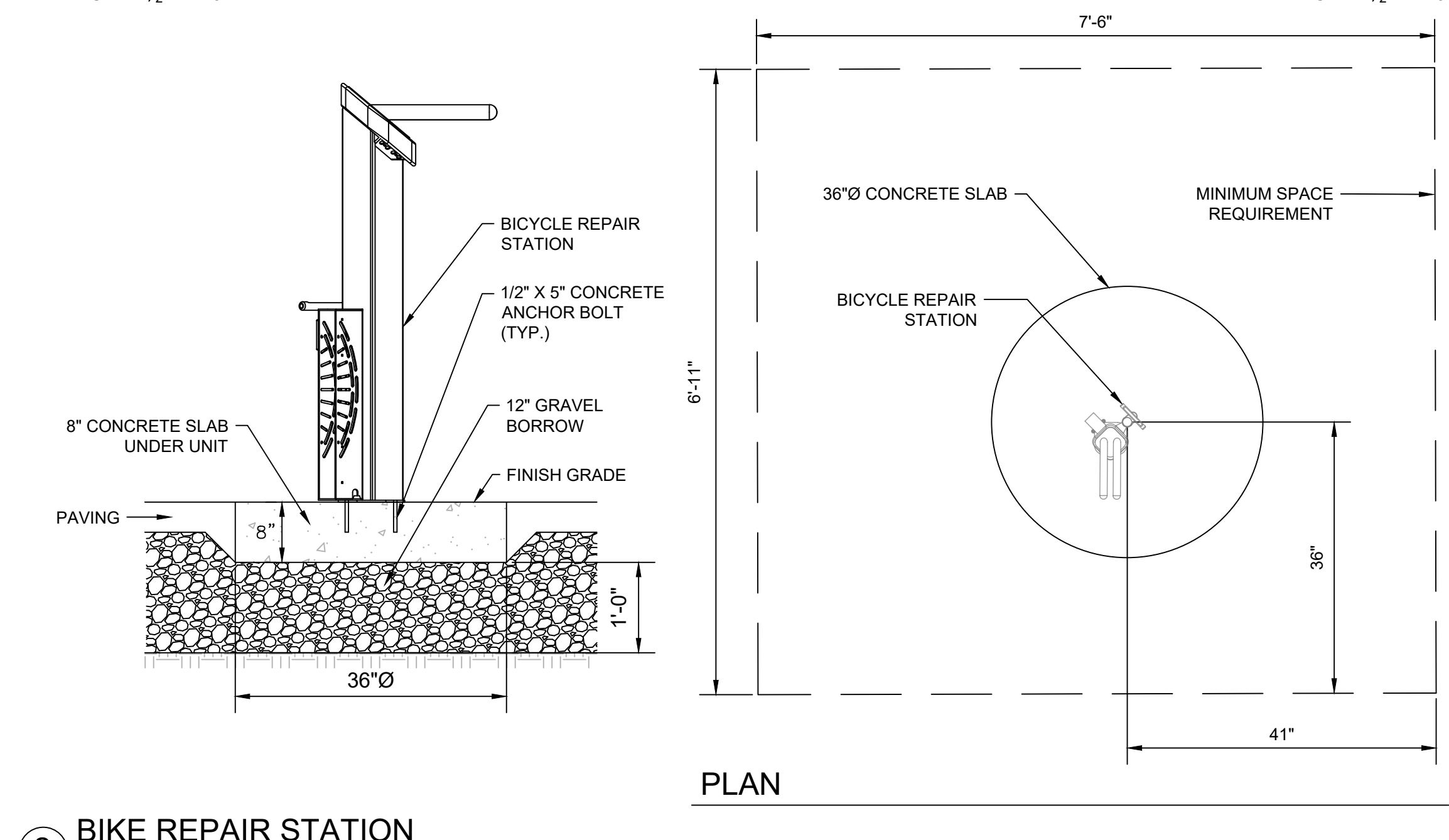
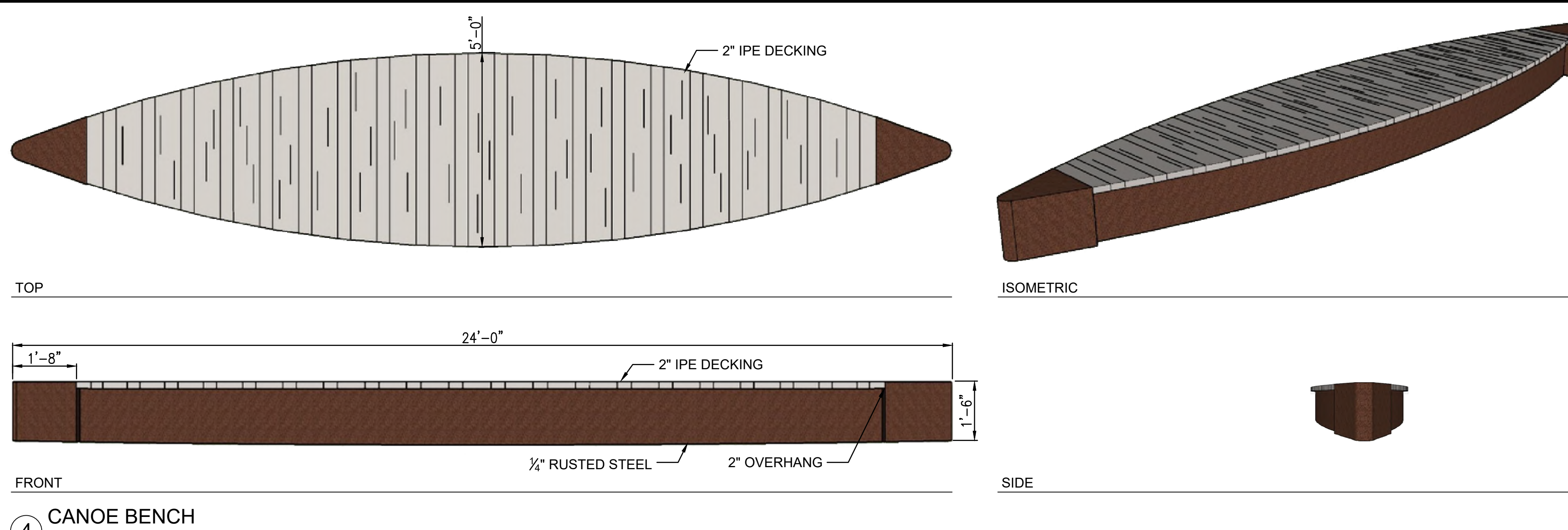
