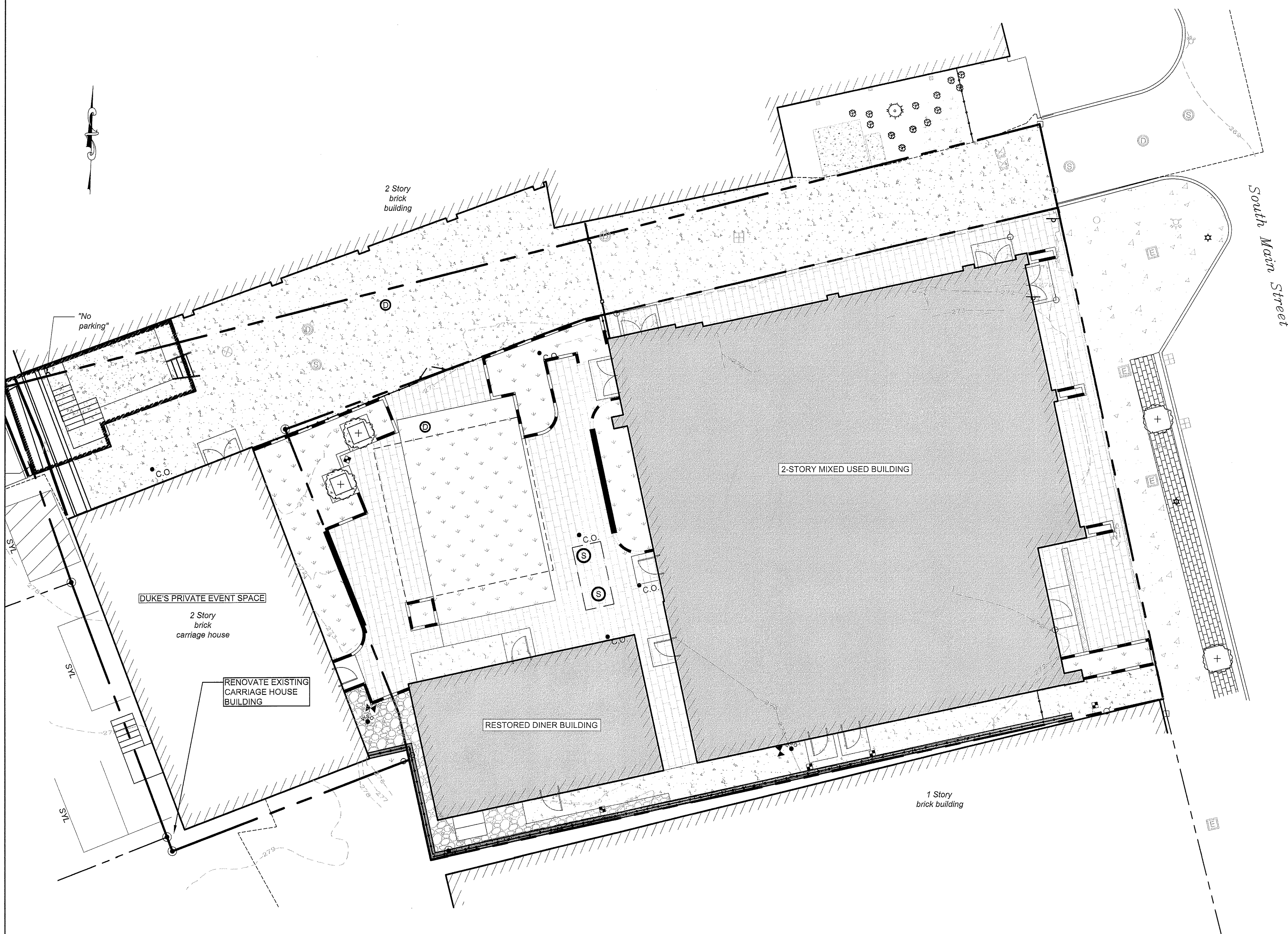


ARTS ALLEY LLC
22 SOUTH MAIN STREET



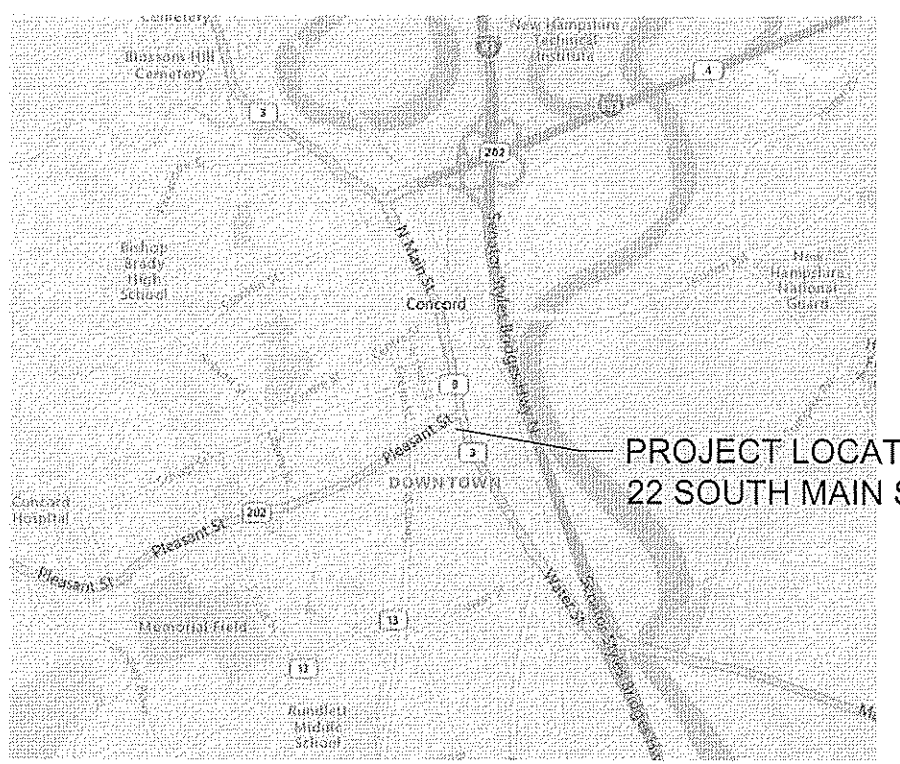
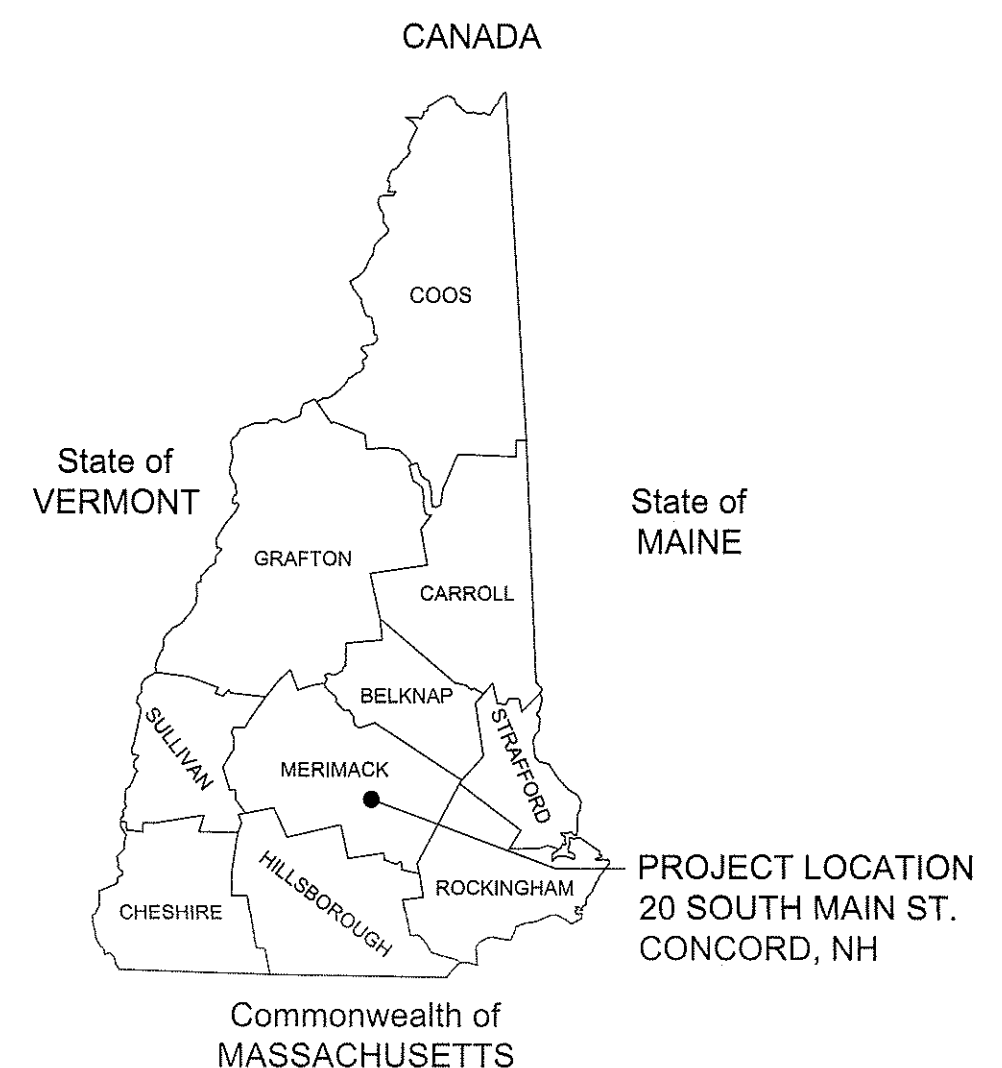
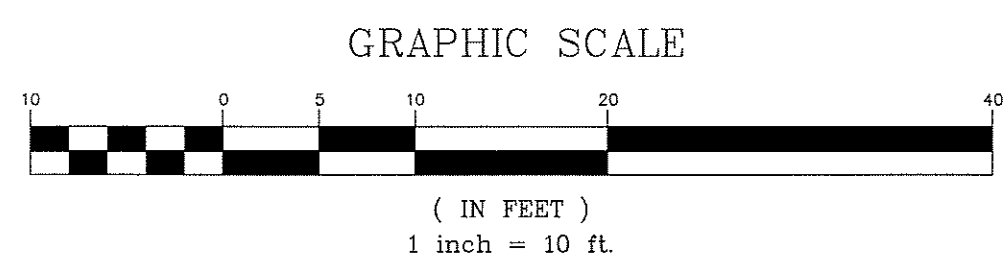
SHEET INDEX				
SHEET	NUMBER	TITLE	DATE ISSUED	LATEST REVISION
1	C0.1	COVER SHEET	07/20/2022	02/09/2024
2	C0.2	NOTES & LEGEND	07/20/2022	02/09/2024
3	S1.1	EXISTING CONDITIONS PLAN	05/11/2022	11/09/2023
4	C1.1	DEMOLITION PLAN	07/20/2022	02/09/2024
5	C1.2	SITE PLAN	07/20/2022	02/09/2024
6	C1.3	GRADING & DRAINAGE PLAN	07/20/2022	02/09/2024
7	C1.4	UTILITY PLAN	07/20/2022	02/09/2024
8	C2.1	UTILITY PROFILES	04/19/2023	02/09/2024
9	C2.2	UTILITY PROFILES	12/19/2023	02/09/2024
10	C5.1	CONSTRUCTION DETAILS	07/20/2022	02/09/2024
11	C5.2	CONSTRUCTION DETAILS	07/20/2022	02/09/2024
12	C5.3	CONSTRUCTION DETAILS	07/20/2022	02/09/2024
13	C5.4	CONSTRUCTION DETAILS	11/28/2022	02/09/2024
14	C5.5	EROSION CONTROL DETAILS	07/20/2022	02/09/2024
15	L0.1	LANDSCAPING PLAN	06/30/2022	02/09/2024
16	L0.2	LANDSCAPING FLATWORK PLAN	-/-/-/-/-	02/09/2024
17	L0.3	LANDSCAPING DETAILS	11/21/2022	02/09/2024
18	L0.4	LANDSCAPING DETAILS	-/-/-/-/-	02/09/2024
19	L0.5	LIGHTING PLAN	01/17/2024	-/-/-/-/-

PROJECT DESCRIPTION:

THE PURPOSE OF THESE DRAWINGS IS TO SHOW A PROPOSED REDEVELOPMENT OF 22 SOUTH MAIN STREET (MAP 7412Z LOT 37) TO CONSTRUCT A TWO-STORY COMMERCIAL BUILDING, DINER, AND OUTDOOR PATIO/GATHERING SPACE. WORK INCLUDES ASSOCIATED DRAINAGE, UTILITY, AND STORMWATER TREATMENT SYSTEMS. THE PLAN ALSO SHOWS THE ADJACENT REDEVELOPMENT FOR 20 SOUTH MAIN STREET (MAP 7412Z LOT 38) FOR DUKE'S PRIVATE EVENT SPACE WHICH IS PERMITTED THROUGH AN ARCHITECTURAL DESIGN REVIEW (ADR) APPLICATION. RESURFACING OF THE ALLEY AND LIGHTING IS INCLUDED IN THE ADR APPLICATION.

ABUTTERS LIST

01 MAP 7411 Z LOT 14: KJD REAL ESTATE LLC; 185 SANDOWN ROAD, DANVILLE, NH 03819
02 MAP 7412 Z LOT 17: CAPITAL COMMONS LLC; P.O. BOX 1257, PORTSMOUTH, 03802
03 MAP 7412 Z LOT 14: CITY OF CONCORD; 41 GREEN STREET, CONCORD, NH 03301
04 MAP 7412 Z LOT 18-1 UNIT-1: 31 SOUTH MAIN ACQUISITION LLC; 300 GAY STREET, MANCHESTER, NH 03103
05 MAP 7412 Z LOT 18-1 UNIT-3: 31 SOUTH MAIN ACQUISITION LLC; 300 GAY STREET, MANCHESTER, NH 03103
06 MAP 7412 Z LOT 18-1 UNIT-2: HC VERITAS LLC; 80 SCHOOL STREET, CONCORD, NH 03301
07 MAP 7412 Z LOT 18-1 UNIT-4: MICHAEL B. HERRMANN; 15 VIA TRANQUILLA STREET, CONCORD, NH 03301
08 MAP 7412 Z LOT 18-1 UNIT-5: 31 SOUTH MAIN ACQUISITION LLC; 300 GAY STREET, MANCHESTER, NH 03103
09 MAP 7412 Z LOT 18-1 UNIT-6: LAURIE SANBORN J. REVOC. TRUST; 71 EAGLE DRIVE, BEDFORD, NH 03110
10 MAP 7412 Z LOT 18-1 UNIT-7: HILLS AVENUE BLUES ASSOCIATES; 8 SAVAGE COURT, PEMBROKE, NH 03275
11 MAP 7412 Z LOT 38: CONCORD FOOD COOPERATIVE INC.; 24 SOUTH MAIN STREET, CONCORD, NH 03301
12 MAP 7412 Z LOT 38-A: CONCORD FOOD COOPERATIVE INC.; 24 SOUTH MAIN STREET, CONCORD, NH 03301
13 MAP 7412 Z LOT 38: 20 SOUTH MAIN STREET LLC; P.O. BOX 1438, CONCORD, NH 03302
14 MAP 7412 Z LOT 38: CGA NORTH CORP.; 44 SOUTH MAIN STREET, CONCORD, NH 03301



LOCATION MAP

PLOT PLAN

Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 HOME AVENUE
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

ARCHITECT

PROCON, INC.
1359 HOOKSETT ROAD
HOOKSETT, NH 03106

LAND SURVEYOR

RICHARD D. BARTLETT & ASSOCIATES, LLC
214 NORTH MAIN STREET
CONCORD, NH 03301

LANDSCAPE ARCHITECT

TERRAIN PLANNING & DESIGN, LLC
311 KAST HILL ROAD
HOPKINTON, NH 03229

- REVISION HISTORY
1. REVISED PER BUILDING UPDATE 11/18/2022 (GAG)
 2. REVISED PER CITY COMMENTS 11/28/2022 (JMM)
 3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (COM)
 4. AMENDED SITE PLANS 04/19/2023 (RSR)
 5. REVISED PER BUILDING UPDATES 12/19/2023 (JMJ)
 6. REVISED PER CITY COMMENTS 01/17/2024 (JMJ)
 7. REVISED TO ADD NEW TRANSFORMER 01/30/2024 (ERL)
 8. REVISED FOR GMP PLAN SET 02/09/2024 (JMJ)
 9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

ISSUED FOR

CONSTRUCTION

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY. OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

OWNER

20 SOUTH MAIN STREET LLC
P.O. BOX 1438
CONCORD, NH 03302

ARTS ALLEY LLC
P.O. BOX 1438
CONCORD, NH 03302

SITE

ARTS ALLEY

20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38

22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37

DRAWING TITLE

COVER SHEET

SCALE	N.T.S.	DATE	07/20/2022
DRAFTED BY	RSR	CHECKED BY	CAT
PROJECT MGR	ERL	PROJECT NO.	ARTS0001
SHEET NO.		C0.1	
ENGINEER: ERIN R. LAMBERT NH P.E. #11057		01 OF 19	

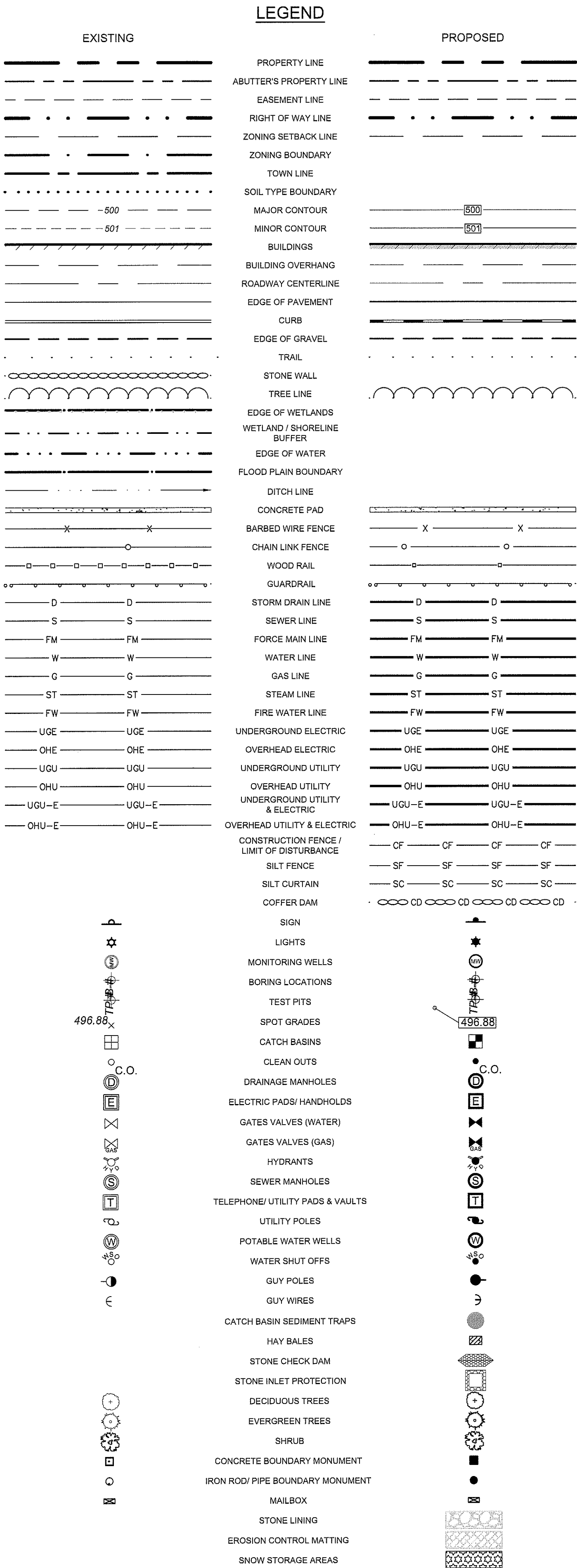
APPROVED

UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
in accordance with vote of the board dated: JANUARY 17, 2024

Approval of this plan is limited to the date as shown

Chair: [Signature] Clerk: [Signature]

4321-1



STANDARD ABBREVIATIONS

BCC - BITUMINOUS CONCRETE CURB
VGC - VERTICAL GRANITE CURB
SGC - SLOPED GRANITE CURB
CCC - CAST-IN-PLACE CONCRETE CURB
PCG - PRECAST CONCRETE CURB
ICC - INTEGRAL CONCRETE CURB
RCC - REINFORCED CONCRETE CURB
BCP - BITUMINOUS CONCRETE PAVEMENT
GRV - GRAVEL DRIVE SURFACE
PCS - PORTLAND CEMENT CONCRETE SIDEWALK
BCS - BITUMINOUS CONCRETE SIDEWALK
CB - CATCH BASIN
DMH - DRAINAGE MANHOLE
SMH - SEWER MANHOLE

GENERAL NOTES

- 1 GENERAL:
- 1.1 THESE DRAWINGS SHALL BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT ENTITLED "STORMWATER MANAGEMENT PLAN FOR ARTS ALLEY LLC" DATED 12/19/2023 PREPARED BY WILCOX & BARTON, INC.
- 1.2 EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON A PLAN TITLED "EXISTING CONDITIONS PLAT OF LAND OF ARTS ALLEY, LLC & 20 SOUTH MAIN STREET, LLC" DATED NOVEMBER 9, 2023, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
- 1.3 THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR ARTS ALLEY LLC FOR REVIEW BY THE CITY OF CONCORD PLANNING BOARD, CODE ENFORCEMENT, GENERAL SERVICES, POLICE, AND FIRE DEPARTMENTS.
- 1.4 THE PURPOSE OF THESE DRAWINGS IS TO SHOW A PROPOSED REDEVELOPMENT OF 20-20.5 SOUTH MAIN STREET AND ASSOCIATED DRAINAGE, UTILITY, AND STORMWATER TREATMENT SYSTEMS.
- 1.5 PROPOSED SITE WILL BE SERVICED BY CITY WATER AND SEWER.
- 1.6 A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
- 1.7 REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
- 1.8 CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
- 1.9 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS (LATEST EDITION), AND THE CITY STANDARDS SHALL TAKE PRECEDENCE IN CASE OF ANY DETAILS OR PLANS IN CONFLICT.
- 1.10 PROJECT DATUM: NH STATE PLANE COORDINATES NAD 83 (HORIZONTAL) NAVD 88 (VERTICAL)
- 1.11 ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER, AND IN ACCORDANCE WITH STATE CODE (IBC 2015 WITH LATEST SUPPLEMENTS), AND LOCAL CODES AND ORDINANCES.
- 1.12 ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CONTACT DIG-SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS AND LESS THAN 30 DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD.
- 1.13 CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF WALLS AND/OR SHORING OF EXCAVATIONS DURING CONSTRUCTION.
- 1.14 THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND SUBMITTALS BEFORE SUBMISSION TO THE ENGINEER, THUS, PROVIDING ANY INFORMATION REQUIRED OF THE FABRICATOR SUCH AS FIELD DIMENSIONS, ELEVATIONS, ETC. OTHERWISE THE SHOP DRAWINGS OR SUBMITTALS WILL BE REJECTED UNTIL SUCH INFORMATION IS FURNISHED BY THE CONTRACTOR. SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEERING FOR THE PROPOSED WATER, SEWER, AND DRAINAGE IMPROVEMENTS, AS APPLICABLE.
- 1.15 GENERAL BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, ASTM D1557.
- 1.16 PER SITE PLAN REGULATION 12.09, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO), THE CONTRACTOR SHALL SUBMIT DIGITAL AS-BUILT DRAWINGS TO THE SATISFACTION OF ENGINEERING SERVICES DIVISION AND CONFORMING TO THE ENGINEERING AS-BUILT CHECKLIST.
- 1.17 THE CONTRACTOR SHALL SET UP A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.
- 1.18 THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CODE ADMINISTRATION DIVISION FOR THE REMOVAL OF THE EXISTING BUILDINGS.
- 1.19 THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE ROW.
- 1.20 THE CONTRACTOR SHALL OBTAIN A DRIVEWAY PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR RECONSTRUCTION OF A DRIVEWAY.
- 1.21 THE CONTRACTOR SHALL OBTAIN UTILITY CONNECTION PERMIT(S) FROM THE ENGINEERING SERVICES DIVISION FOR THE PROPOSED SERVICES.
- 1.22 THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) FOR ALL WORK IN AND ADJACENT TO THE CITY ROW THAT WILL REQUIRE LANE CLOSURES OR OCCUR ADJACENT TO THE EDGE OF THE ROAD. TTCP MUST BE SUBMITTED TO ENGINEERING FOR REVIEW AND APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE PRE-CONSTRUCTION MEETING.
- 1.23 A FIRE PROTECTION ENGINEER SHALL PROVIDE THE DOCUMENT CERTIFYING THAT THE NEW PROPOSED WATER SERVICE LINE IS ADEQUATELY SIZED AND DESIGNED FOR THE PROPOSED SITE CONDITIONS. ALL FIRE PREVENTION REQUIREMENTS SHALL BE SATISFACTORILY DEMONSTRATED.
- 1.24 PER SITE PLAN REGULATION, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO), THE CONTRACTOR SHALL SUBMIT VIDEOS OF THE NEWLY CONSTRUCTED SEWER PIPES TO THE SATISFACTION OF ENGINEERING SERVICES DIVISION.