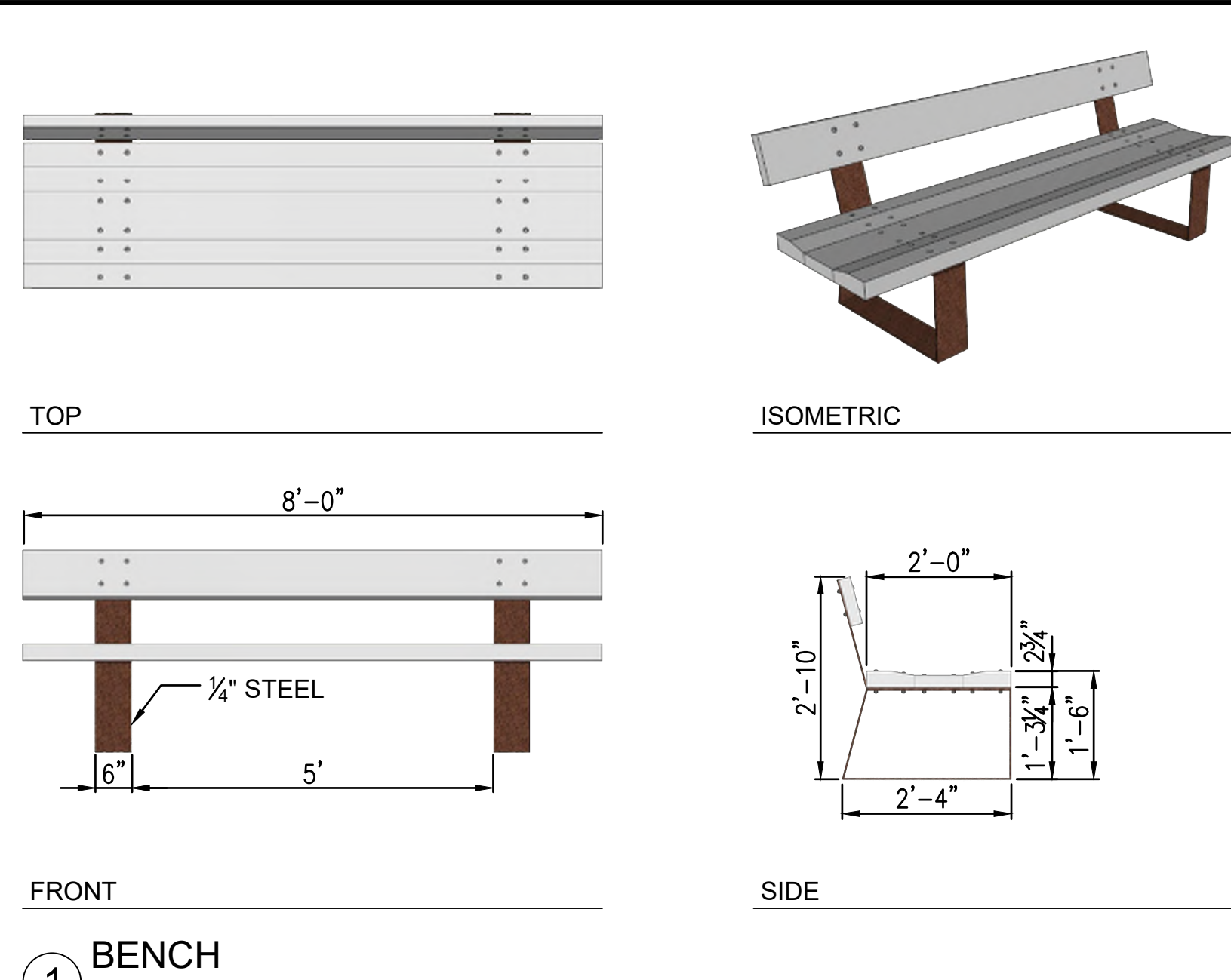


2 BOARDWALK DETAIL  
 SCALE: 1/4" = 1'-0"

- NOTES:  
 1. Replace railing with nominal 4"x4" curb when height is less than 2'.  
 2. All non-metal components to be white cedar, black locust or structural recycled plastic.  
 3. Railing structures should be built to withstand a minimum loading of  
 - concentrated load of 200 lb/ft in any direction  
 - horizontal uniform load of 50 lb/ft applied in any direction on any structure  
 4. Submit shop drawings for approval prior to any fabrication.  
 5. All edges to be rounded, deburred, smooth and free of sharp protrusions.



4 PARK ENTRANCE SIGN  
 SCALE: 3/4" = 1'-0"



**GPI** Engineering Design Planning Construction Management  
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Greenman-Pedersen, Inc. 181 Ballardvale Street, Suite 202 Wilmington, MA 01887

SEAL:  
DAVID R. JORDAN No. 7778  
PROFESSIONAL ENGINEER  
4/19/23

OWNER:  
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41 GREEN ST.  
CONCORD, NH 03301

DESIGN TEAM:  
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Landscape Architecture  
Civil Engineering

PROJECT:  
**CANAL STREET RIVERFRONT PARK**

11 CANAL STREET, CONCORD NEW HAMPSHIRE, 03303

NO.	REVISION	DATE
1	NOTE 2	01.15
2		
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APRIL 19, 2023

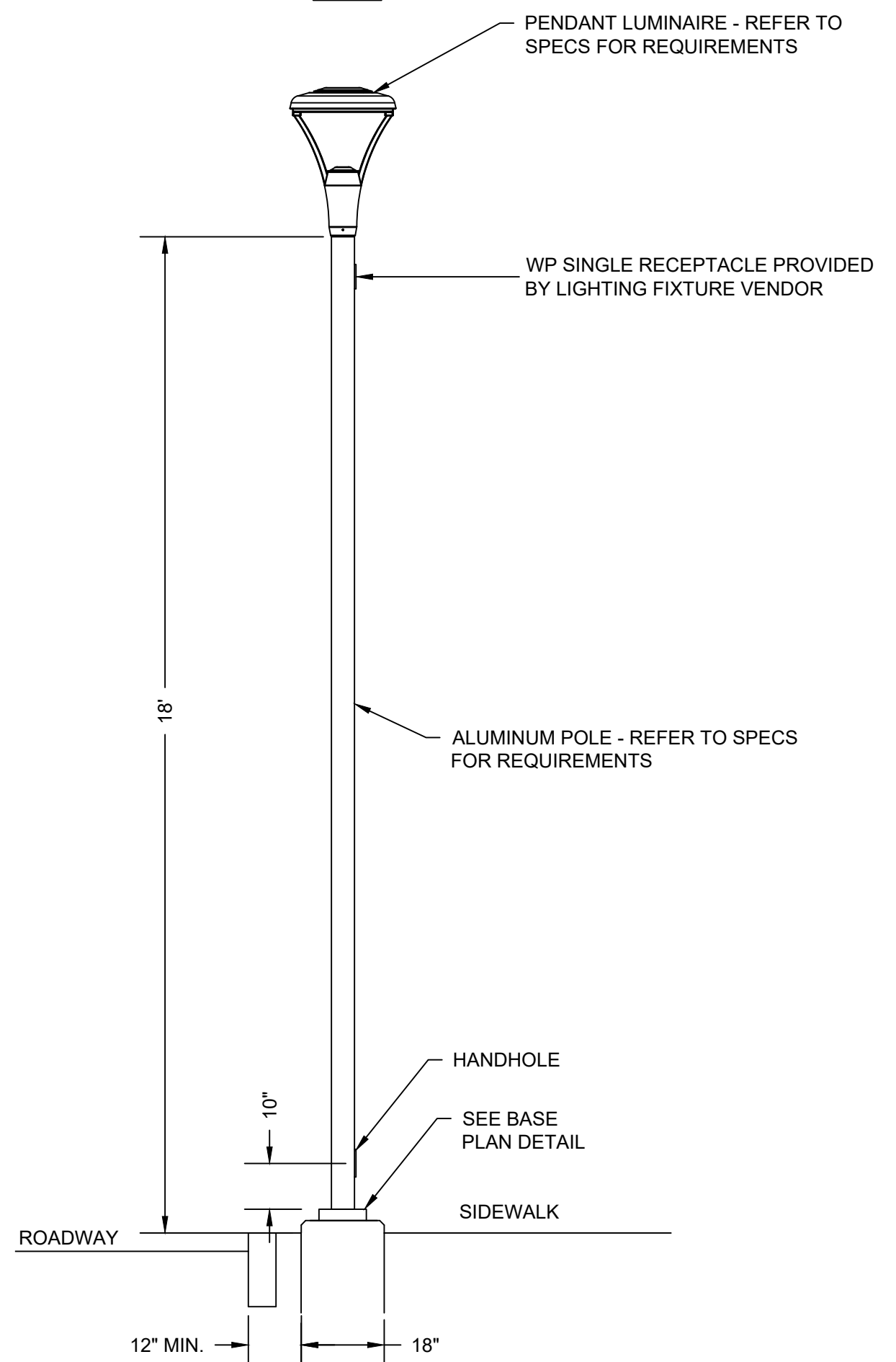
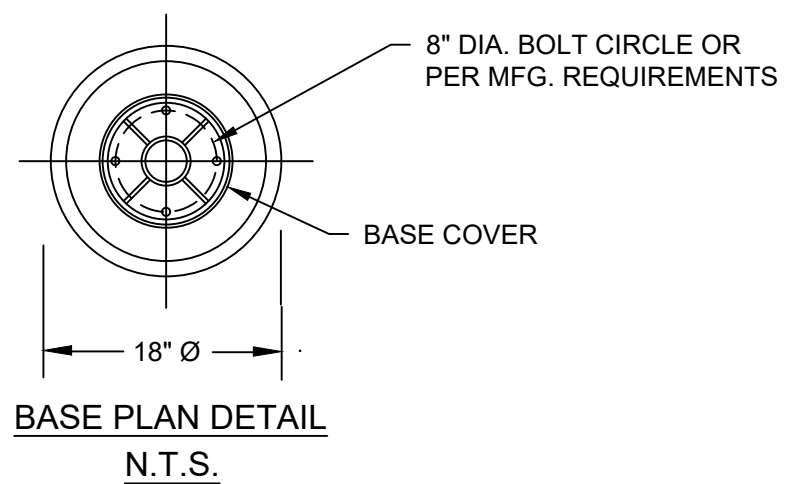
DRAWN/DESIGN BY: RW CHECKED BY: DRJ