2 MATERIAL SPECIFICATIONS:

- 2.1 MATERIALS NOT SPECIFIED HEREIN SHALL MEET OR EXCEED NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- 2.2 GENERAL FILL SHALL BE A COMPACTABLE SAND OR GRAVEL REASONABLY FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 0-20 PERCENT PASSING THE NO. 100 SIEVE AND 40-100 PERCENT PASSING THE NO. 4 SIEVE.
- 2.3 BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 3/8 INCH SIEVE, 20-75 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.
- 2.4 CRUSHED BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 2 INCH SIEVE, 90-100 PERCENT PASSING A 1/2 INCH SIEVE 30-40 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.

EROSION CONTROL NOTES

IF EROSION CONTROL MATTING IS USED ON SITE IT SHALL BE WOVEN ORGANIC MATERIAL (E.G. COCO MATTING) THE USE OF WELDED PLASTIC OR BIODEGRADABLE PLASTIC NETTING IN EROSION CONTROL MATTING IS NOT PERMITTED.

CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND AREAS UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.

ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM.

SCHEDULE OF WORK
THIS WORK IS ANTICIPATED TO BE PERFORMED IN SPRING 2024. CONSTRUCTION IS ANTICIPATED TO BE COMPLETED BY FALL 2024.

- ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION.
- DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
 - NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
 - PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
 - WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
 - WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
 - AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
 - REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.

EROSION CONTROL IMPLEMENTATION SCHEDULE

THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL, AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:

- PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
- BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
- INSTALL PERMANENT STORM DRAIN SYSTEM.
- INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
- REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO PILL OPERATIONS.
- PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

TEMPORARY STABILIZATION:

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE.

TEMPORARY GRADING: TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

MULCH: MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDED AREAS WITHIN 48 HOURS AFTER SEEDING.

TACKIFIER: PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORNE DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

ROAD CLEANING: THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY-BAR THAT DISSIPATES THE WATER EVENLY OVER THE SURFACE.

PERMANENT STABILIZATION: GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 65% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED;
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

EXCAVATION DETERWATERING:

SHOULD EXCAVATION DETERWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DETERWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DETERWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 60 MILLIGRAMS PER LITER (MG/L), RESPECTIVELY.

SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING:

GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY:

EROSION CONTROL SEED		
SEED	BY % MASS	% GERMINATION (MIN)
WINTER RYE 80 (MIN)	80 (MIN)	85
RED FESCUE (CREEPING)	4 (MIN)	80
PERENNIAL GRASS	3 (MIN)	90
RED CLOVER	3 (MIN)	90
OTHER CROP GRASS	0.5 (MAX)	
NOXIOUS WEED SEED	0.5 (MAX)	
INERT MATTER	1.0 (MAX)	

PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDINO CLOVER	5	85

WINTER CONSTRUCTION NOTES

ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 65% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE ELSEWHERE. MULCH REMAINING IN THE SPRING SHALL BE REMOVED AND REPLACED AT RATE OF 2 TONS PER ACRE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND TACKIFIER SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 65% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.0 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

REQUIRED PERMITS

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT PER CITY ORDINANCE ARTICLE 5-14 FOR WORK WITHIN THE CITY RIGHT OF WAY OR ON CITY-OWNED PROPERTY.
- REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
- REVISED PER CITY COMMENTS 04/19/2023 (RSR)
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR A DRIVEWAY PERMIT PER CITY ORDINANCE ARTICLE 5-14 TO REPAIR, WIDEN, RECONSTRUCT, OR CONSTRUCT A DRIVEWAY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR A DEMOLITION PERMIT FROM THE CODE ADMINISTRATION DIVISION FOR THE REMOVAL OF THE EXISTING BUILDINGS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR A UTILITY CONNECTION PERMIT(S) TO REPLACE EXISTING UTILITY CONNECTIONS.
- REVISED PER BUILDING UPDATES 12/19/2023 (JMJ)
- REVISED PER CITY COMMENTS 01/17/2024 (JMJ)
- REVISED TO ADD NEW TRANSFORMER 01/30/2024 (ERL)
- REVISED FOR GMP PLAN SET 02/08/2024 (JMJ)
- ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)
- PRIOR TO CONSTRUCTION, A NPDES DETERWATERING AND REMEDIATION PERMIT SHALL BE APPLIED FOR TO EXCAVATE FOR THE PROPOSED BASEMENT.
- NO OTHER APPLICABLE PERMITS ARE REQUIRED AT THIS TIME, TO BE CONFIRMED BY THE CITY ENGINEER.

CONSTRUCTION SEQUENCE

- CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. INSPECT EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND WITHIN 24 HOURS OF ANY SIGNIFICANT RAINFALL EVENT (1/2" OF RAIN OR MORE), PERFORM ANY NEEDED MAINTENANCE AND STABILIZATION AS NEEDED.
- DISTURBANCES OF AREAS SHALL BE MINIMIZED. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON. AREAS WHICH WILL NOT BE PERMANENTLY SEEDDED WITHIN TWO WEEKS OF DISTURBANCE SHALL BE TEMPORARILY SEEDDED AND MULCHED. ALL AREAS SHALL BE STABILIZED WITH SEED MULCH AND TACKIFIER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE AND PRIOR TO THE END OF THE GROWING SEASON.
- PERFORM SITE DEMOLITION TO LIMITS SHOWN ON DEMOLITION PLAN.
- INSTALL THE STORMWATER GALLERY AND DRAINAGE STRUCTURES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- CONDUCT ALL UNDERGROUND UTILITY STRUCTURE AND PIPING INSTALLATION, BACKFILL, AND COMPACTING.
- CONSTRUCT BUILDING FOUNDATION.
- PLACE AND COMPACT NEW GRAVEL COURSES IN THE PARKING, LOADING, SIDEWALK, AND GRAVEL ACCESS DRIVE AREAS.
- PLACE, GRADE, AND STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND MULCHING.
- PLACE PAVEMENT COURSES, SIDEWALKS, AND CURBING.
- ALL DISTURBED SOILS SHALL BE STABILIZED, LOAMED, SEEDDED, AND MULCHED.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE DESIGN AND DETAILS.
- SWEEP COMPLETED PAVEMENT AND CLEAN OUT CATCH BASINS AND DRAINAGE PIPES DURING CONSTRUCTION CLOSE-OUT PROCEDURES. PROPERLY DISPOSE OF COLLECTED SEDIMENT AND DEBRIS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AND PROPERLY DISPOSE OF FOLLOWING CONSTRUCTION AND ONCE FULL GROUND COVER HAS BEEN ESTABLISHED.

LANDSCAPING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- LANDSCAPING CONTRACTOR SHALL RECEIVE SITE GRADE TO +/- 0.10 FOOT.
- ALL TREES OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PLANT MATERIALS AND FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR IMMEDIATE RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNER'S REPRESENTATIVE WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS.
- CONTRACTOR SHALL FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED AS PEST AND DISEASE FREE. IT IS THE CONTRACTORS OBLIGATION TO WARRANTY ALL PLANT MATERIALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS DAMAGED DURING PLANTING OPERATIONS.
- ALL LANDSCAPE AREAS SHALL BE COVERED WITH 2-INCHES OF ORGANIC BARK MULCH UNLESS OTHERWISE NOTED.
- AREAS SHOWN AS GROUND COVER AT THE BASE OF TREE AND SHRUB MATERIALS MUST CONFORM TO THE FOLLOWING CRITERIA. THERE SHALL BE NO GROUND COVER PLANT MATERIAL AT THE BASE OF THE TREE OR SHRUB AS FOLLOWS: A) 4-FOOT RADIUS AROUND EVERGREEN TREES; B) 3-FOOT RADIUS AROUND DECIDUOUS TREES; AND C) 2-FOOT RADIUS AROUND LARGE SHRUBS.
- FINAL PLACEMENT OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE PRIOR TO FINAL PLACEMENT AND BACKFILL. CONTACT OWNER'S REPRESENTATIVE 24-HOURS PRIOR TO PLACEMENT FOR APPROVAL.
- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE LOAM, SEEDDED, AND MULCHED.



REVISION HISTORY

1.	REVISED PER BUILDING UPDATE 11/16/2022 (GAG)
2.	REVISED PER CITY COMMENTS 11/28/2022 (JMM)
3.	REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
4.	AMENDED SITE PLANS 04/19/2023 (RSR)
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7.	REVISED TO ADD NEW TRANSFORMER 01/30/2024 (ERL)
8.	REVISED FOR GMP PLAN SET 02/08/2024 (JMJ)
9.	ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

ISSUED FOR

CONSTRUCTION

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OWNER

20 SOUTH MAIN STREET LLC
P.O. BOX 1438
CONCORD, NH 03302

ARTS ALLEY LLC
P.O. BOX 1438
CONCORD, NH 03302

SITE

ARTS ALLEY
20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38

22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37

DRAWING TITLE

NOTES & LEGEND

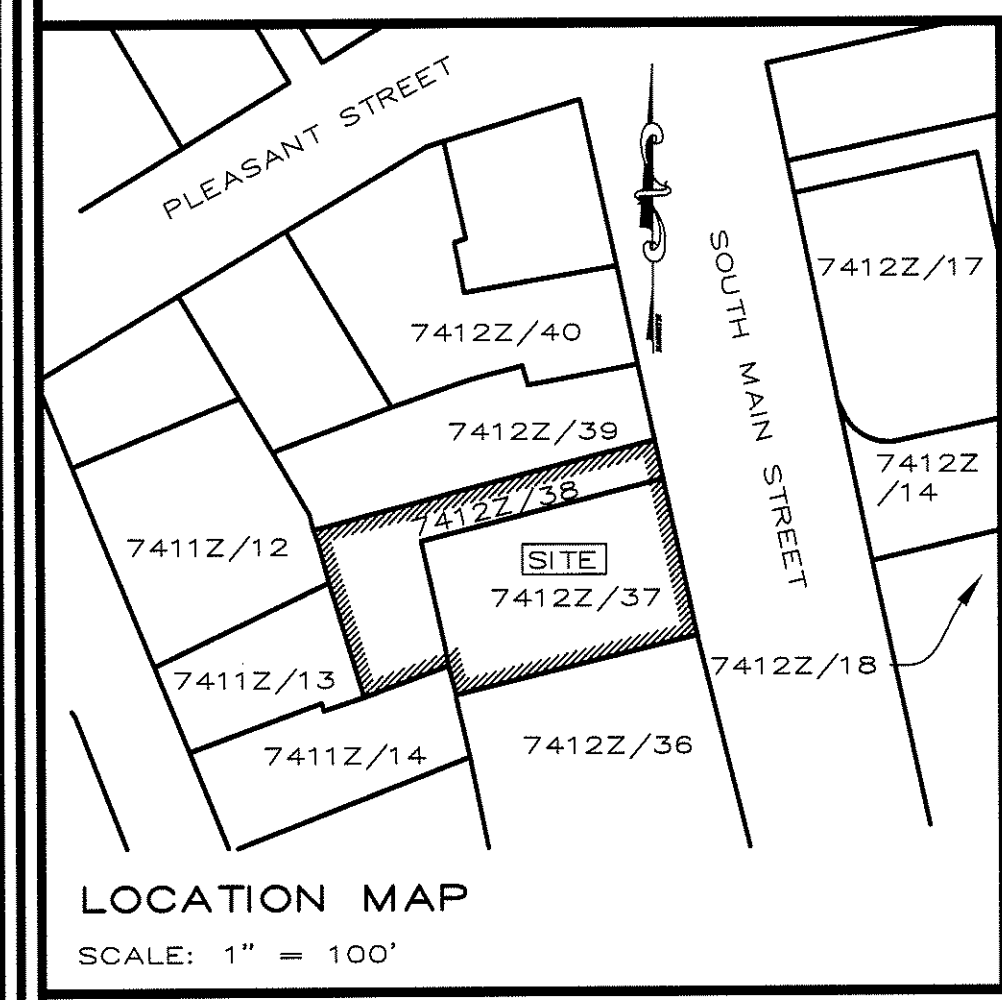
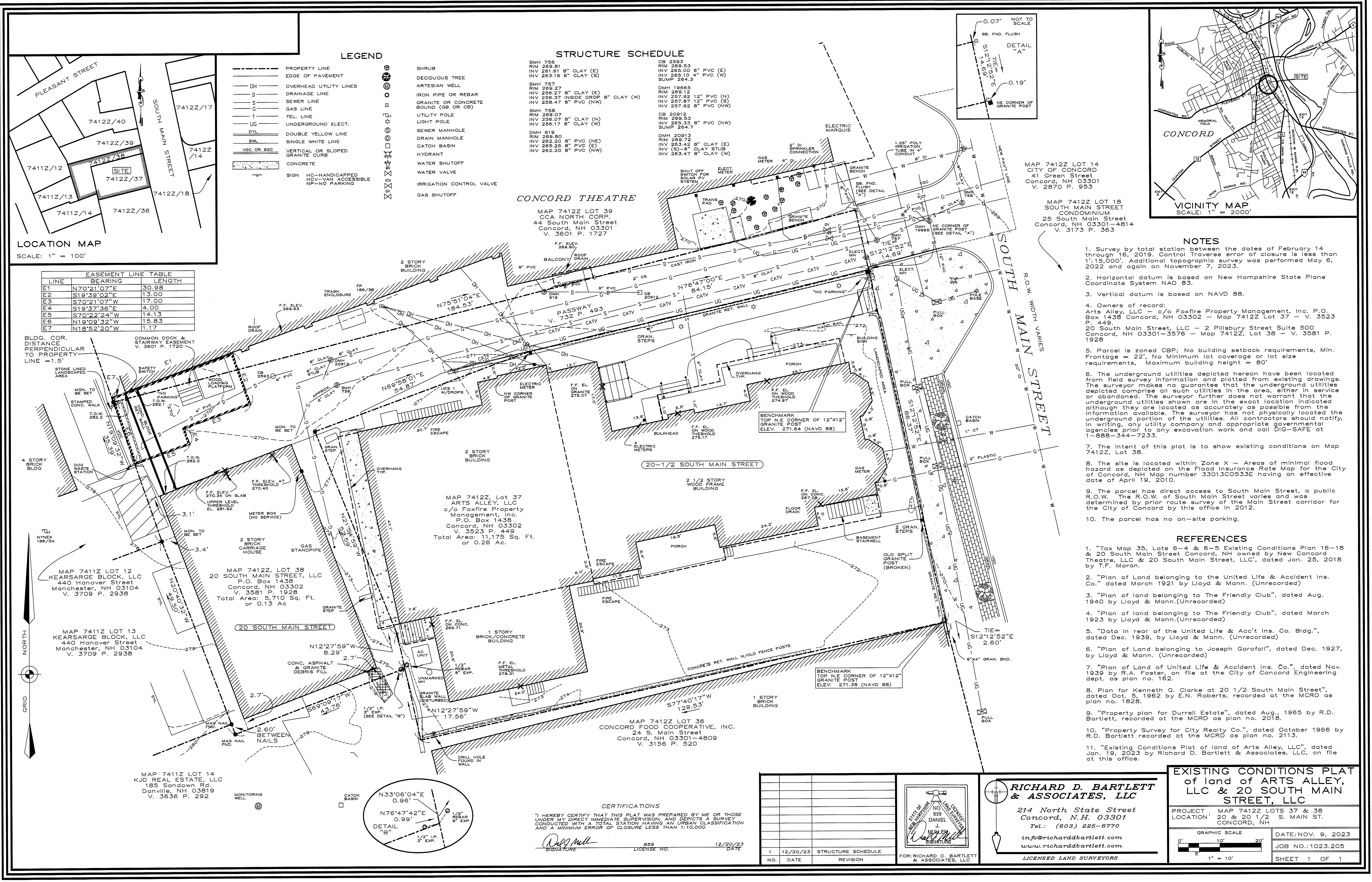
SCALE	N.T.S.	DATE	07/20/2022
DRAFTED BY	RSR	CHECKED BY	CAT
PROJECT MGR	ERL	PROJECT NO.	ARTS0001

SHEET NO.

C0.2

02 OF 19

4321-2



LINE	BEARING	LENGTH
E1	N70°21'07"E	30.98
E2	S19°39'02"E	13.00
E3	S70°21'07"W	17.00
E4	S19°37'36"E	4.00
E5	S70°22'24"W	14.13
E6	N19°09'32"W	15.83
E7	N18°52'20"W	1.17

BLDG. COR. DISTANCE PERPENDICULAR TO PROPERTY LINE = 1.5'

MAP 7411Z LOT 12 KEARSARGE BLOCK, LLC
440 Hanover Street
Manchester, NH 03104
V. 3709 P. 2938

MAP 7411Z LOT 13 KEARSARGE BLOCK, LLC
440 Hanover Street
Manchester, NH 03104
V. 3709 P. 2938

MAP 7411Z LOT 14 KJD REAL ESTATE, LLC
185 Sandown Rd.
Danville, NH 03819
V. 3636 P. 292

MAP 7412Z LOT 37 ARTS ALLEY, LLC
c/o Foxfire Property Management, Inc.
P.O. Box 1438
Concord, NH 03302
V. 3581 P. 1928
Total Area: 5,710 Sq. Ft. or 0.13 Ac

MAP 7412Z LOT 38 20 SOUTH MAIN STREET, LLC
Concord, NH 03302
V. 3581 P. 1928
Total Area: 5,710 Sq. Ft. or 0.13 Ac

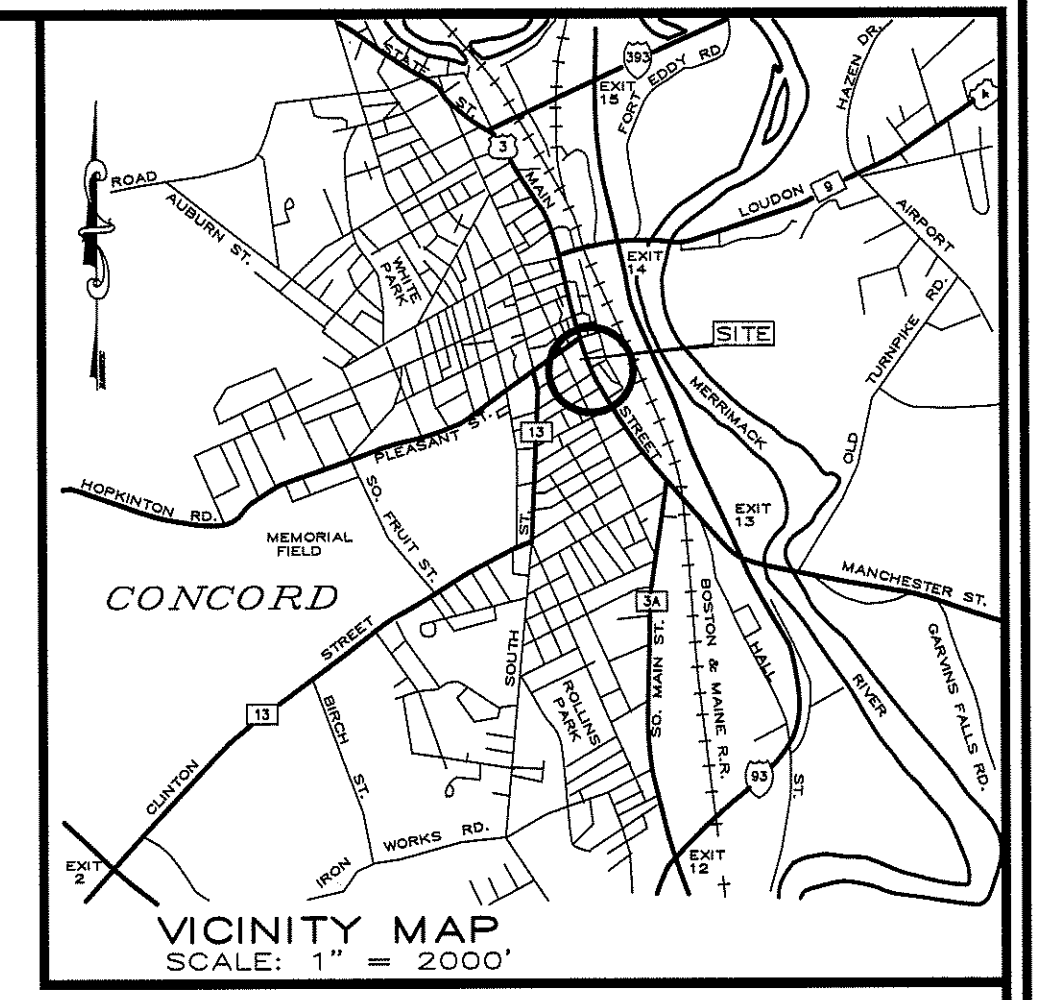
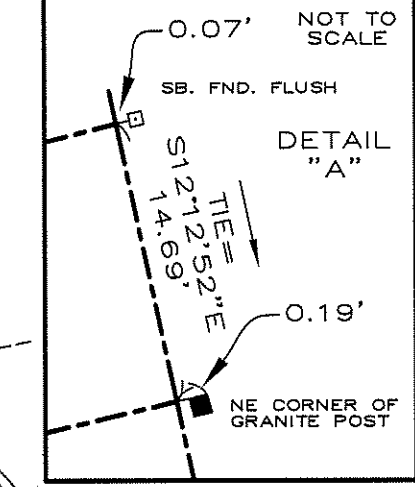
MAP 7412Z LOT 39 CCA NORTH CORP.
44 South Main Street
Concord, NH 03301
V. 3601 P. 1727

LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- OVERHEAD UTILITY LINES
- DRAINAGE LINE
- SEWER LINE
- GAS LINE
- TEL. LINE
- UNDERGROUND ELECT.
- DOUBLE YELLOW LINE
- SINGLE WHITE LINE
- VERTICAL OR SLOPED GRANITE CURB
- CONCRETE
- HC-HANDICAPPED
- HCV-VAN ACCESSIBLE
- NP-NO PARKING

STRUCTURE SCHEDULE

- SHRUB
- DECIDUOUS TREE
- ARTESIAN WELL
- IRON PIPE OR REBAR
- GRANITE OR CONCRETE BOUND (GB OR CB)
- UTILITY POLE
- LIGHT POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- HYDRANT
- WATER SHUTOFF
- WATER VALVE
- IRRIGATION CONTROL VALVE
- GAS SHUTOFF



NOTES

- Survey by total station between the dates of February 14 through 16, 2019. Control Traverse error of closure is less than 1:15,000. Additional topographic survey was performed May 6, 2022 and again on November 7, 2023.
- Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83.
- Vertical datum is based on NAVD 88.
- Owners of record:
Arts Alley, LLC - c/o Foxfire Property Management, Inc. P.O. Box 1438 Concord, NH 03302 - Map 7412Z Lot 37 - V. 3523 P. 449
20 South Main Street, LLC - 2 Pillsbury Street Suite 500 Concord, NH 03301-3576 - Map 7412Z, Lot 38 - V. 3581 P. 1928
- Parcel is zoned CBP; No building setback requirements, Min. Frontage = 22', No Minimum lot coverage or lot size requirements, Maximum building height = 80'
- The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
- The intent of this plot is to show existing conditions on Map 7412Z, Lot 38.
- The site is located within Zone X - Areas of minimal flood hazard as depicted on the Flood Insurance Rate Map for the City of Concord, NH Map number 33013C0533E having an effective date of April 19, 2010.
- The parcel has direct access to South Main Street, a public R.O.W. The R.O.W. of South Main Street varies and was determined by prior route survey of the Main Street corridor for the City of Concord by this office in 2012.
- The parcel has no on-site parking.

REFERENCES

- "Tax Map 35, Lots 6-4 & 6-5 Existing Conditions Plan 16-18 & 20 South Main Street Concord, NH owned by New Concord Theatre, LLC & 20 South Main Street, LLC", dated Jan. 25, 2018 by T.F. Moran.
- "Plan of Land belonging to the United Life & Accident Ins. Co." dated March 1921 by Lloyd & Mann. (Unrecorded)
- "Plan of land belonging to The Friendly Club", dated Aug. 1940 by Lloyd & Mann. (Unrecorded)
- "Plan of land belonging to The Friendly Club", dated March 1923 by Lloyd & Mann. (Unrecorded)
- "Data in rear of the United Life & Acc't Ins. Co. Bldg.", dated Dec. 1939, by Lloyd & Mann. (Unrecorded)
- "Plan of Land belonging to Joseph Garofoli", dated Dec. 1927, by Lloyd & Mann. (Unrecorded)
- "Plan of Land of United Life & Accident Ins. Co.", dated Nov. 1939 by R.A. Foster, on file at the City of Concord Engineering dept. as plan no. 162.
- Plan for Kenneth G. Clarke at 20 1/2 South Main Street", dated Oct. 5, 1962 by E.N. Roberts, recorded at the MCRD as plan no. 1828.
- "Property plan for Durrell Estate", dated Aug., 1965 by R.D. Bartlett, recorded at the MCRD as plan no. 2113.
- "Property Survey for City Realty Co.", dated October 1966 by R.D. Bartlett recorded at the MCRD as plan no. 2113.
- "Existing Conditions Plat of land of Arts Alley, LLC", dated Jan. 19, 2023 by Richard D. Bartlett & Associates, LLC, on file at this office.

EXISTING CONDITIONS PLAT of land of ARTS ALLEY, LLC & 20 SOUTH MAIN STREET, LLC

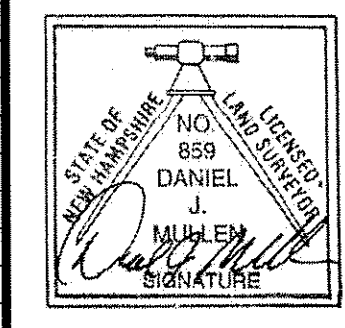
PROJECT: MAP 7412Z LOTS 37 & 38	DATE: NOV. 9, 2023
LOCATION: 20 & 20 1/2 S. MAIN ST. CONCORD, NH	JOB NO.: 1023.205
GRAPHIC SCALE	SHEET 1 OF 1
8' 10' 20'	
1" = 10'	

CERTIFICATIONS

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URSA-B CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

Richard D. Bartlett
SIGNATURE

859 LICENSE NO. 12/20/23 DATE



RICHARD D. BARTLETT & ASSOCIATES, LLC

214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770

info@richarddbartlett.com
www.richarddbartlett.com

LICENSED LAND SURVEYORS

NO.	DATE	REVISION
1	12/20/23	STRUCTURE SCHEDULE

SEWER STRUCTURE
SCHEDULE

SMH 756
RIM 269.81
INV 261.61 8" CLAY (E)
INV 263.16 6" CLAY (S)

SMH 757
RIM 269.27
INV 266.27 8" CLAY (E)
INV 266.37 INSIDE DROP 8" CLAY (W)
INV 258.47 6" PVC (NW)

SMH 758
RIM 269.07
INV 256.07 8" CLAY (N)
INV 256.17 6" CLAY (W)

DRAINAGE STRUCTURE
SCHEDULE

CB 2593
RIM 269.53
INV 265.00 6" PVC (E)
INV 265.10 4" PVC (W)
SUMP 264.3

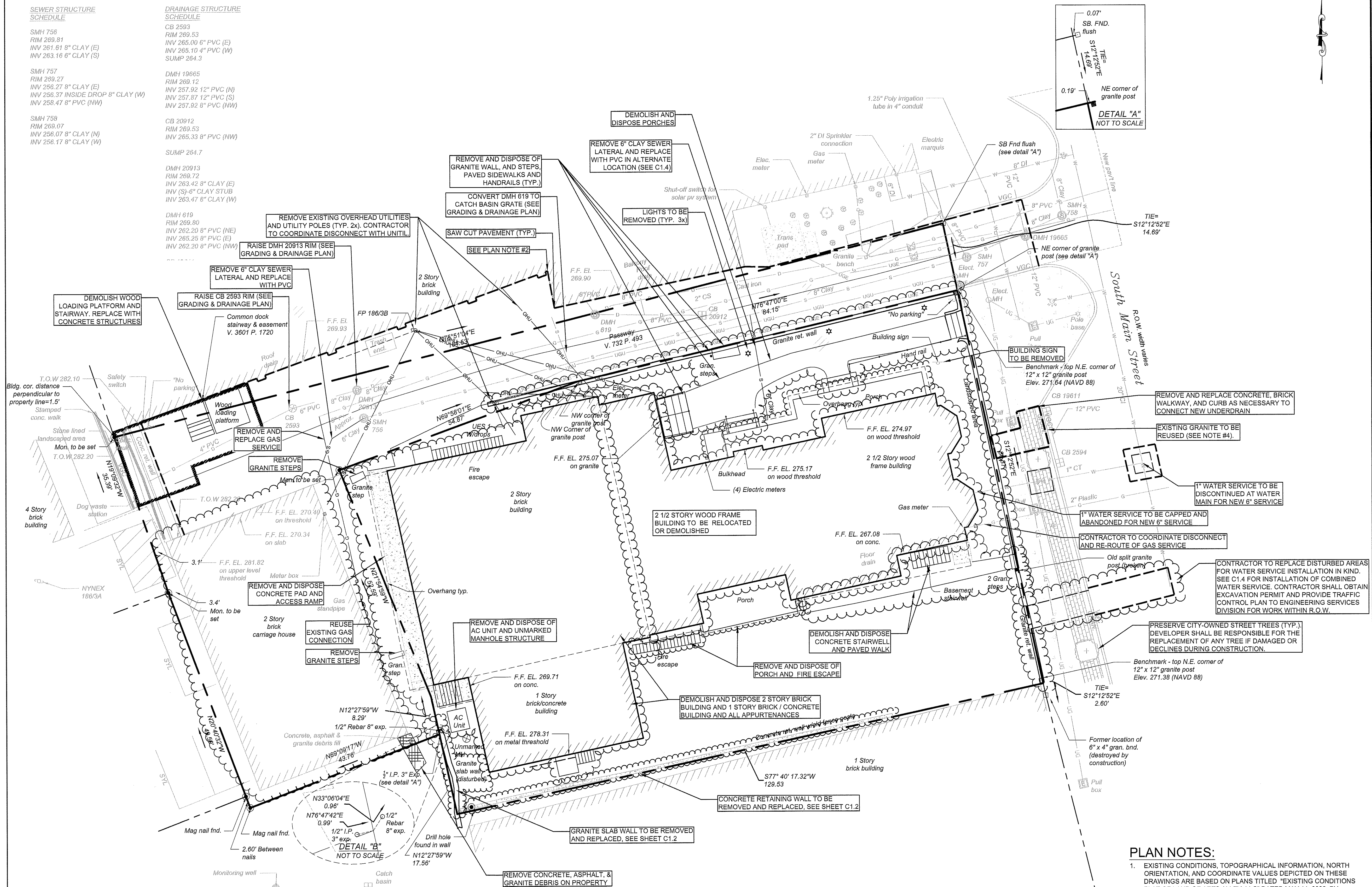
DMH 19665
RIM 269.12
INV 257.92 12" PVC (N)
INV 257.87 12" PVC (S)
INV 257.92 6" PVC (NW)

CB 20912
RIM 269.53
INV 265.33 8" PVC (NW)

SUMP 264.7

DMH 619
RIM 269.80
INV 262.20 8" PVC (NE)
INV 265.25 8" PVC (E)
INV 262.20 8" PVC (NW)

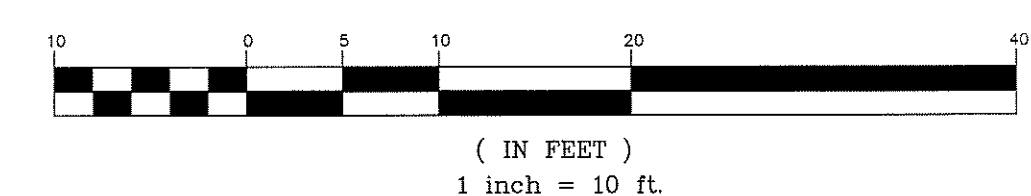
DMH 20913
RIM 269.72
INV 263.42 8" CLAY (E)
INV (S)-6" CLAY STUB
INV 263.47 8" CLAY (W)



PLAN NOTES:

- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAT OF LAND OF ARTS ALLEY, LLC" DATED MAY 11, 2022, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
- REMOVE AND DISPOSE OF EXISTING PAVEMENT AS NEEDED FOR REMOVAL AND INSTALLATION OF CURBS (SEE C1.2), REGRADING AT BUILDING EGRESSSES (SEE C1.3), AND DISCONNECT AND INSTALLATION OF UTILITIES (SEE C1.4). REFER TO SAW CUT LINE FOR APPROXIMATE LIMITS OF PAVEMENT REMOVAL.
- SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES.
- EXISTING GRANITE TO BE STORED AND REUSED ON SITE.

GRAPHIC SCALE



Wilcox & Barton INC.

CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 HOME AVENUE
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY
1. REVISED PER BUILDING UPDATE 11/16/2022 (SAG)
2. REVISED PER CITY COMMENTS 11/28/2022 (JMJ)
3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
4. AMENDED SITE PLANS 04/19/2023 (KSR)
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8. REVISED FOR GMP PLAN SET 02/08/2024 (JMJ)
9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

CONSTRUCTION

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OWNER
20 SOUTH MAIN STREET LLC
P.O. BOX 1438
CONCORD, NH 03302

ARTS ALLEY LLC
P.O. BOX 1438
CONCORD, NH 03302

SITE
ARTS ALLEY
20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38

22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37

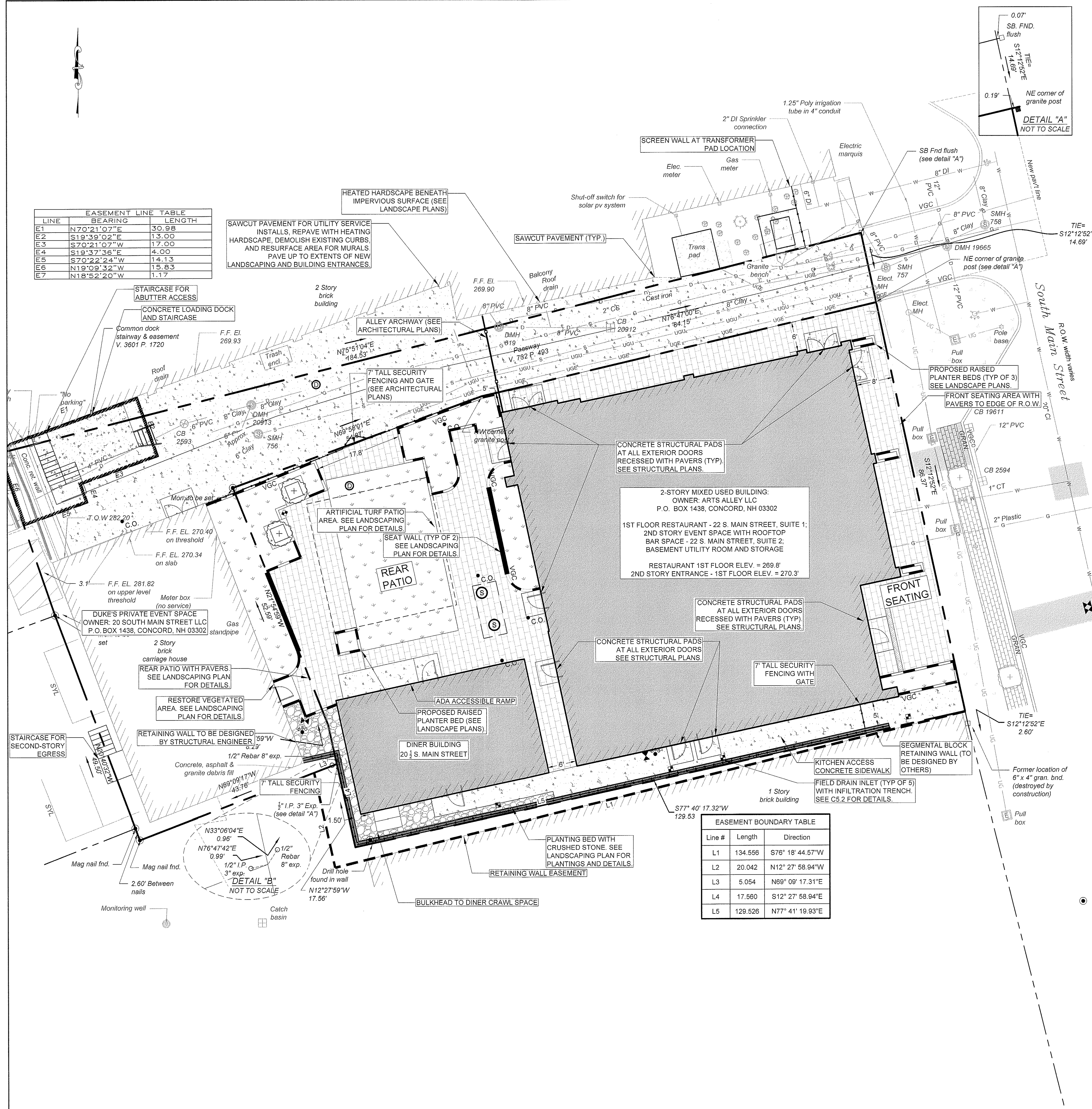
DEMOLITION PLAN

SCALE		DATE	
1" = 10'		07/20/2022	
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	CAT	ERL	ARTS0001

ENGINEER: ERIN R. LAMBERT
NH P.E. #11057

C1.1

04 OF 19



EASEMENT LINE TABLE		
LINE	BEARING	LENGTH
E1	N70°21'07"E	30.98
E2	S19°39'02"E	13.00
E3	S70°21'07"W	17.00
E4	S19°37'36"E	4.00
E5	S70°22'24"W	14.13
E6	N19°09'32"W	15.83
E7	N18°52'20"W	1.17

EASEMENT BOUNDARY TABLE		
Line #	Length	Direction
L1	134.556	S76° 18' 44.57"W
L2	20.042	N12° 27' 58.94"W
L3	5.054	N69° 09' 17.31"E
L4	17.560	S12° 27' 58.94"E
L5	129.526	N77° 41' 19.93"E

ZONING NOTES:

MBLU	MAP 7412Z, LOT 37
PROPERTY ADDRESS	DINER - 20 1/2 SOUTH MAIN STREET; FIRST FLOOR RESTAURANT - 22 SOUTH MAIN STREET, SUITE 1; SECOND FLOOR EVENT SPACE WITH ROOFTOP BAR - 22 SOUTH MAIN STREET, SUITE 2
OWNER	ARTS ALLEY LLC
DEED REGISTRATION	BK. 3273, PG. 1920
ZONE	CBP - CENTRAL BUSINESS PERFORMANCE
FACILITY USE	RESTAURANT & CONFERENCE/EVENT CENTER
LOT SIZE	MIN. REQUIRED 11,176 SF (0.26 AC) EXISTING 11,176 SF (0.26 AC) PROPOSED 11,176 SF (0.26 AC)
IMPERVIOUS COVERAGE	MAX. N/A 6,915 SF (61.9%) EXISTING 6,915 SF (61.9%) PROPOSED 9,498 SF (85.0%)
FRONTAGE	MIN. 22 LF 86 LF 86 LF
BUILDING SETBACKS	FRONT N/A 6 LF 7 LF SIDE N/A 2.5 LF 6 LF REAR N/A 1.5 LF 2 LF

COVERAGE CALCULATIONS:

	EXISTING	PROPOSED
SIDEWALKS & PATIOS	845 SF	3,054 SF
GRAVEL PAD	0 SF	289 SF
BUILDING & DECKS	6,070 SF	6,155 SF
TOTAL	6,915 SF	9,498 SF

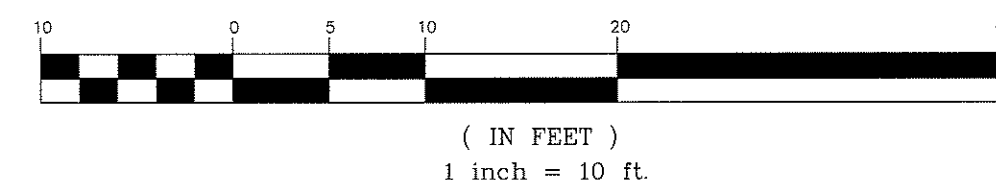
CONDITIONAL USE PERMITS & WAIVERS:

- A WAIVER WAS GRANTED BY THE CITY OF CONCORD PLANNING BOARD ON MAY 17, 2023, TO SECTION 22.08(2) STORM WATER RECHARGE TO ALLOW FOR THE PROPOSED REDEVELOPMENT'S RECHARGE RATE TO BE DECREASED FROM THE PRE-DEVELOPMENT CONDITIONS.
- A WAIVER WAS GRANTED BY CITY OF CONCORD PLANNING BOARD ON DECEMBER 21, 2022, TO SECTION 22.08(3) OFF-SITE FLOWS TO ALLOW FOR THE PROPOSED REDEVELOPMENT'S VOLUME OF DISCHARGE TO BE INCREASED FROM PRE-DEVELOPMENT CONDITIONS.
- A CONDITIONAL USE PERMIT WAS GRANTED BY CITY OF CONCORD PLANNING BOARD ON DECEMBER 21, 2022, TO ARTICLE 28-5-48(g), BUILD TO LINES, TO PROVIDE PRIVATE, RESTAURANT SEATING AND SECOND FLOOR BALCONY ALONG PROPERTY FRONTAGE IN THE CBP DISTRICT.
- A WAIVER WAS GRANTED BY CITY OF CONCORD PLANNING BOARD ON DECEMBER 21, 2022, TO SECTION 29 OF THE CITY OF CONCORD SITE PLAN REGULATIONS, SPECIFICALLY 29.04 BUILDING AND FACADE LIGHTING AND 29.07 NUISANCE AND GLARE, TO ALLOW FOR SAFE PEDESTRIAN PASSAGE OF THE ALLEY (20 SOUTH MAIN STREET, LOT 38) BETWEEN 20.5 SOUTH MAIN STREET (LOT 37) AND 18 SOUTH MAIN STREET (BANK OF NEW HAMPSHIRE STAGE). THE CURRENT ADR APPLICATION INCLUDES A LIGHTING PLAN FOR 20 SOUTH MAIN STREET, SO THIS WAIVER IS NO LONGER NEEDED.
- A WAIVER WAS GRANTED BY THE CITY OF CONCORD PLANNING BOARD ON DECEMBER 21, 2022, TO SECTION 21.05(2) SIDEWALKS, MULTI-USE PATHS, AND TRAILS DESIGN STANDARDS, TO PROVIDE A 4' WIDE SIDEWALK ON THE SOUTH SIDE OF THE BUILDING. THE WAIVER FROM SECTION 21.05(2) IS NOT UTILIZED IN THE CURRENT AMENDED SITE PLAN APPLICATION.