**SITE DETAILS**

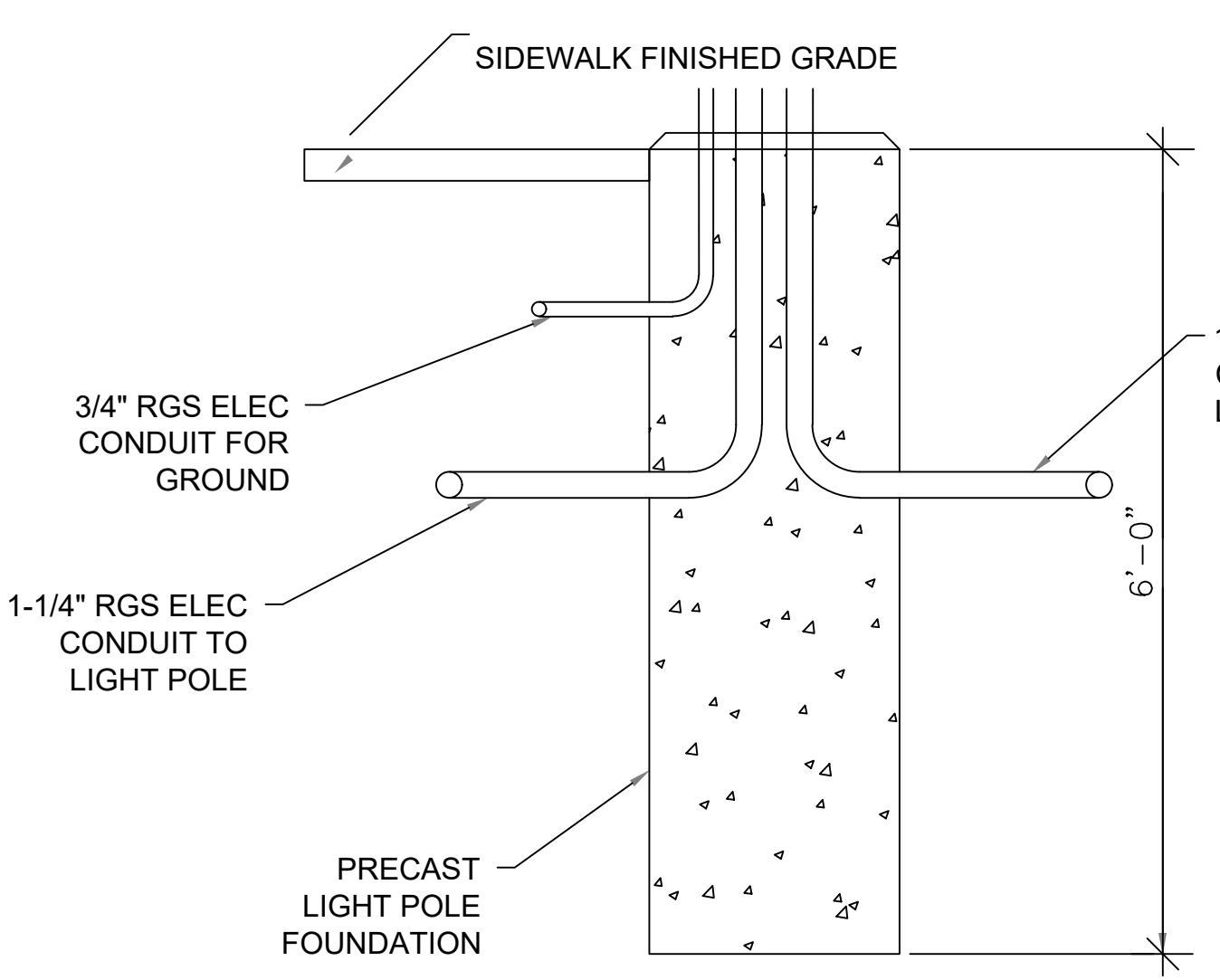
SCALE: AS NOTED  
NEX-2021385.00  
19 OF 25



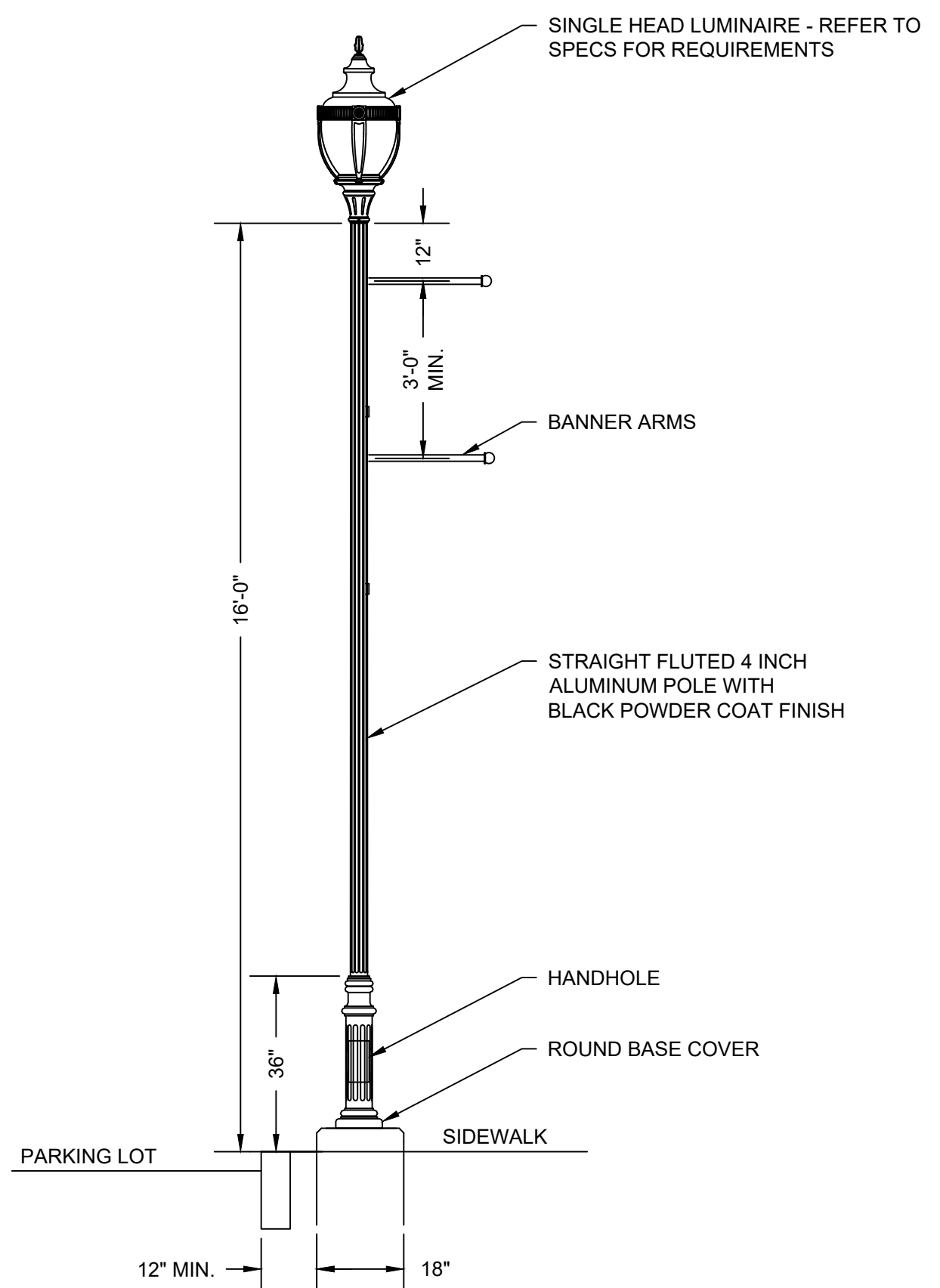
- NEMA, OSHA, UL NFPA-70, AND THE MASS ELECTRICAL CODE WITH REGARDS TO MATERIAL, DESIGN, CONSTRUCTION AND TESTING.
- CONTRACTOR SHALL NOTIFY DIG SAFE PRIOR TO ANY EXCAVATION.
  - CONTRACTOR SHALL INSPECT SITE AND FOLLOW ALL DIG SAFE MARKINGS. CONTRACTOR SHALL NOTIFY ALL UTILITIES PRIOR TO EXCAVATION.
  - CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITIONS.
  - CONTRACTOR TO PERFORM ALL WORK AS SHOWN.



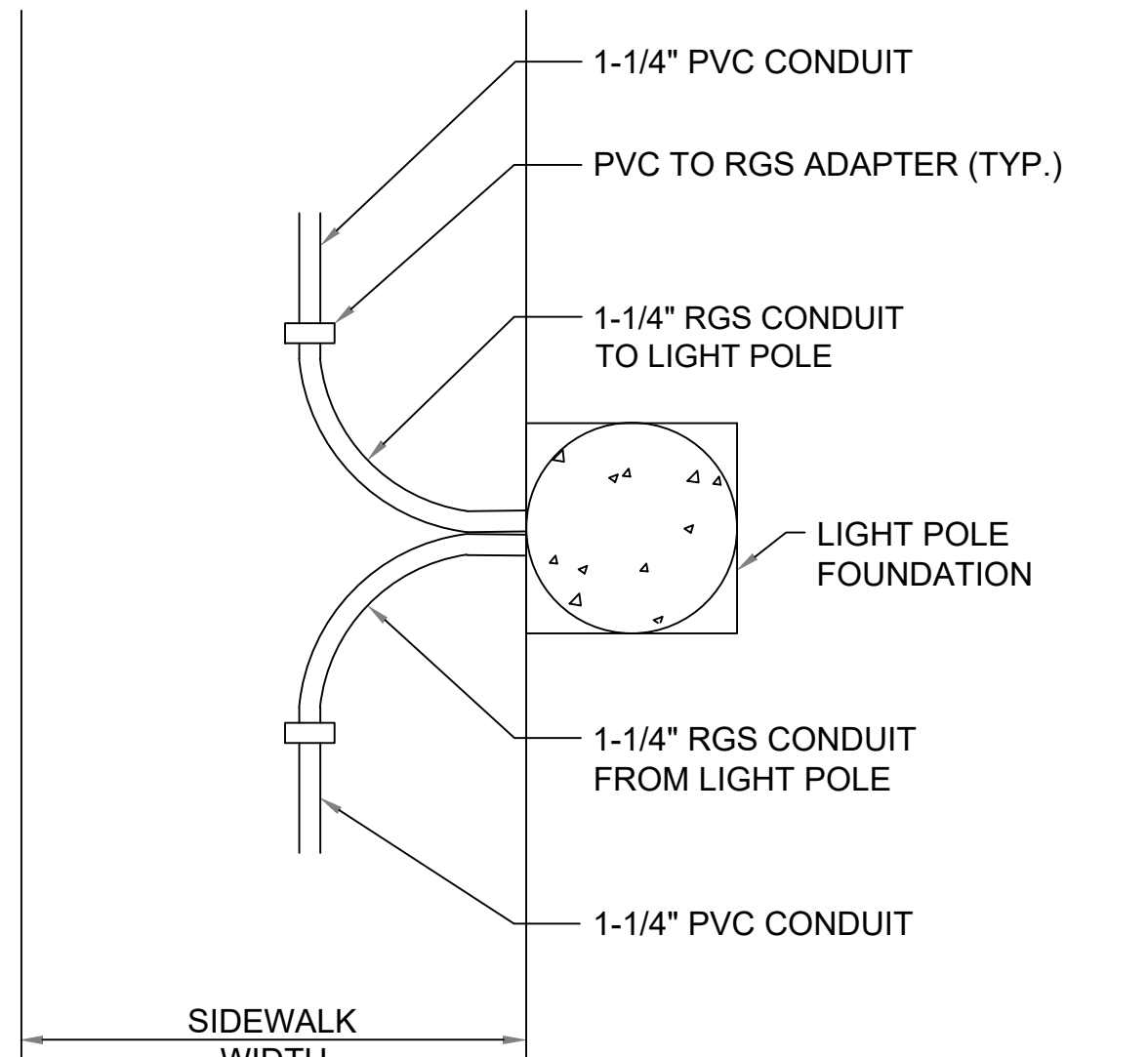
**1 PEDESTRIAN LIGHT POLE AND LUMINAIRE**  
NOT TO SCALE