PLAN NOTES:

- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAT OF LAND OF ARTS ALLEY, LLC & 20 SOUTH MAIN STREET, LLC" DATED NOVEMBER 9, 2023, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
- BUILDING FOOTPRINT REPRESENTS A FLOOR PLAN PROVIDED TO WILCOX & BARTON, INC. BY PROCON, INC. DATED JANUARY 17, 2024. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR FOUNDATION AND BUILDING DIMENSIONS.
- SEE ARCHITECTURAL PLANS FOR BUILDING LIGHTING AT SIDEWALKS AND POINTS OF EGRESS.
- SEE LANDSCAPING PLANS FOR SITE LIGHTING AT PATIOS.
- SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES.
- ALL STORMWATER IMPROVEMENTS BUILT WILL BE MAINTAINED BY THE PROPERTY OWNER IN PERPETUITY IN ACCORDANCE WITH:
 - LOCAL, STATE, FEDERAL REGULATIONS;
 - NHDES STORMWATER MANUAL RECOMMENDATIONS;
 - STORMWATER MAINTENANCE AND OPERATIONS PLAN; AND
 - ANY MANUFACTURER SPECIFICATIONS.

GRAPHIC SCALE



APPROVED
UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
in accordance with vote of the board dated:

Approval of this plan is limited to the date as shown

Chair Clerk

Wilcox & Barton, INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 HOME AVENUE
CONCORD, NH 03301
603-369-4190
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9.	ISSUED FOR CONSTRUCTION 03/07/2024 (JMM)	

ISSUED FOR
CONSTRUCTION

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CONCORD, NH 03302

ARTS ALLEY LLC
P.O. BOX 1438
CONCORD, NH 03302

SITE
ARTS ALLEY

20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38

22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37

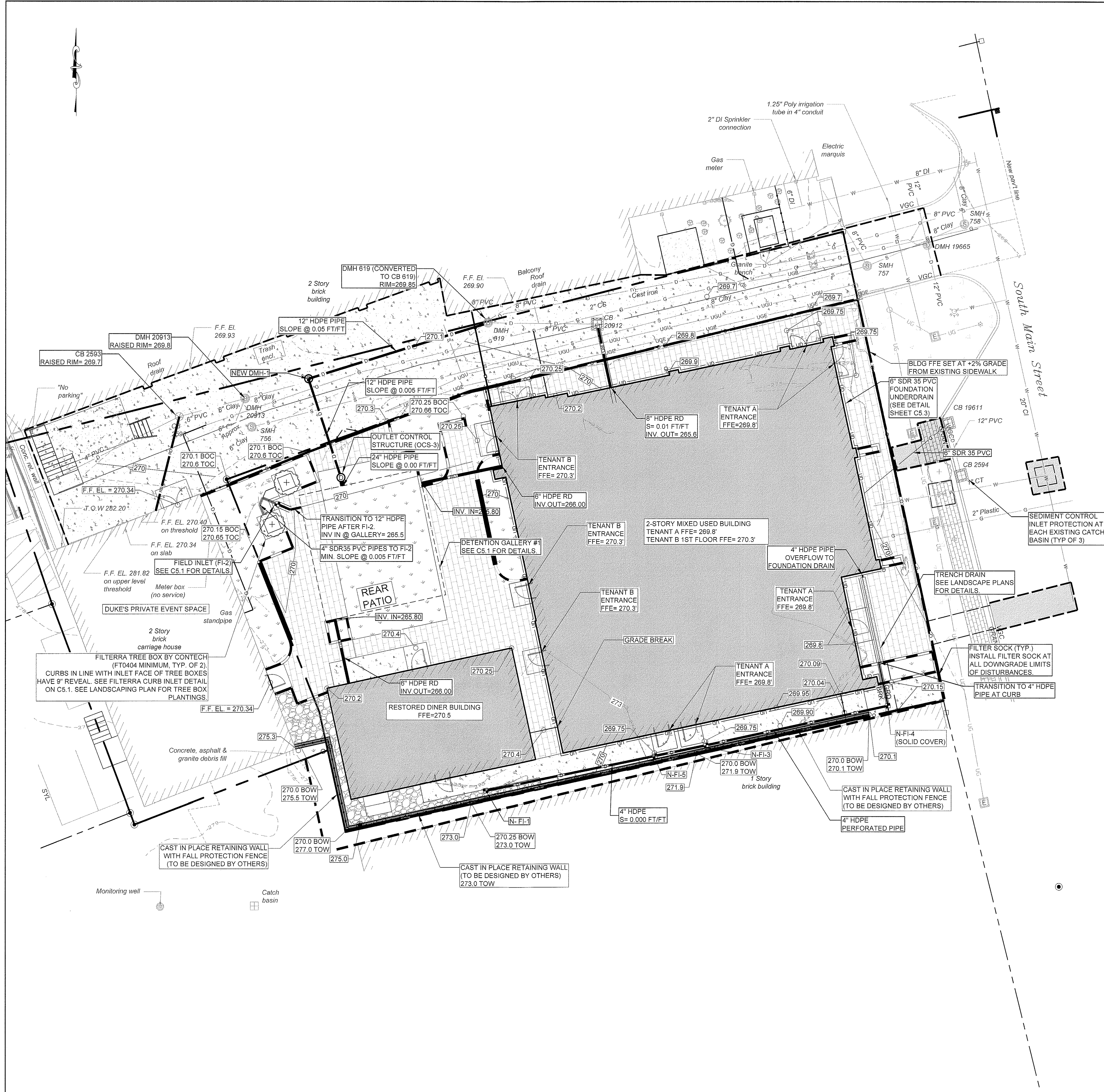
DRAWING TITLE
SITE PLAN

SCALE	1" = 10'	DATE	07/20/2022
DRAFTED BY	RSR	CHECKED BY	CAT
PROJECT MGR	ERL	PROJECT NO.	ARTS0001

ENGINEER ERIN R. LAMBERT
NH P.E. #11057

C1.2
05 OF 19

4321-5



DRAINAGE STRUCTURE SCHEDULE

CB 2593
RIM 269.53
INV 265.00 6" PVC (E)
INV 265.10 4" PVC (W)
SUMP 264.3

DMH 19665
RIM 269.12
INV 257.92 12" PVC (N)
INV 257.87 12" PVC (S)
INV 257.92 8" PVC (NW)

CB 20912
RIM 269.53
INV 265.33 8" PVC (NW)
NEW INV. 265.43 8" PVC (S)
SUMP 264.7

DMH 20913
RIM 269.72
INV 263.42 8" CLAY (E)
INV (S)-6" CLAY STUB
INV 263.47 8" CLAY (W)

DMH 619
RIM 269.80
INV 262.20 8" PVC (NE)
INV 265.25 8" PVC (E)
INV 262.20 8" PVC (NW)
NEW INV. 262.30 12" HDPE (SW)

CB 19611
RIM 268.89
INV 264.27 (S)
NEW INV. 264.37 6" SDR 35 PVC (SW)

CB 2594
RIM 269.98
INV 264.36 (N)
INV 262.17 (SE)

NEW FI-1
RIM 269.90
INV. 266.60 4" HDPE (E)

NEW FI-2
RIM 269.90
INV. 266.30 4" HDPE (SE)
INV. 265.60 12" HDPE @ 4"x12" COUPLING

NEW OCS-3
RIM 270.06
INV. 264.50 24" HDPE (S)
INV. 264.50 12" HDPE (N)
SEE C5.1 FOR DETAILS

NEW DMH-1
RIM 269.93
INV. 264.40 12" HDPE (S)
INV. 264.30 12" HDPE (E)

NEW FI-3
RIM 269.70
INV. 266.60 4" HDPE (W)

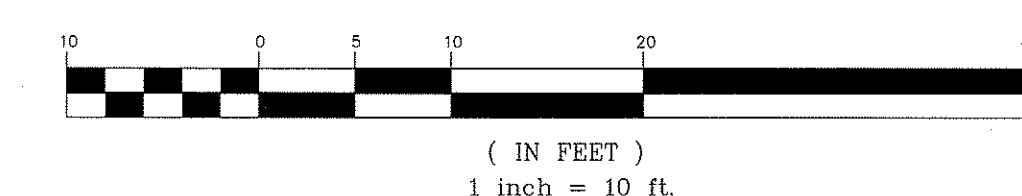
NEW FI-4 (SOLID COVER)
RIM 269.65
INV. 266.70 6" HDPE (N)
INV. 266.60 4" HDPE (W)

NEW FI-5
RIM 269.70
INV. 266.60 4" HDPE (W)

PLAN NOTES:

- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
- SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
- FINISH CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT AND PATIO EXCEPT WHERE SPECIFIED OTHERWISE.
- ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER SHALL BE OVERLAIN WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.

GRAPHIC SCALE



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REVISION HISTORY
1. REVISED PER BUILDING UPDATE 11/19/2022 (GAG)
2. REVISED PER CITY COMMENTS 11/28/2022 (JMM)
3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
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6. REVISED PER CITY COMMENTS 01/17/2024 (JMJ)
7. REVISED TO ADD NEW TRANSFORMERS 01/03/2024 (ERL)
8. REVISED FOR GMP PLAN SET 02/08/2024 (JMJ)
9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

ISSUED FOR

CONSTRUCTION

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OWNER

20 SOUTH MAIN STREET LLC
P.O. BOX 1438
CONCORD, NH 03302

ARTS ALLEY LLC
P.O. BOX 1438
CONCORD, NH 03302

SITE

ARTS ALLEY

20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38

22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37

DRAWING TITLE

GRADING & DRAINAGE PLAN

SCALE		DATE	
1" = 10'		07/20/2022	
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	CAT	ERL	ARTS0001

STATE OF NEW HAMPSHIRE
ERIN R. LAMBERT
No. 11057
LICENSED PROFESSIONAL ENGINEER
ENGINEER ERIN R. LAMBERT
NH P.E. #11057

C1.3

06 OF 19

4321-6

REVISION HISTORY
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9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMM)

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SITE

ARTS ALLEY

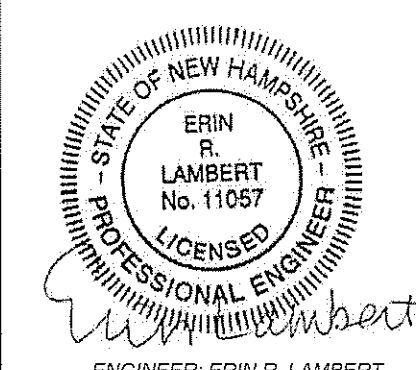
20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38

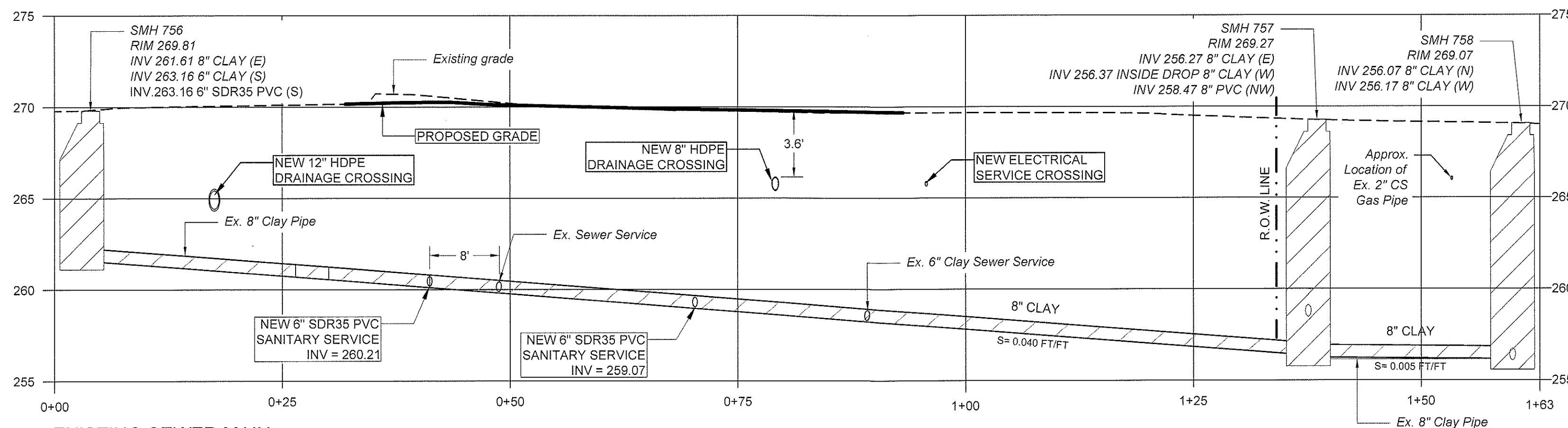
22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37

DRAWING TITLE

UTILITY PROFILES

SCALE	1" = 10'	DATE	07/20/2022
DRAFTED BY	RSR	CHECKED BY	CAT
PROJECT MGR	ERL	PROJECT NO.	ARTS0001

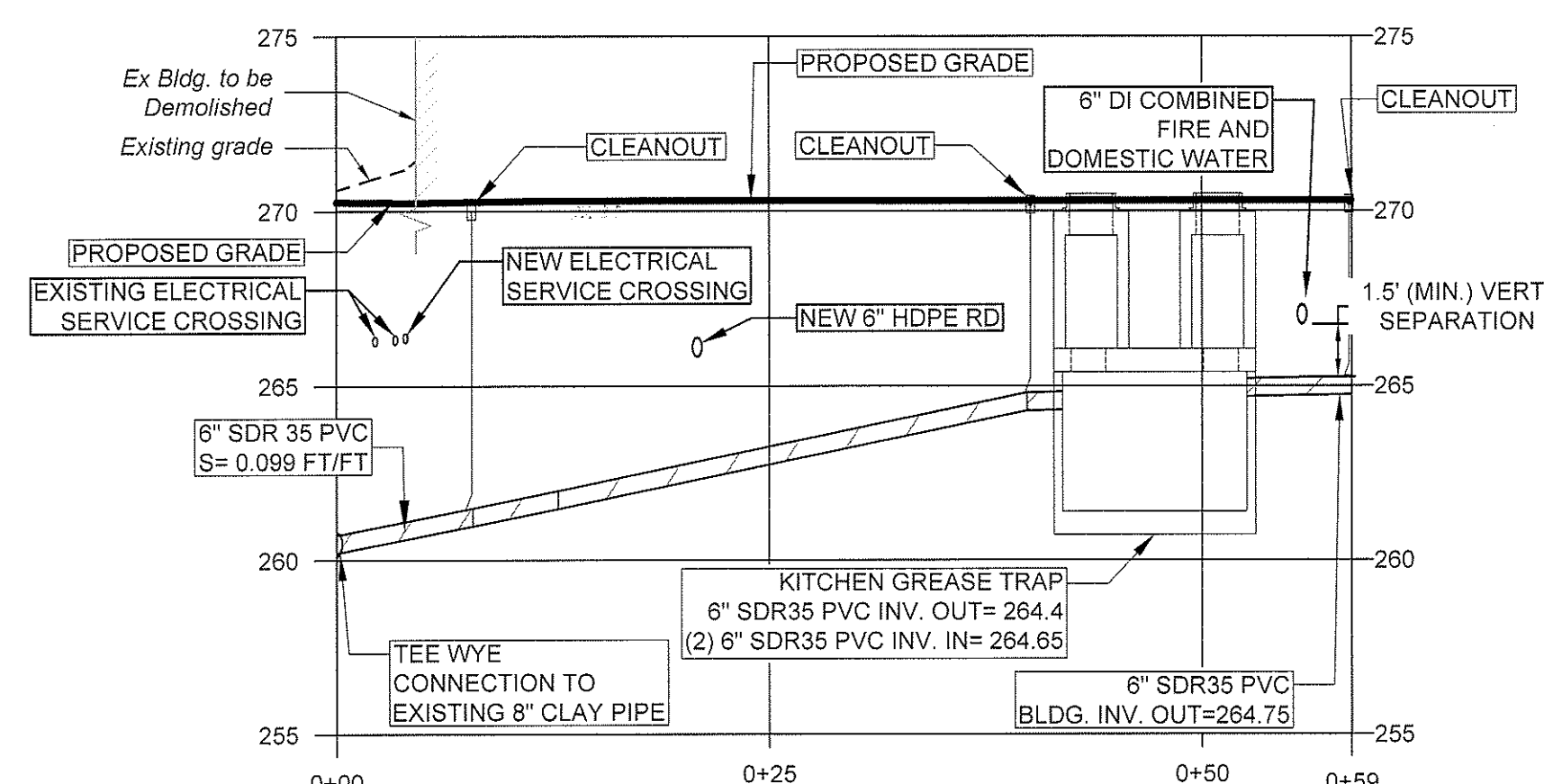
 ENGINEER ERIN R. LAMBERT NH P.E. #11057	SHEET NO.
	C2.1 08 OF 19



EXISTING SEWER MAIN

Horiz Scale: 1" = 10

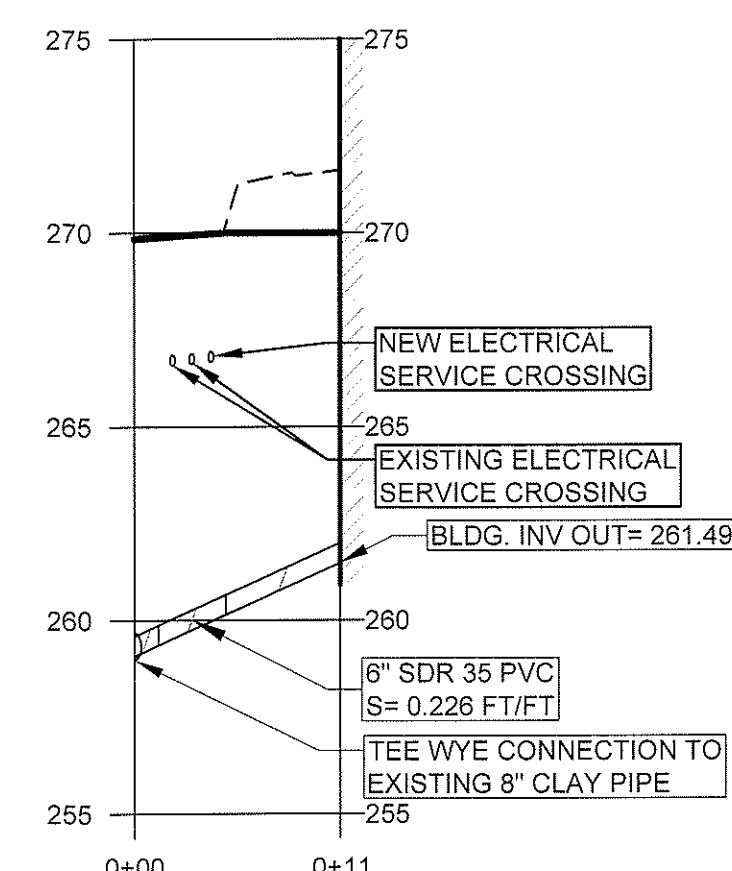
Vert Scale: 1" = 5



SEWER SERVICE (RESTORED DINER BLDG)

Horiz Scale: 1" = 10

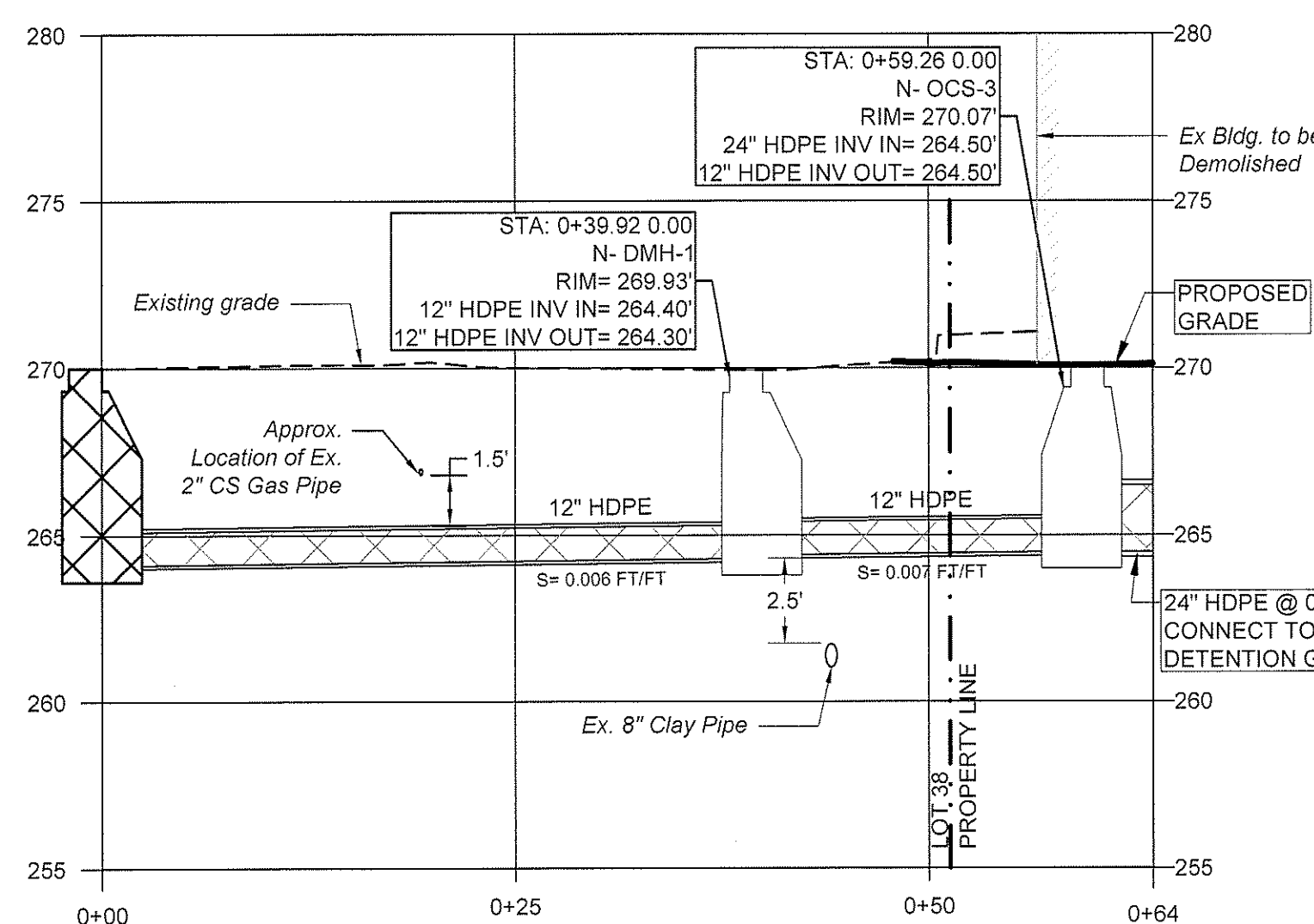
Vert Scale: 1" = 5



SEWER SERVICE (MIXED-USE BLDG)