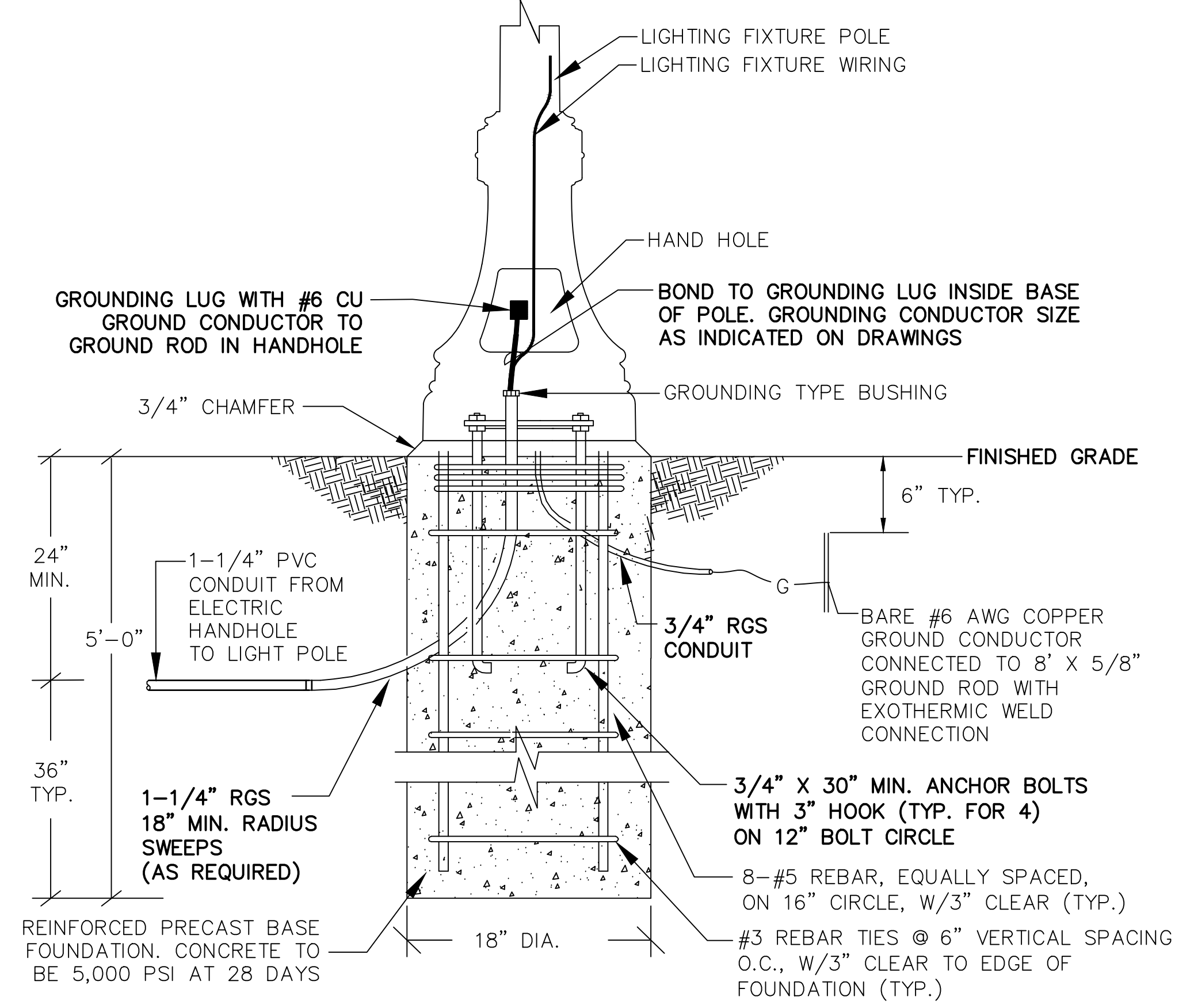
**2 ELEVATION VIEW FOUNDATION**  
SCALE: 3/4" = 1'-0"



**3 VILLAGE LIGHT POLE AND LUMINAIRE**  
NOT TO SCALE

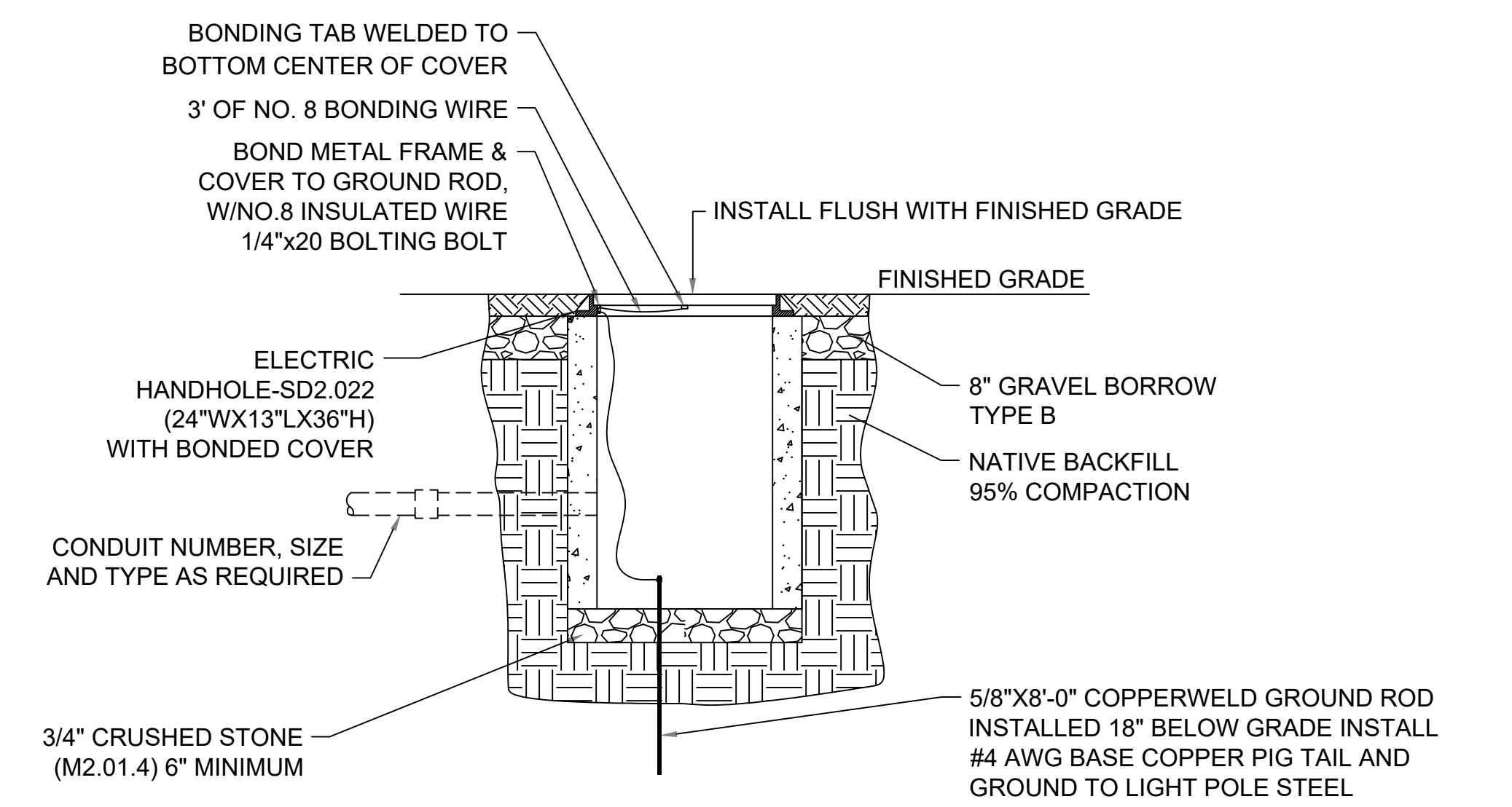


**4 TYPICAL PLAN VIEW FOUNDATION FOR LIGHTING**  
SCALE: 3/4" = 1'-0"



- LIGHT POLE FOUNDATION NOTES:**
- BOLT PATTERN SHOWN IS TYPICAL AND NOT FOR CONSTRUCTION CONTRACTOR TO PROVIDE BOLT PATTERN AND ANCHOR BOLT DETAILS BASED ON EXIST. POLES.
  - POLE HAND HOLE SHALL FACE SIDEWALK.
  - PROVIDE REBAR DETAIL FROM PRECAST CONCRETE VENDOR FOR APPROVAL.
  - CONDUIT LOCATIONS SHOWN ARE TYPICAL.
  - REBAR TO BE ASTM A-615 GRADE 60

**5 LIGHT POLE FOUNDATION DETAIL**  
N.T.S.



- HANDHOLE INSTALLATION NOTES:**
- HANDHOLE ORIENTATION TO BE SUCH THAT ALL SUPPLY DUCTS ENTER ON SAME SHORT SIDE.
  - SIZE AND NUMBER OF CONDUITS AS REQUIRED.
  - CONDUIT LOCATIONS SHOWN ARE TYPICAL.