Horiz Scale: 1" = 10

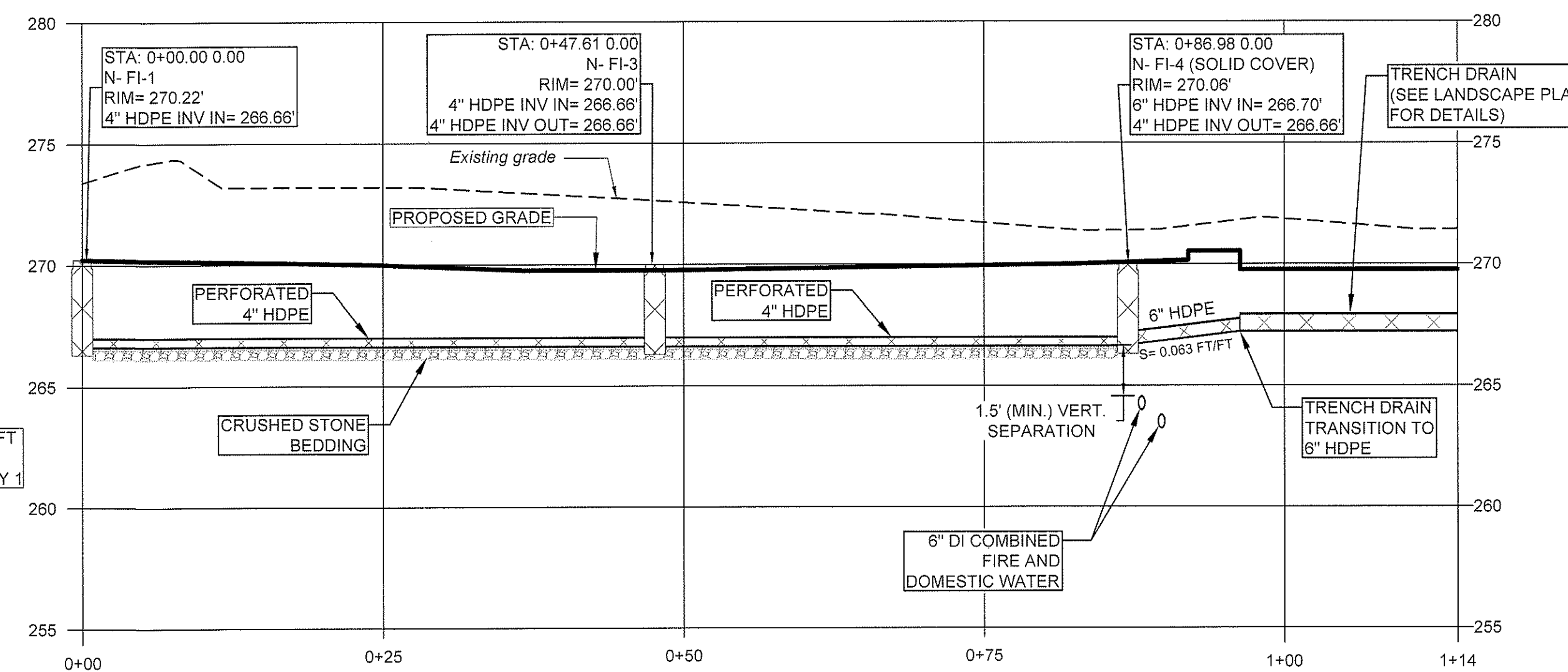
Vert Scale: 1" = 5



DRAINAGE SYSTEM

Horiz Scale: 1" = 10

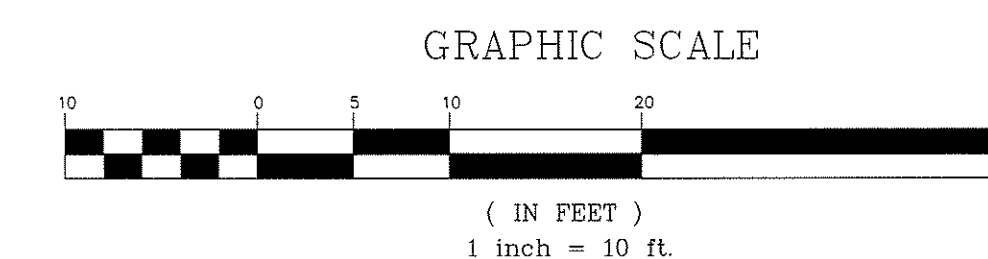
Vert Scale: 1" = 5



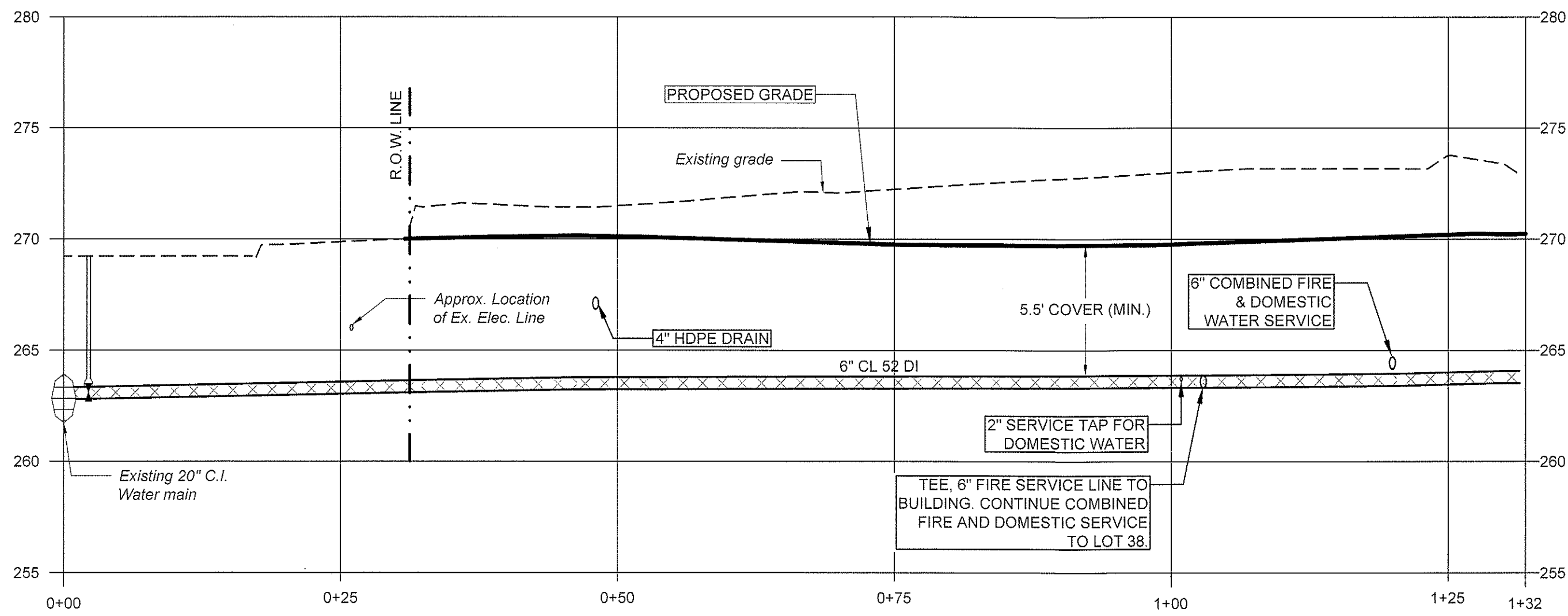
FIELD DRAINS

Horiz Scale: 1" = 10

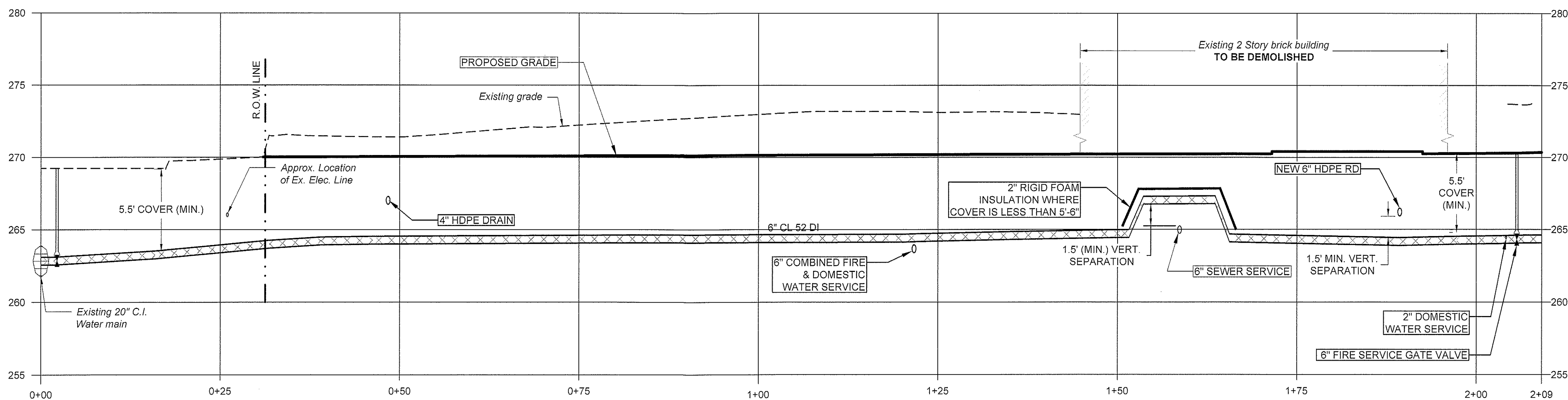
Vert Scale: 1" = 5



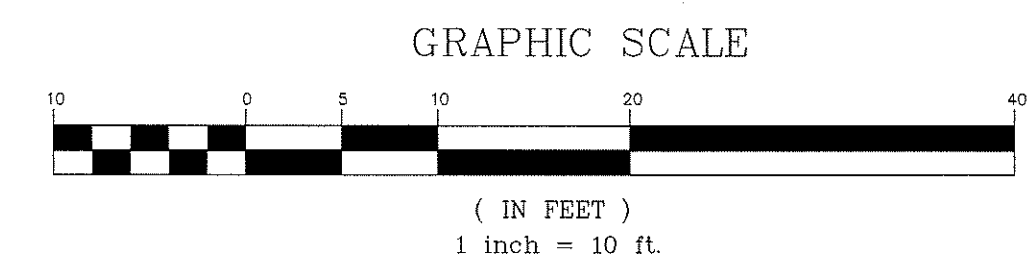
4321-8



WATER
Horiz Scale: 1" = 10
Vert Scale: 1" = 5



COMBINED FIRE AND DOMESTIC SERVICE
Horiz Scale: 1" = 10
Vert Scale: 1" = 5



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CONCORD, NH 03302
ARTS ALLEY LLC
P.O. BOX 1438
CONCORD, NH 03302

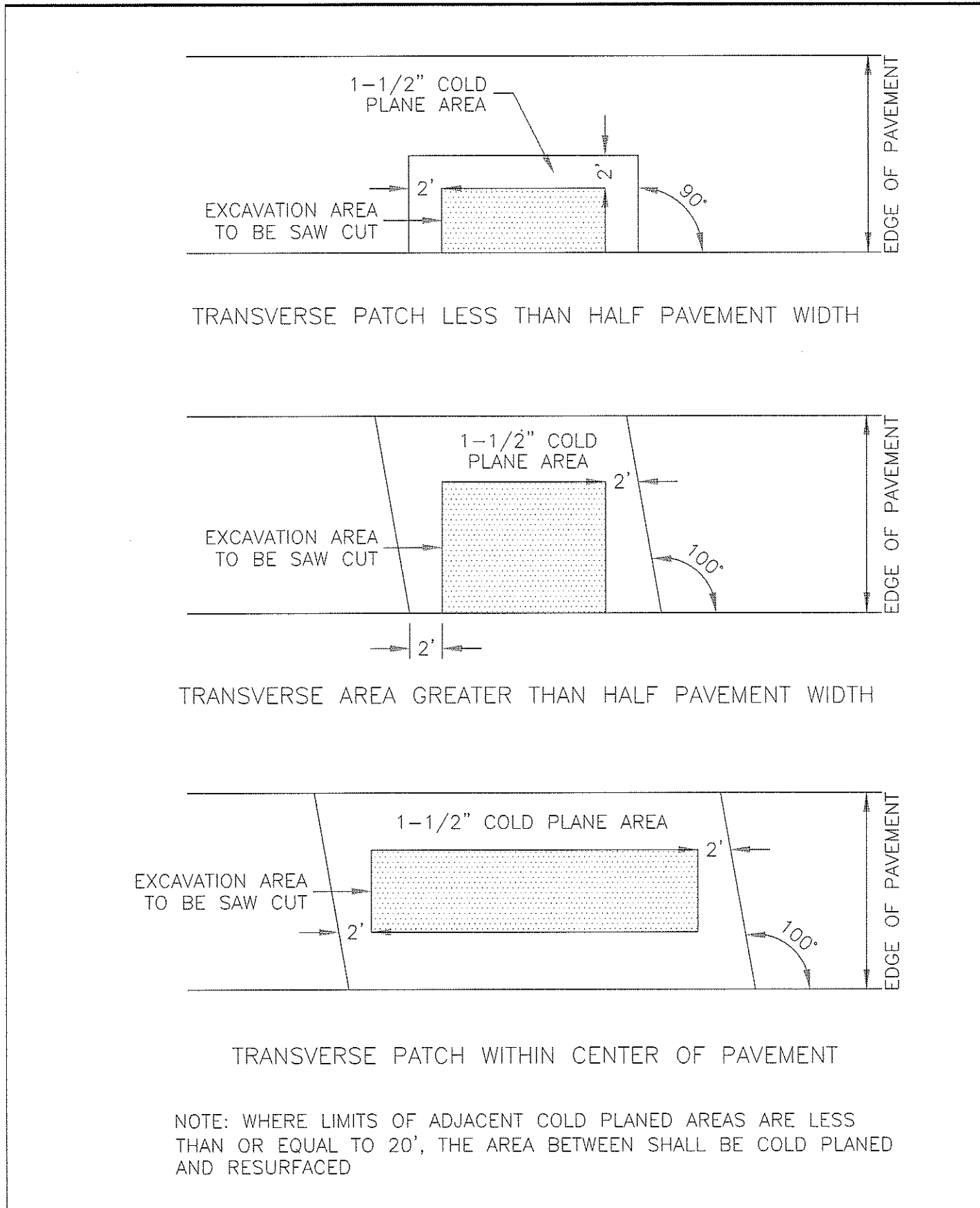
SITE
ARTS ALLEY
20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38
22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37

DRAWING TITLE
UTILITY PROFILES

SCALE 1" = 10'	DATE 07/20/2022
DRAFTED BY RSR	CHECKED BY CAT
PROJECT MGR ERL	PROJECT NO. ARTS0001

 ENGINEER: ERIN R. LAMBERT NH P.E. #11057	SHEET NO. C2.2 09 OF 19
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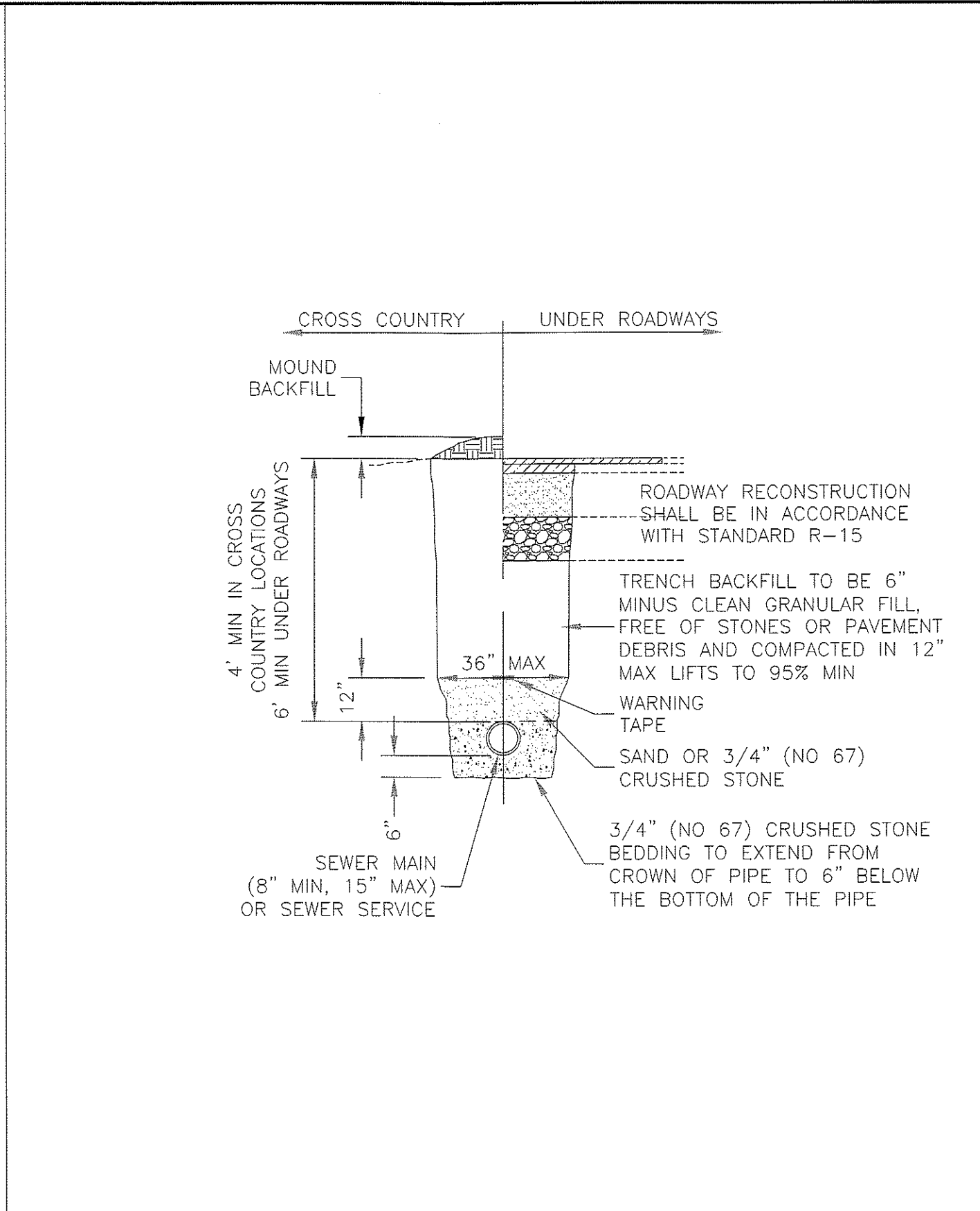
4321-9



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: SITE/STREET
1	DRAWING NO.	11.11		
2	MULTIPLE	12.15		

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: SEWER
1	STANDARD REF.	3/19		

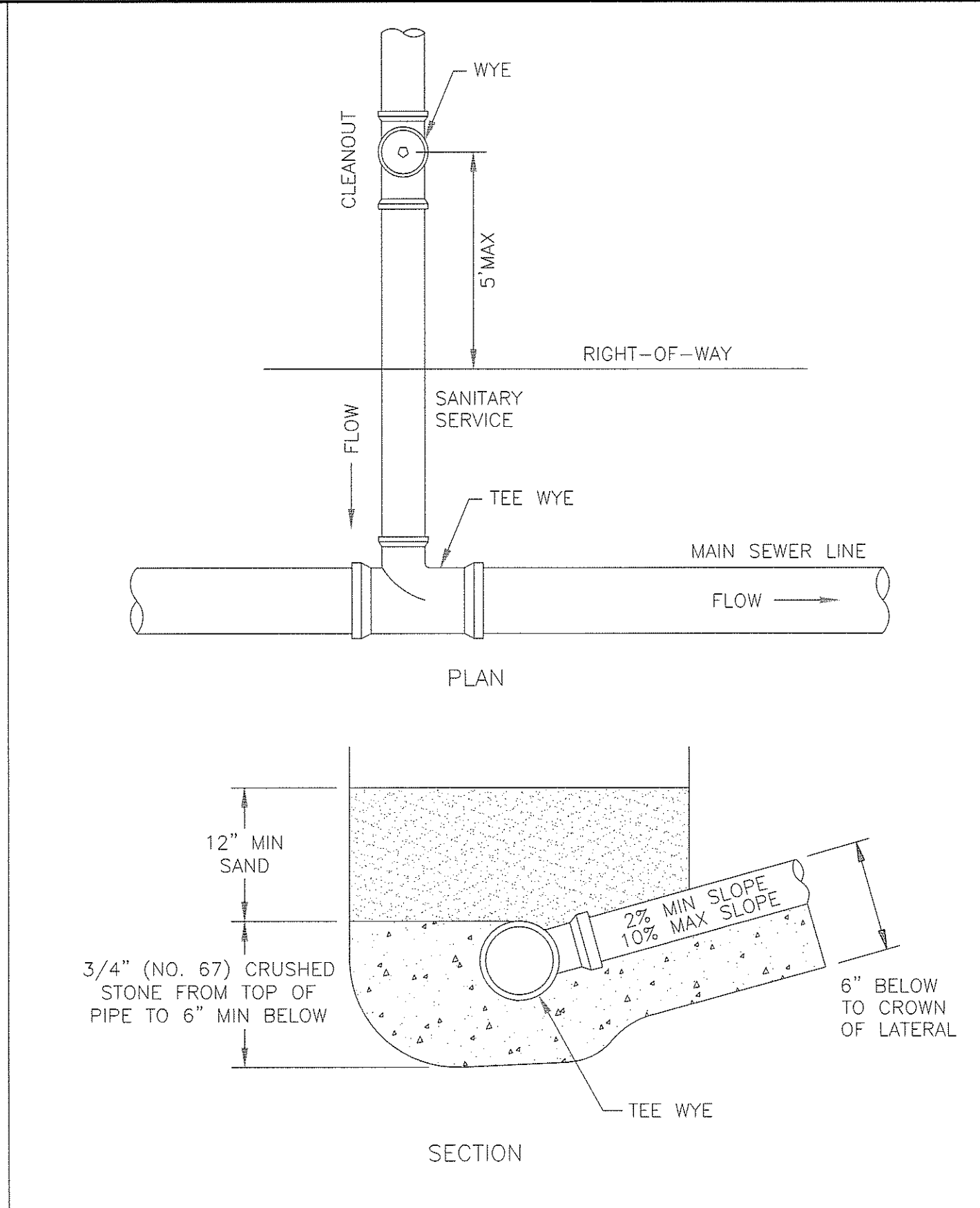
RT2_RDWR-Sawcut_8.dwg



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: SEWER	
1	STANDARD REF.	3/19	SANITARY SEWER MAIN/SERVICE TRENCH	DRAWING NO.	SM-1
-	-	-		DATE: 08/13	PAGE: 1
-	-	-			
-	-	-			
-	-	-			