**6 ELECTRIC HANDHOLE INSTALLATION DETAIL**  
SCALE: 3/4" = 1'-0"

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Wilmington, MA 01887

SEAL:

OWNER:  
**CITY OF CONCORD**  
41 GREEN ST.  
CONCORD, NH 03301

DESIGN TEAM:  
**Greenman-Pedersen, Inc.**  
Landscape Architecture  
Civil Engineering

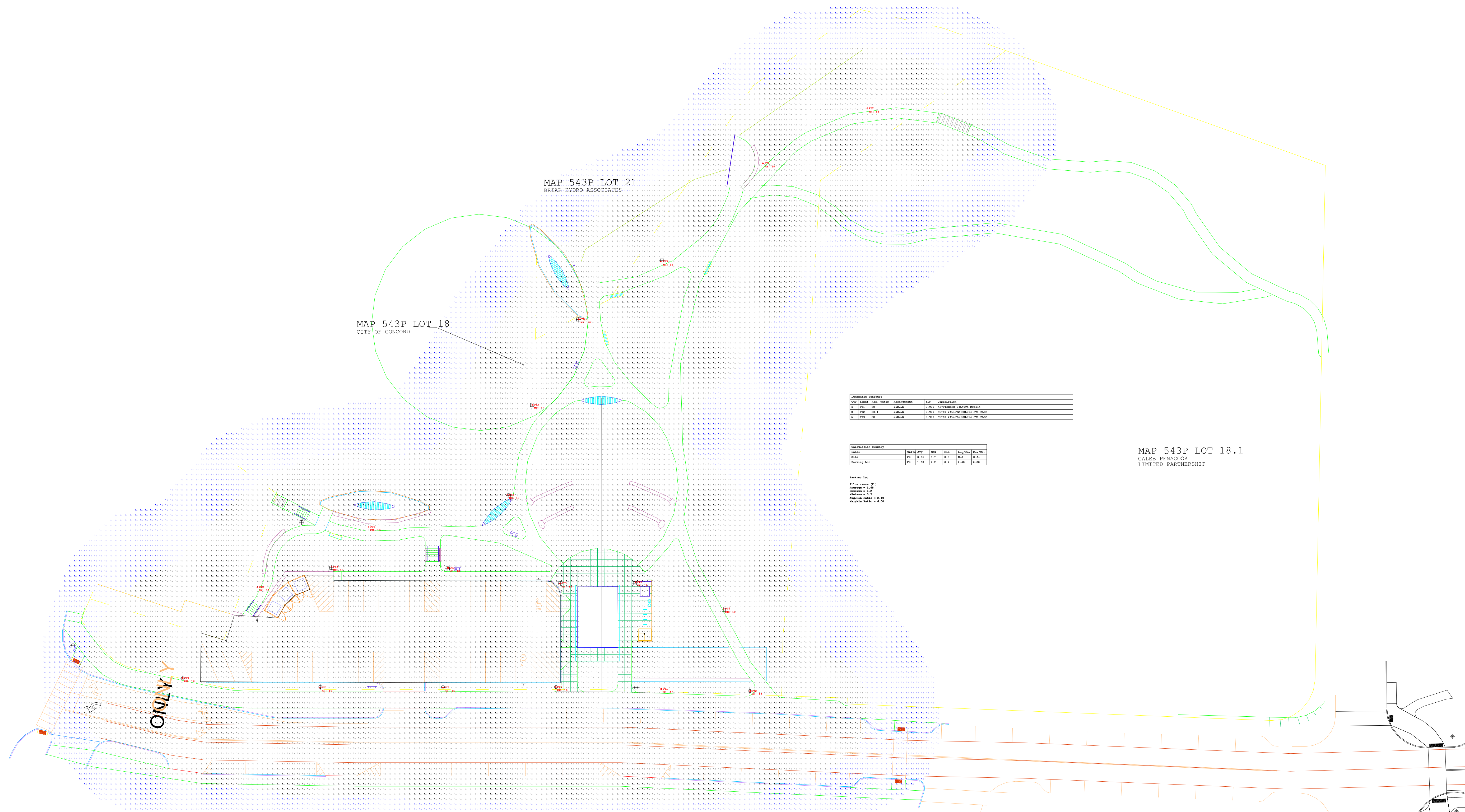
PROJECT:  
**CANAL STREET RIVERFRONT PARK**  
  
11 CANAL STREET, CONCORD NEW HAMPSHIRE, 03303

REVISIONS		
NO.	REVISION	DATE

APRIL 19, 2023  
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**ELECTRIC DETAILS**

SCALE: AS NOTED  
NEX-2021385.00



Station	Subcenter	Dist	Start	Width	Alignment	SP	Description
1	SP	0.00	0.00	10.00	0.00	0.00	ADJUSTMENT - 0.0000 - 0.0000
2	SP	10.00	10.00	10.00	0.00	0.00	ADJUSTMENT - 0.0000 - 0.0000
3	SP	20.00	20.00	10.00	0.00	0.00	ADJUSTMENT - 0.0000 - 0.0000

Station	Dist	Width	Max	Min	Avg/Min	Max/Min
1	0.00	10.00	10.00	0.00	0.00	0.00
2	10.00	10.00	10.00	0.00	0.00	0.00
3	20.00	10.00	10.00	0.00	0.00	0.00

Parking Lot  
 10000000 000  
 10000000 000  
 10000000 000  
 10000000 000

MAP 543P LOT 18.1  
 CALIB PEMA/COOK  
 LIMITED PARTNERSHIP

Project: Canal Street - Riverfront - Site	
Contact: Paul Abdella Specification Sales (781) 272-2300 X208 pabdella@omnilite.com	Detail: Photometric Calculation Date: 04/11/2023 Revision: 1 Scale: 1" = 30'-0" Drawn By: SHJ
263 Winn Street Burlington, MA 01803 (781) 935-8500 333 Pleasant Valley Road South Windsor, CT 06074 (860) 282-0597	Drawing Number:  <h1 style="font-size: 2em;">L-1</h1> Sheet 1 of 1