SM1_SEWR-Trench_3.dwg

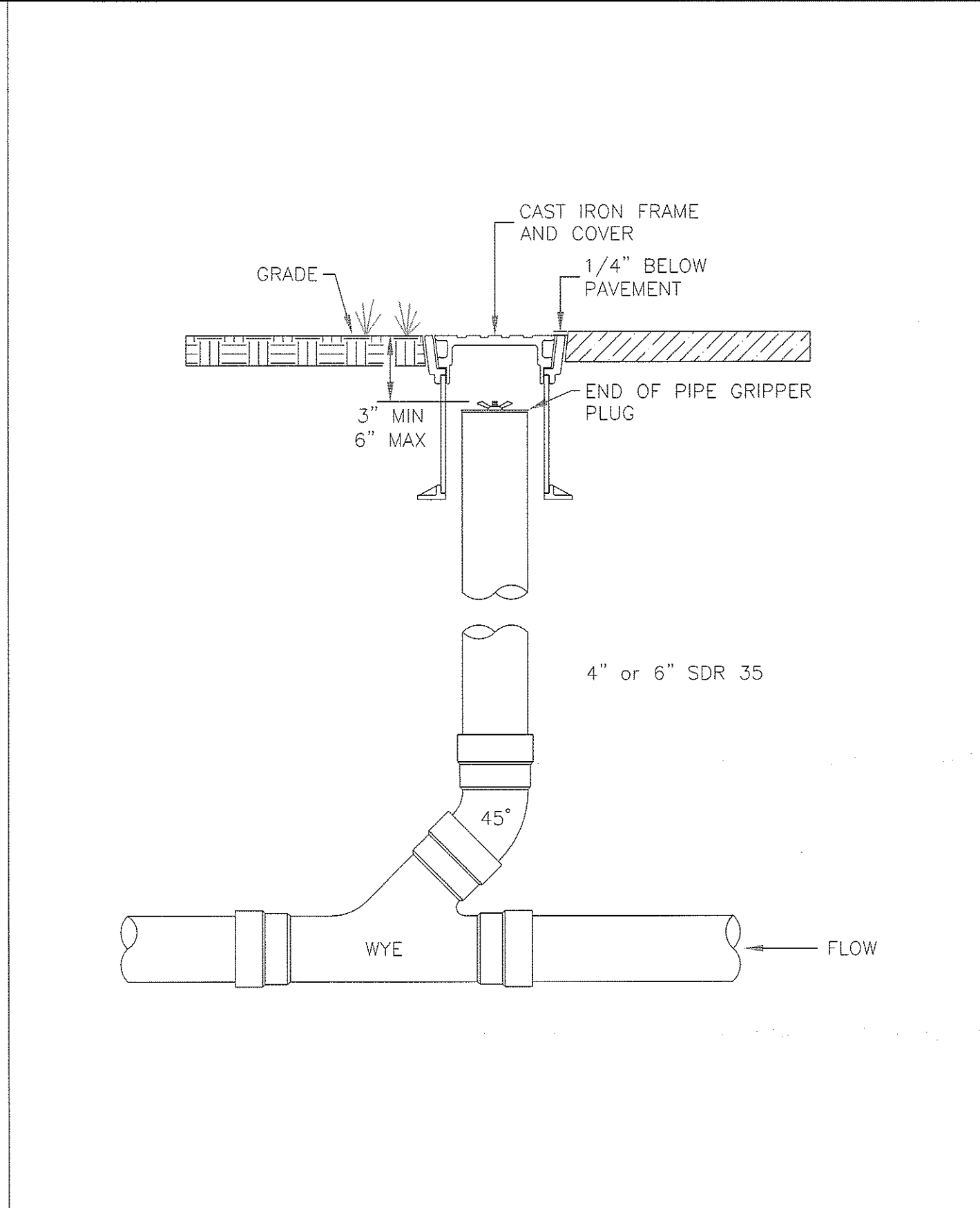
SM1_SEWR-Trench_3.dwg



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: SEWER
1	STONE & DIMS	3/19	SEWER SERVICE CONNECTION AT MAIN	DRAWING NO. SS-1
-	-	-		DATE: 12/08
-	-	-		PAGE: 1
-	-	-		
-	-	-		

SS1_SEWR-Service Connection.dwg

SS1_SEWR-Service Connection.dwg



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER
-	-	-	CLEANOUTS ON SERVICE LATERALS	DRAWING NO.	SS-3
-	-	-		DATE: 12/08	PAGE: 1
-	-	-			
-	-	-			
-	-	-			

SS3_SEWR-Cleanout_1.dwg

SS3_SEWR-Cleanout_1.dwg

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 8. REVISED FOR CMP PLAN SET 02/09/2024 (JMJ)
 9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

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CONSTRUCTION

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ARTS ALLEY LLC
P.O. BOX 1438
CONCORD, NH 03302

SITE
ARTS ALLEY
20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38
22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37

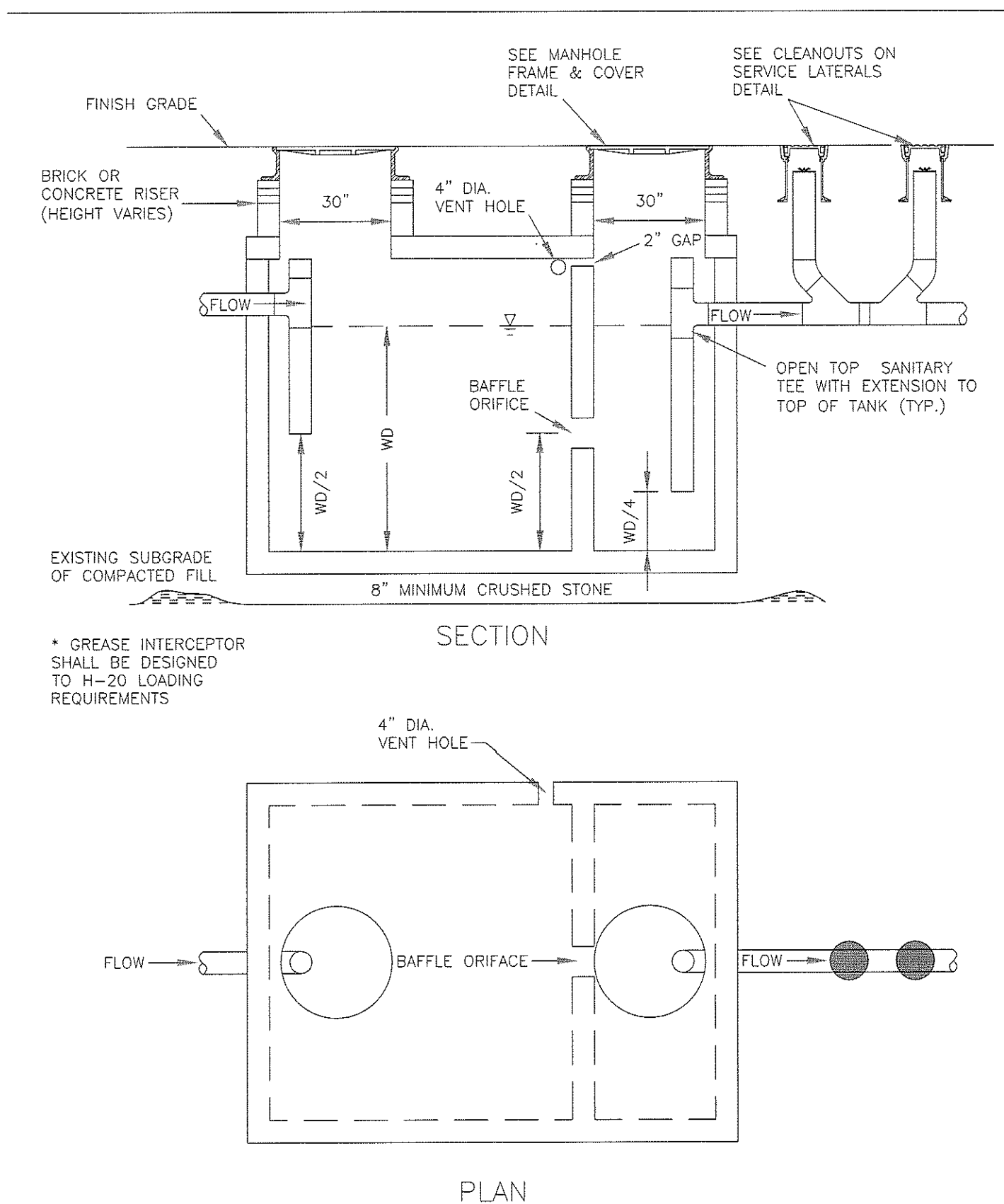
DRAWING TITLE
CONSTRUCTION DETAILS

SCALE	N.T.S.	DATE	07/20/2022
DRAFTED BY	RSR	CHECKED BY	CAT
PROJECT MGR	ERL	PROJECT NO.	ARTS0001

ENGINEER ERIN R. LAMBERT
NH P.E. #11057

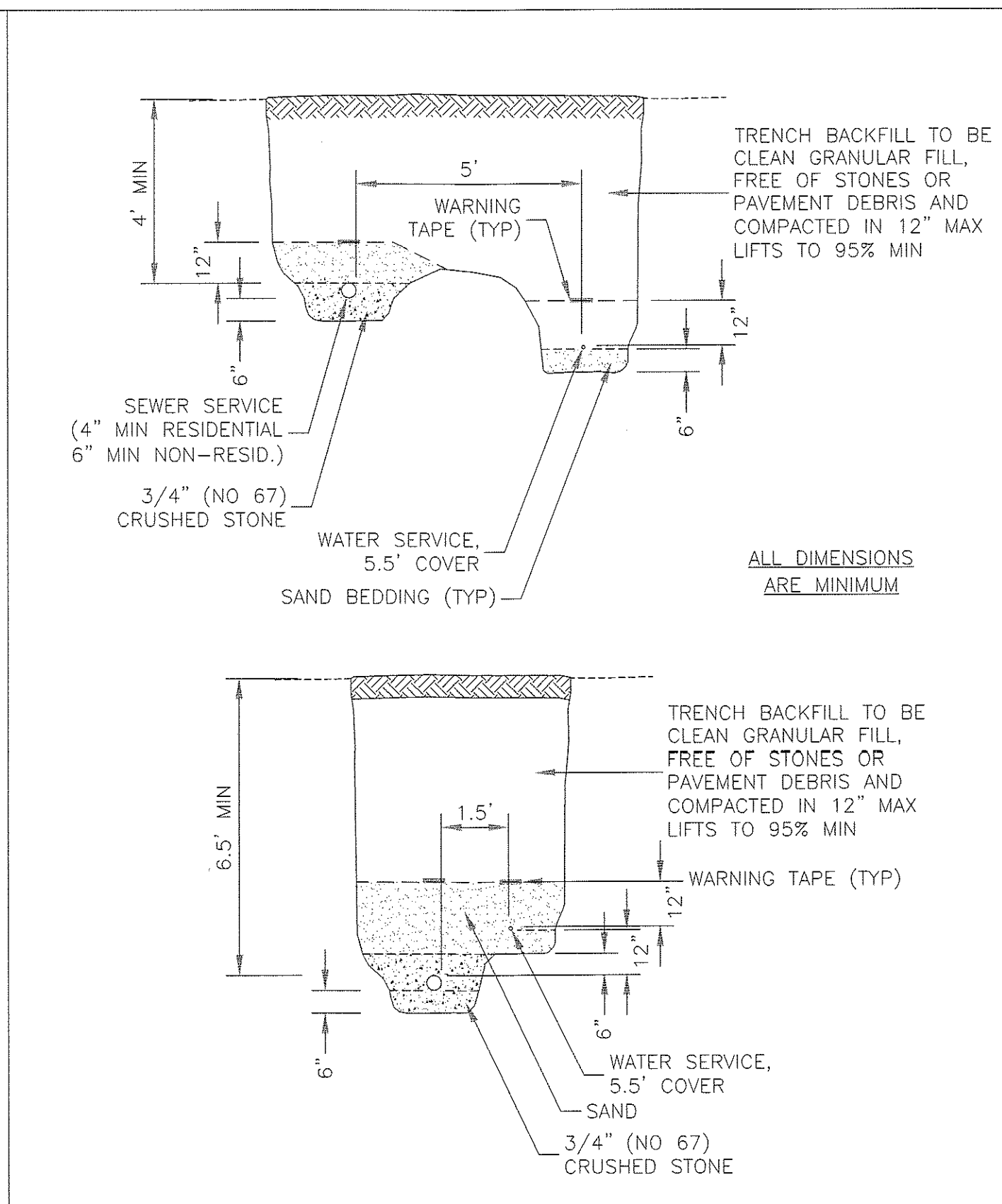
C5.2

11 OF 19



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER
-	-	-	TYPICAL EXTERNAL GREASE INTERCEPTOR	DRAWING NO.	SS-8
-	-	-		DATE:	PAGE: 1
-	-	-			
-	-	-			
-	-	-			
APPROVED BY:					
SS8 SEWER-Typical External Grease Interceptor.dwg					

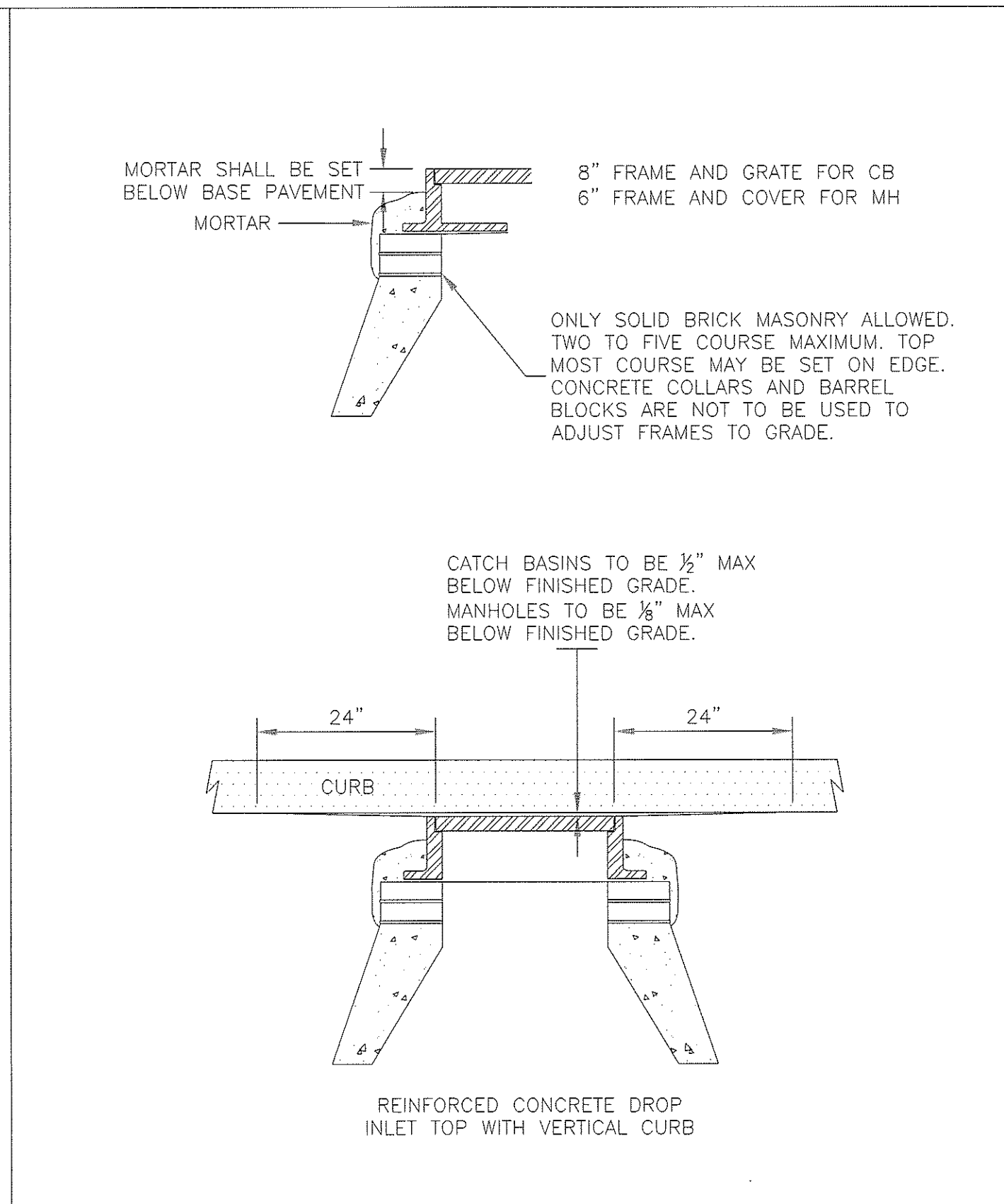
SS8_SEWR-Typical External Grease Interceptor.dwg



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: SEWR-WATR	
--	--	--	WATER AND SEWER SERVICE TRENCH	DRAWING NO. SS-7	
--	--	--		DATE: 03/15	PAGE: 1
--	--	--			
--	--	--			
--	--	--			

SS7_SEWR-Service Trench_3.dwg

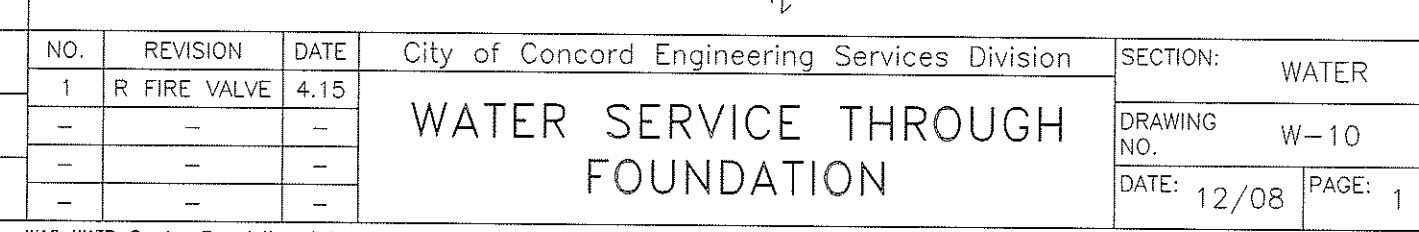
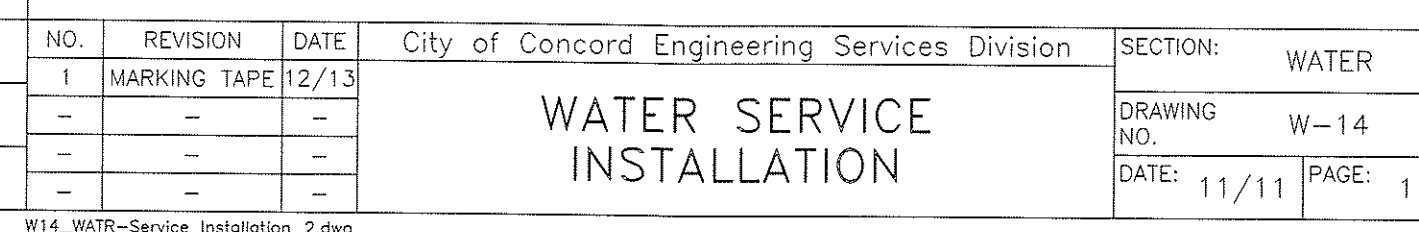
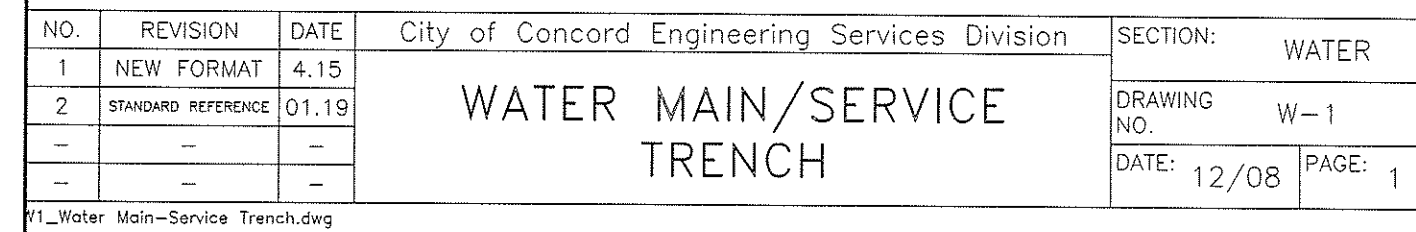
SS7_SEWR-Service Trench_3.dwg



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: SEWER/STORM
1	DRAFTING	4.15	ADJUSTING FRAMES TO GRADE	DRAWING NO. SD-5
-	-	-		DATE: 12/08
-	-	-		PAGE: 1
-	-	-		
-	-	-		

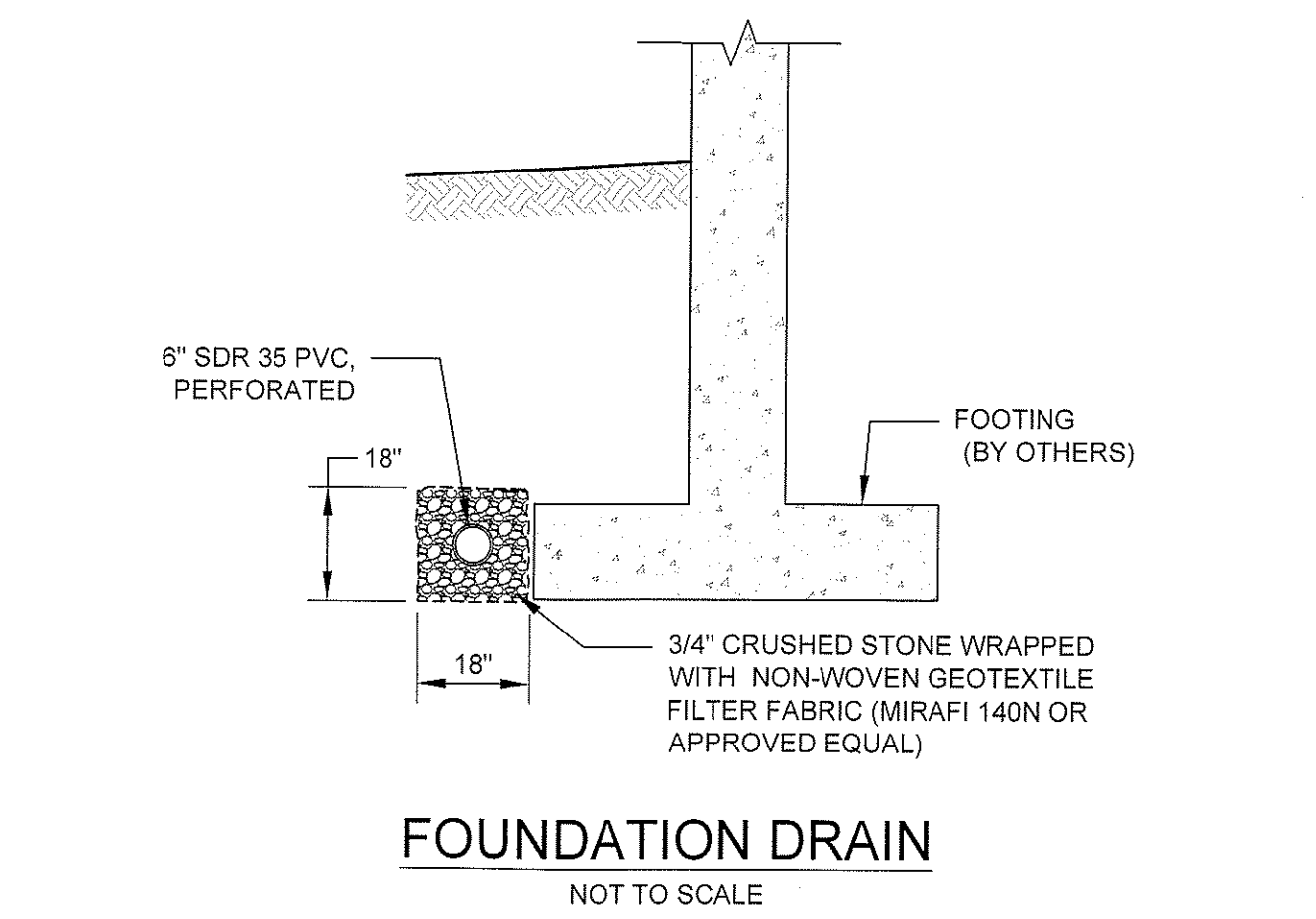
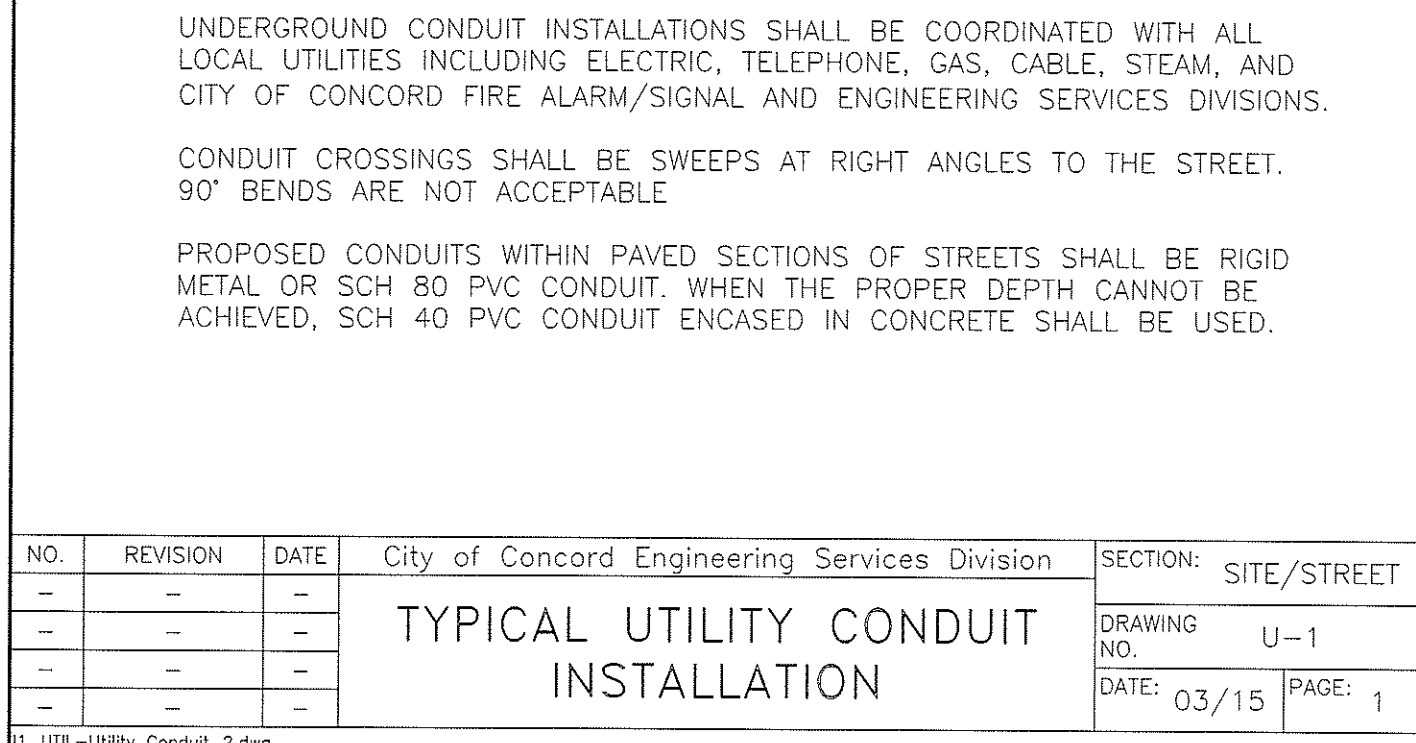
SDS_STRM-Adj Frames to Grade_13.dwg

SD5_STRM-Adj Frames to Grade_1.5.dwg



REVISION HISTORY

1. REVISED PER BUILDING UPDATE 11/16/2022 (GAG)
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[illegible]

PIPE SIZE (IN)				SOFT WET CLAY, SAND OR SILT	DRY SAND	COMPACT COARSE SAND OR GRAVEL, HARPAN
DEAD END OR TEE						
8 OR LESS	15	5	4			
10	24	8	6			
12	34	11	8			
16	60	20	15			
20	84	31	24			
24	138	46	34			
1/4 BEND						
8 OR LESS	21	7	5			
10	33	11	8			
12	48	16	12			
16	85	28	21			
20	133	44	33			
24	192	64	48			
1/8 BEND						
8 OR LESS	12	4	3			
10	18	6	5			
12	26	9	7			
16	46	15	12			
20	72	24	18			
24	104	35	26			
D1/16 BEND						
8 OR LESS	6	2	2			
10	9	3	2			
12	13	4	3			
16	24	8	6			
20	37	12	9			
24	53	18	13			

THRUST BLOCK TABLE NOTES

1. FIGURES BASED ON 300 PSI
2. FOR PIPES NOT LISTED USE NEXT LARGER PIPE SIZE
3. WHEN MORE THAN ONE SOIL TYPE IS ENCOUNTERED, THE ONE WITH LEAST BEARING CAPACITY SHALL BE USED
4. RETAINING RODS OR RESTRAINED JOINT PIPE, AS APPROVED BY ENGINEER, SHALL BE USED IN PLACE OF THRUST BLOCKS WHEN MUCK IS ENCOUNTERED.

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OWNERS AND/OR LESSEES REMAIN OUT OF OR RESULTING THEREFROM.

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SITE

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20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38

22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37

DRAWING TITLE

CONSTRUCTION DETAILS

SCALE N.T.S.		DATE 07/20/2022	
DRAFTED BY RSR	CHECKED BY CAT	PROJECT MGR ERL	PROJECT NO. ARTS0001

	SHEET NO. <div style="font-size: 48pt; font-weight: bold; text-align: center;">C5.3</div>
	<div style="font-size: 24pt; font-weight: bold; text-align: center;">12 OF 19</div>

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 9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

ISSUED FOR

CONSTRUCTION

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OWNER

**20 SOUTH MAIN STREET LLC
P.O. BOX 1438
CONCORD, NH 03302**

**ARTS ALLEY LLC
P.O. BOX 1438
CONCORD, NH 03302**

SITE

ARTS ALLEY

**20 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 38**

**22 SOUTH MAIN ST
CONCORD, NH 03301
MAP 7412Z, LOT 37**

DRAWING TITLE

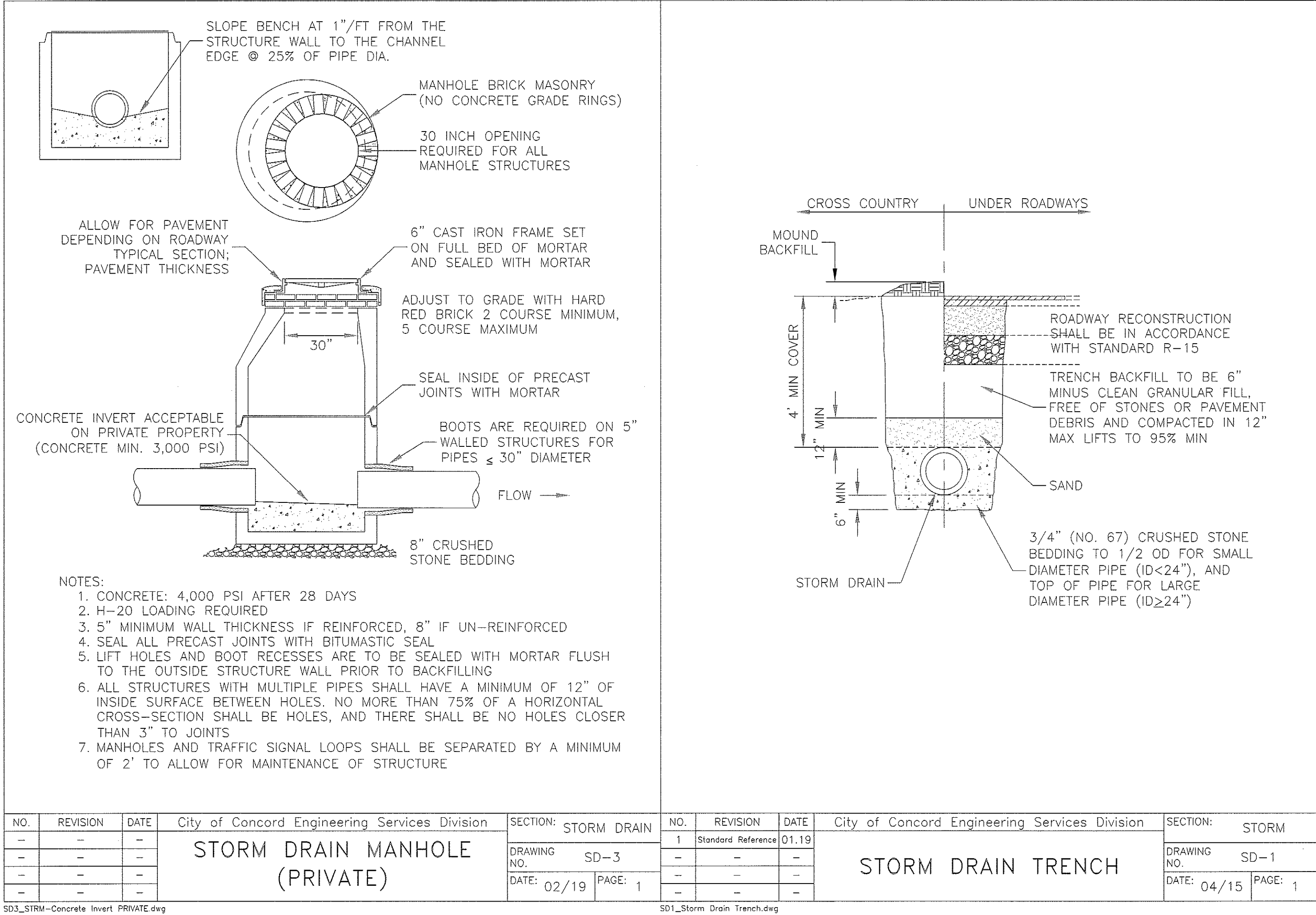
**CONSTRUCTION
DETAILS**

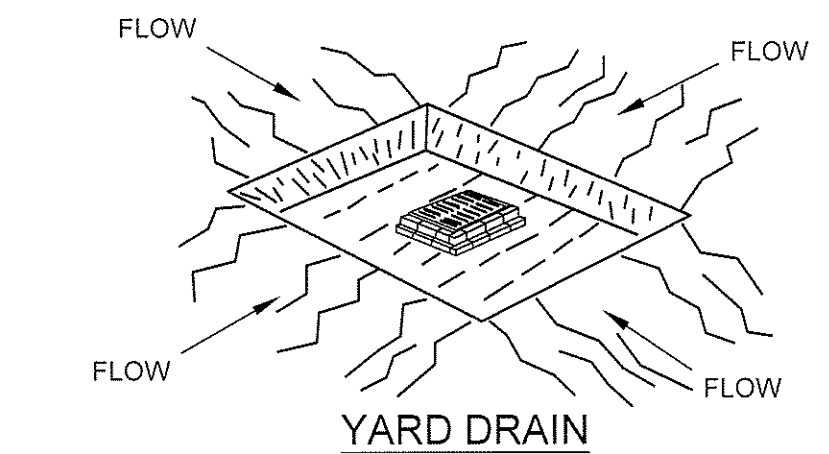
SCALE		DATE	
N.T.S.		07/20/2022	
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	CAT	ERL	ARTS0001

STATE OF NEW HAMPSHIRE
ERIN R. LAMBERT
No. 11057
LICENSED PROFESSIONAL ENGINEER
ENGINEER ERIN R. LAMBERT
NH P.E. #11057

C5.4

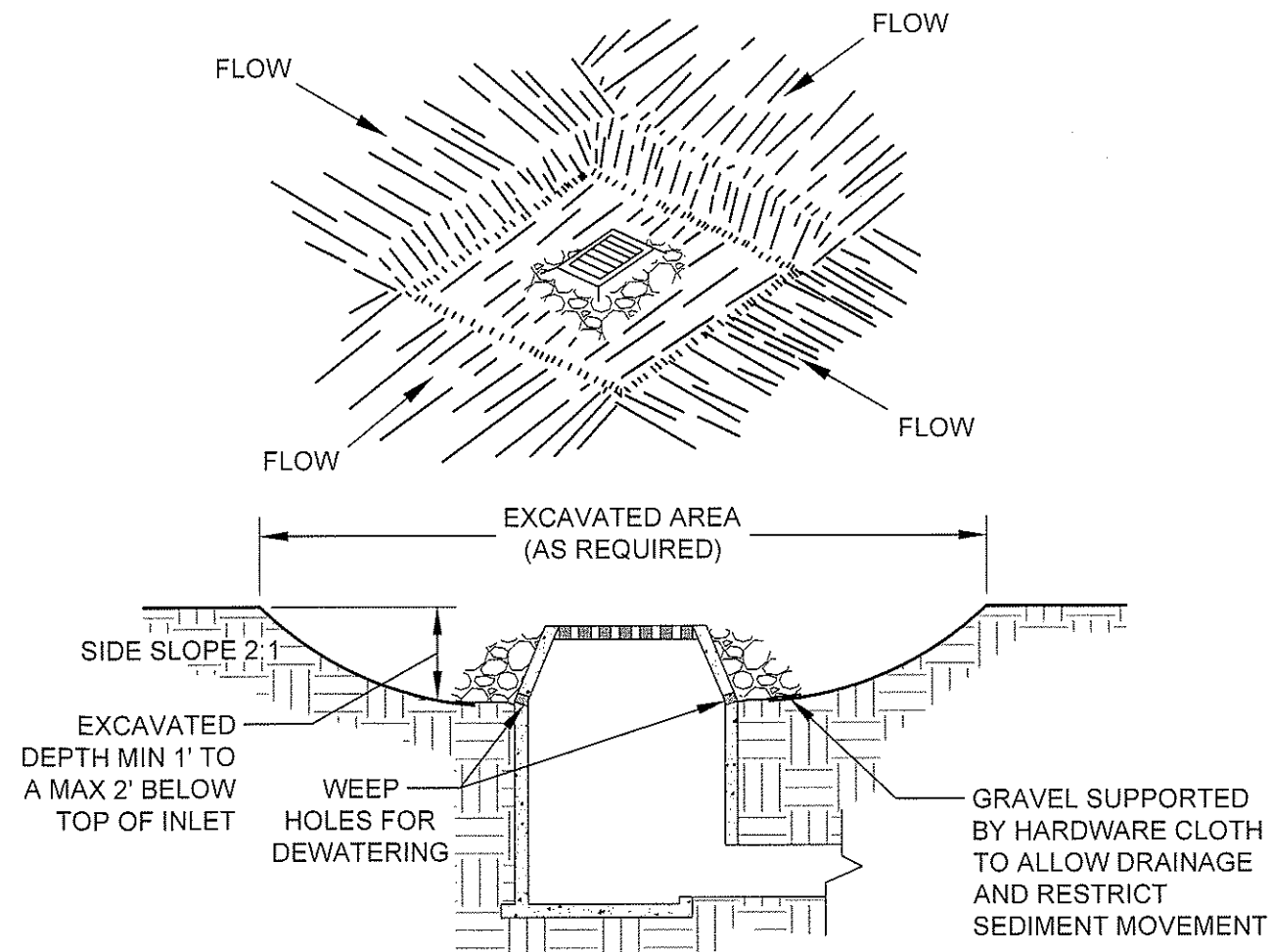
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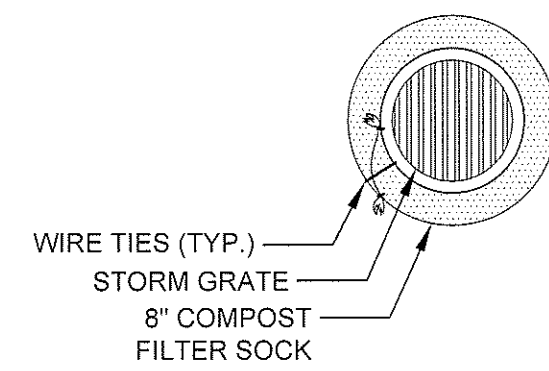
CATCH BASIN SEDIMENT TRAP
NOT TO SCALE

- NOTES:
1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO $\frac{1}{2}$ THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
 2. THE VOLUME OF SEDIMENT STORAGE SHALL BE 3,600 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
 3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
 5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
 6. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.

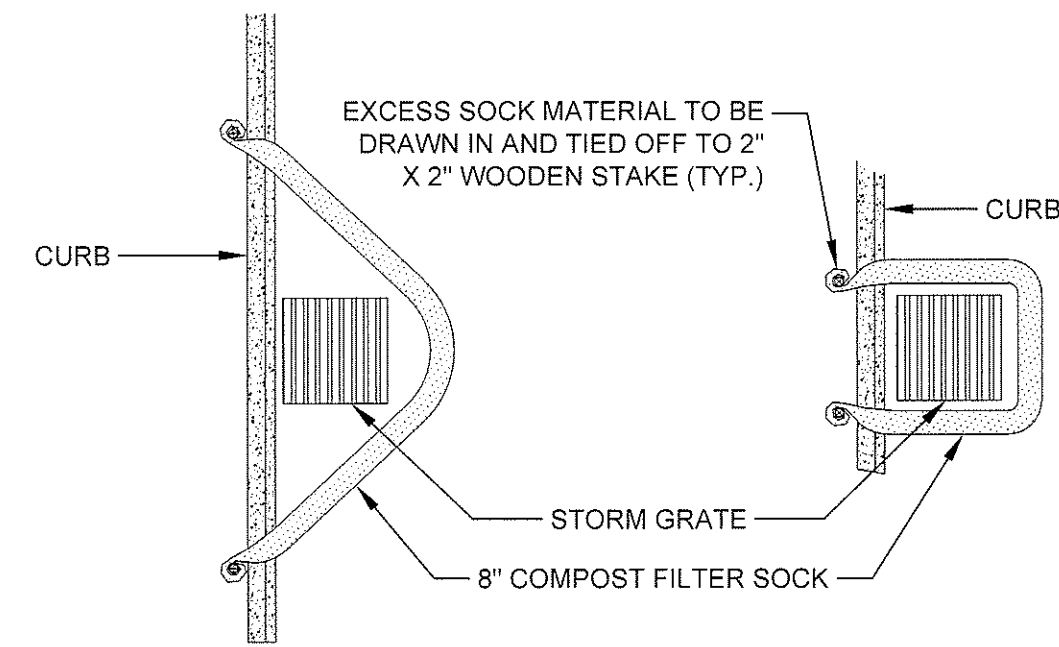


EXCAVATED DROP INLET PROTECTION
NOT TO SCALE

- NOTES:
1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
 2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
 3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
 4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

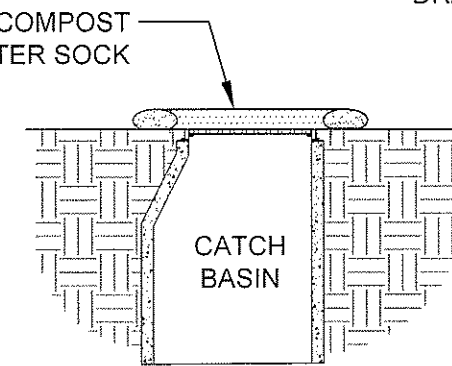


DRAIN INLET PLAN

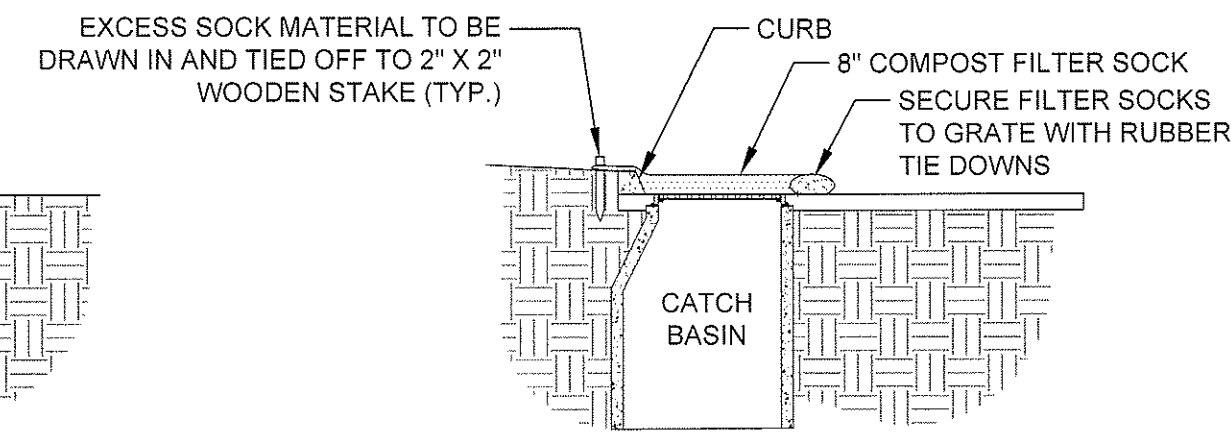


CURBSIDE OPTION
"A" PLAN

CURBSIDE OPTION
"B" PLAN



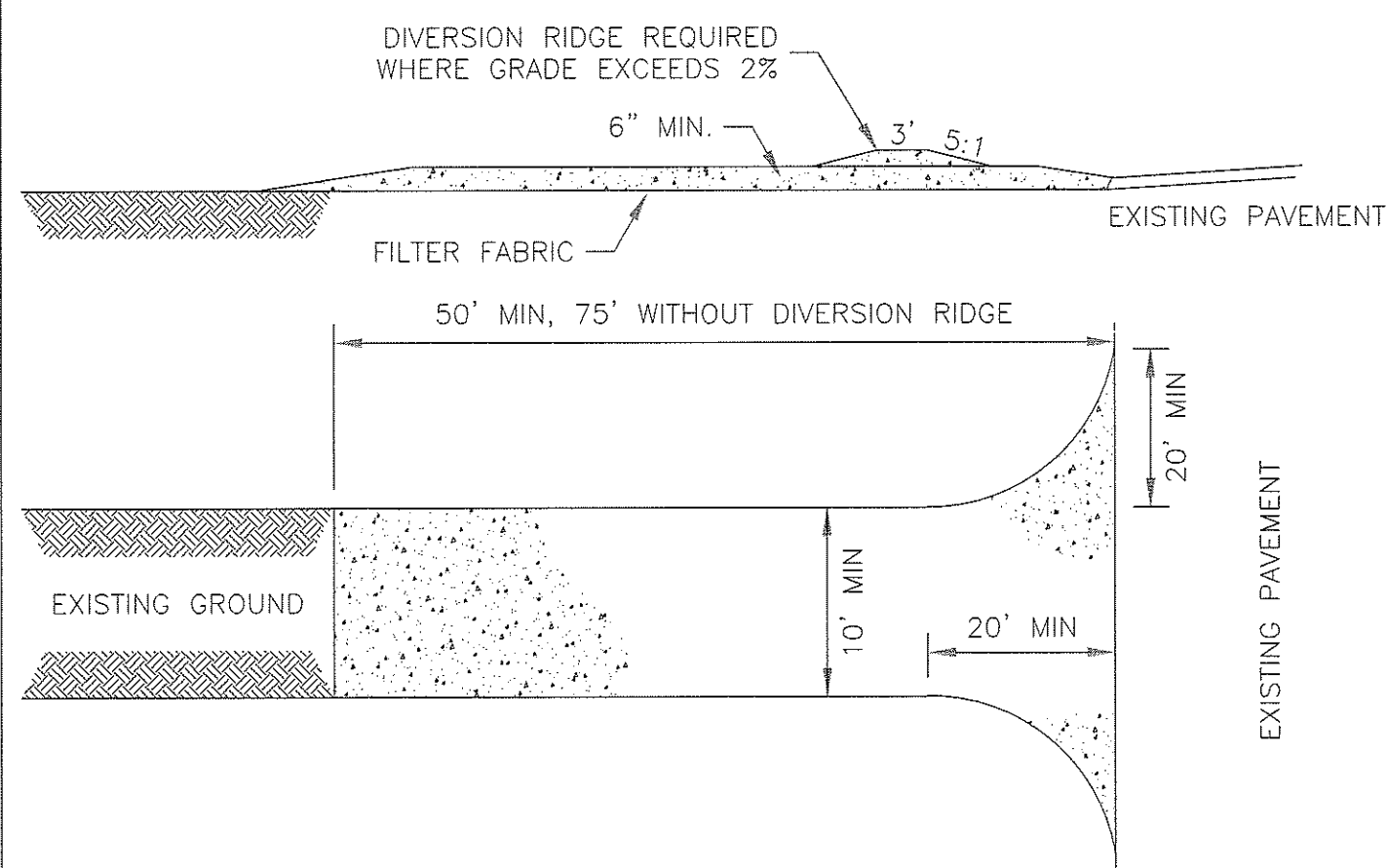
DRAIN INLET SECTION



CURBSIDE SECTION

FILTER SOCK SEDIMENT CONTROL INLET PROTECTION
NOT TO SCALE

- NOTES:
1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
 2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

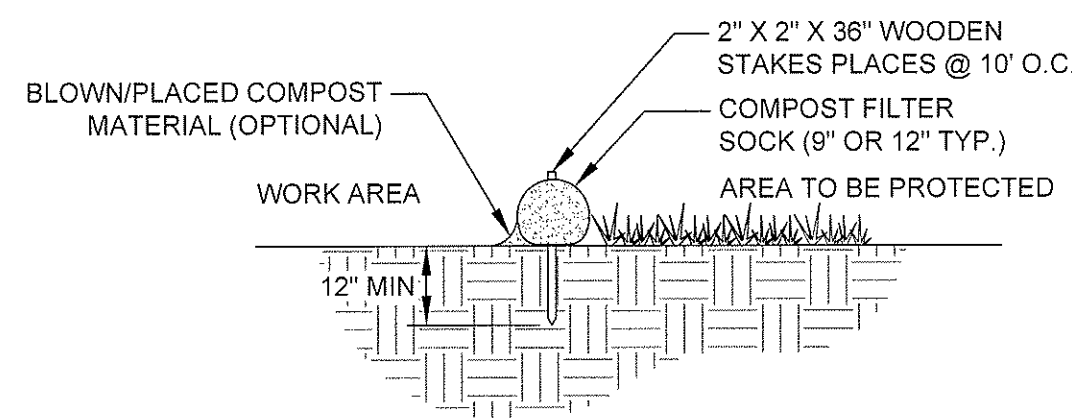


CONSTRUCTION REQUIREMENTS

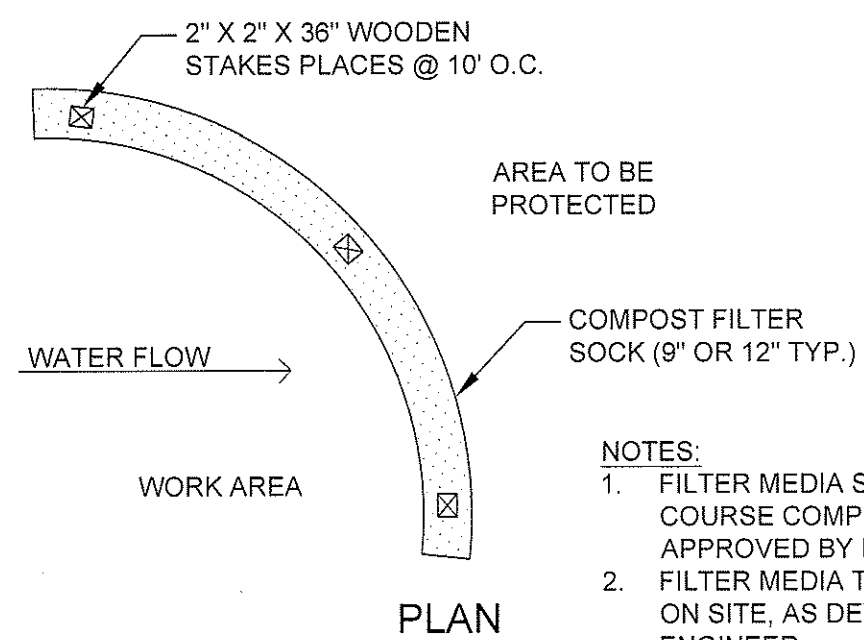
1. STONE SIZE - 3" COARSE AGGREGATE.
2. THICKNESS - 6" MIN
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. LENGTH - NOT LESS THAN 50', EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MIN LENGTH WOULD APPLY.
7. WIDTH - 10' MIN, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
8. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
9. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
10. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
11. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	EPSC
-	-	-	CONSTRUCTION ENTRANCE DETAIL	DRAWING NO.	E-1
-	-	-		DATE:	01/08
-	-	-		PAGE:	1

E1-E3_EPSC-Detail.dwg



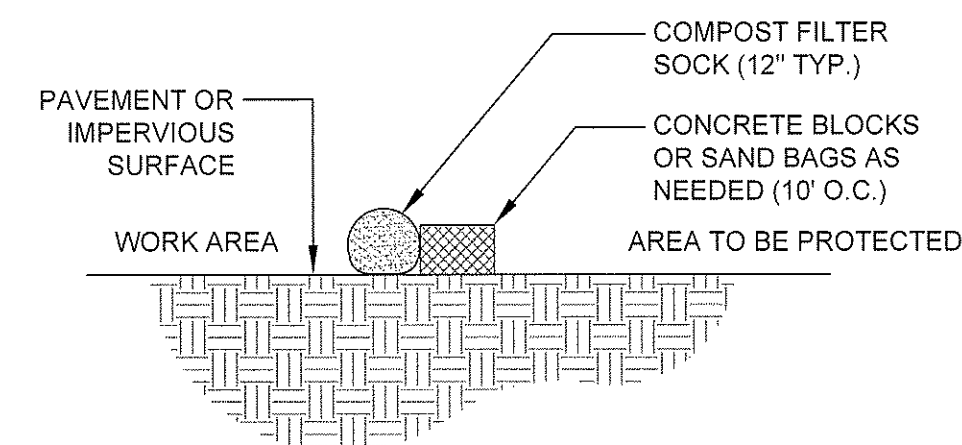
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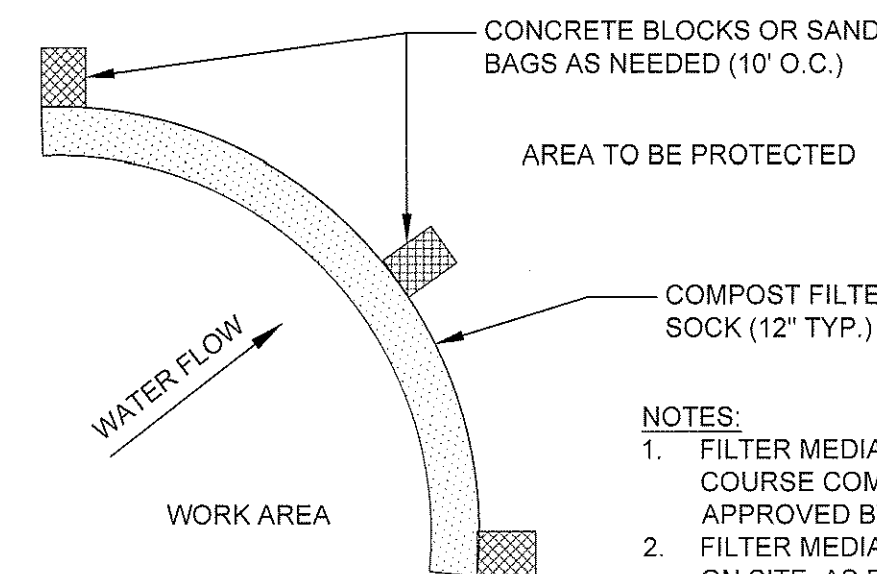
PLAN

FILTER SOCK SEDIMENT CONTROL
NOT TO SCALE

- NOTES:
1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
 2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



CROSS SECTION



PLAN VIEW

FILTER SOCK SEDIMENT CONTROL
ON PAVEMENT
NOT TO SCALE

- NOTES:
1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
 2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

- REVISION HISTORY
1. REVISED PER BUILDING UPDATE 11/16/2022 (GAG)
 2. REVISED PER CITY COMMENTS 11/28/2022 (JMJ)
 3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
 4. AMENDED SITE PLANS 04/18/2023 (RSR)
 5. REVISED PER BUILDING UPDATES 12/19/2023 (JMJ)
 6. REVISED PER CITY COMMENTS 01/17/2024 (JMJ)
 7. REVISED TO ADD NEW TRANSFORMER 01/30/2024 (ERL)
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ISSUED FOR
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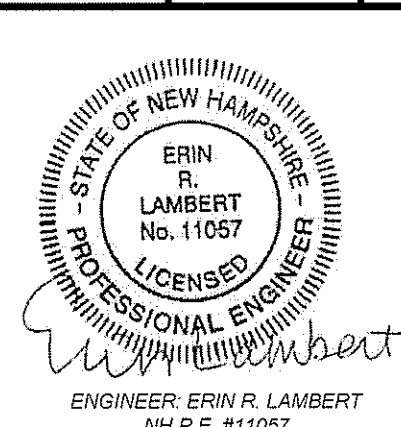
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SITE
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DRAWING TITLE
**EROSION
CONTROL DETAILS**

SCALE	N.T.S.	DATE	07/20/2022
DRAFTED BY	RSR	CHECKED BY	CAT
PROJECT MGR	ERL	PROJECT NO.	ARTS0001



C5.5

4321-14

LOW-VOLTAGE KEY	QUANTITY	SYMBOL
BOLLARD LIGHTS	12	
ROWAN DIRECTIONAL UPLIGHT	8	
LED CLIFF COPING LIGHT BY ILLUMICARE	8	
LOW VOLTAGE TRANSFORMER (LOCATION TBD)	TBD	
BUILDING SCONCE	5	
WALL PACK	4	
DOWN LIGHT IN CANOPY	11	

INSTALL LINEA LARGE RECTANGLE CONCRETE PAVERS BY TECO-BLOC, WITH RADIANT HEATING (SEE DETAIL) SET IN RUNNING BOND PATTERN, 90% SHALE GREY, 10% ONYX BLACK - RANDOM LAYOUT FOR ONYX BLACK - SET INDIVIDUAL PAVERS AT LEAST TWO COURSES FROM ANOTHER - VERIFY FINAL LAYING PATTERN IN FIELD WITH LANDSCAPE ARCHITECT APPROVAL

PREPARE ALL RAISED PLANTER BEDS WITH PLANTING SOIL MIX AND INSTALL NEW ORNAMENTAL PLANTINGS - SEE SCHEDULE

INSTALL DOWN LIGHTS IN CANOPY - TYP.

INSTALL BUILDING SCONCES AT BUILDING ENTRANCE

INSTALL VERTICAL GRANITE CURBING (TYP.) TO DEFINE ALL PROPOSED RAISED PLANTER BEDS - NOTE: ALL CURVES TO HAVE 4'-0" RADIUS

INSTALL LOW-VOLTAGE LANDSCAPE LIGHTING FIXTURES (SEE KEY)

INSTALL DOUBLE FACED SEAT WALL - MATERIAL TO BE BRANDON WALL BY TECO-BLOC, CHAMPLAIN GREY COLOR WITH BRANDON WALL CAP, MIX OF SIZES 90MM & 180MM

INSTALL UNDERGROUND PVC SLEEVES BETWEEN ALL RAISED PLANTER BEDS FOR L.V. WIRING

USE RECLAIMED GRANITE TO CREATE PLANTER EDGE AND SEAT WALL - SET TOP OF GRANITE 1'8" FROM PATIO HEIGHT

TOPDRESS AREA BETWEEN BUILDING AND RETAINING WALL WITH CRUSHED STONE (TYP.)

PLANTING SCHEDULE

TREES	SIZE	QTY	SYMBOL
<i>Carpinus caroliniana</i> 'Palisade' / Palisade American Hornbeam	2.5-3" CAL.	1	CC
<i>Maackia amurensis</i> / Amur Maackia	2.5-3" CAL.	1	MA
<i>Malus</i> 'Spring Snow' / Spring Snow Crabapple	2.5-3" CAL.	1	MS
SHRUBS	SIZE	QTY	SYMBOL
<i>Cornus sericea</i> 'Arctic Fire' / Arctic Fire Red-Osier Dogwood	3'-4" B&B	2	CS
<i>Fothergilla gardenii</i> / Dwarf Fothergilla	2-2.5'	11	FG
<i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Panicle Hydrangea	2.5-3" B&B	7	LL
<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Panicle Hydrangea	2.5-3" B&B	9	LQ
<i>Ilex glabra</i> 'Compacta' / Compact Inkberry	3'-4" B&B	3	IG
<i>Syringa patula</i> 'Miss Kim' / Miss Kim Lilac	3'-4" B&B	2	SP
<i>Viburnum carlesii</i> 'Compacta' / Dwarf Mayflower Viburnum	3'-4" B&B	4	VC
GRASSES	SIZE	QTY	SYMBOL
<i>Panicum virgatum</i> 'Heavy Metal' / Heavy Metal Switch Grass	#1	7	PV
<i>Pennisetum alopecuroides</i> 'Little Bunny' / Little Bunny Dwarf Fountain Grass	#1	29	LB
PERENNIALS	SIZE	QTY	SYMBOL
<i>Geranium</i> 'New Hampshire Purple' / New Hampshire Purple Cranesbill	#1	15	NH
<i>Hemerocallis</i> 'Happy Returns' / Happy Returns Daylily	#1	11	DL
<i>Hosta</i> 'Guacamole' / Guacamole Plantain Lily	#1	15	HG
<i>Iris siberica</i> 'Concord Crush' / Concord Crush Siberian Iris	#1	11	IS
<i>Nepeta</i> 'Walker's Low' / Walker's Low Catmint	#1	31	WL
<i>Rudbeckia flugida</i> 'Little Goldstar' / Little Goldstar Black-Eyed Susan	#1	10	RF

INSTALL WALL PACK ABOVE DINER DOOR.

INSTALL WALL PACK ABOVE EGRESS DOORS

INSTALL BRANDON RETAINING WALL BY TECO-BLOC, CHAMPLAIN GREY COLOR WITH BRANDON WALL CAP, MIX OF SIZES 90MM & 180MM - SEE LAYING PATTERN FOR DETAILS & CIVIL DRAWINGS FOR WALL HEIGHTS

GENERAL NOTES:

1. BASE PLAN DEVELOPED FROM INFORMATION PROVIDED BY WILCOX & BARTON INC., DRAWING TITLE, "SITE PLAN" DATED: 06/09/2022.
2. VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION. VERIFY FIELD CONDITIONS RELATING TO WORK TO BE INSTALLED. NOTIFY LANDSCAPE ARCHITECT OF ANY UNUSUAL OR DIFFICULT CONDITIONS IN A TIMELY FASHION PRIOR TO CONSTRUCTION CONCERNING THE CONDITION IN QUESTION.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF CONCORD AND STATE OF NEW HAMPSHIRE. NOTIFY APPROPRIATE AGENCIES AT LEAST 48 HOURS PRIOR TO PERFORMING THE WORK UNDER THEIR JURISDICTION.
4. CONTRACTOR IS RESPONSIBLE FOR SECURING AND PAYING FOR ALL CONSTRUCTION PERMITS AND LICENSES REQUIRED TO COMPLETE SITE WORK. CONTRACTOR IS RESPONSIBLE FOR ALL APPROPRIATE INSPECTIONS OF HIS/HER WORK.
5. ALL WORK SHALL BE OF WORKMANLIKE QUALITY AND IN CONFORMANCE WITH ALL APPLICABLE CODES. CONTRACTOR SHALL READ ALL ZONING AND ENVIRONMENTAL PERMITS WHICH PERTAIN TO THE PROJECT AND SHALL COMPLY WITH ALL THE CONDITIONS THEREIN.
6. NOTIFY LANDSCAPE ARCHITECT AT LEAST 72 HOURS PRIOR TO ANY ROUTINE REQUIRED FIELD OBSERVATION. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF THE LAYOUT OF ALL IMPROVEMENTS PRIOR TO CONSTRUCTION.
7. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE OR DISTURBANCE TO OTHER AREAS WHICH MAY OCCUR AS THE RESULT OF HIS/HER WORK WHETHER WITHIN OR OUTSIDE OF THE CONTRACT LIMIT LINES.
8. CONSTRUCTION SHALL FOLLOW THE SEQUENCES AND CONDITIONS ESTABLISHED IN THE SPECIFICATIONS AND PERMITS.
9. IT IS INTENDED THAT THE WORK BE EXECUTED IN ACCORDANCE WITH THE BEST CUSTOMARY BUILDING PRACTICES. IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST-CLASS WORK OR IF ERRORS, CONFLICTS OR DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, INFORM THE LANDSCAPE ARCHITECT IMMEDIATELY AND REQUEST INTERPRETATION BEFORE PROCEEDING WITH THE WORK.

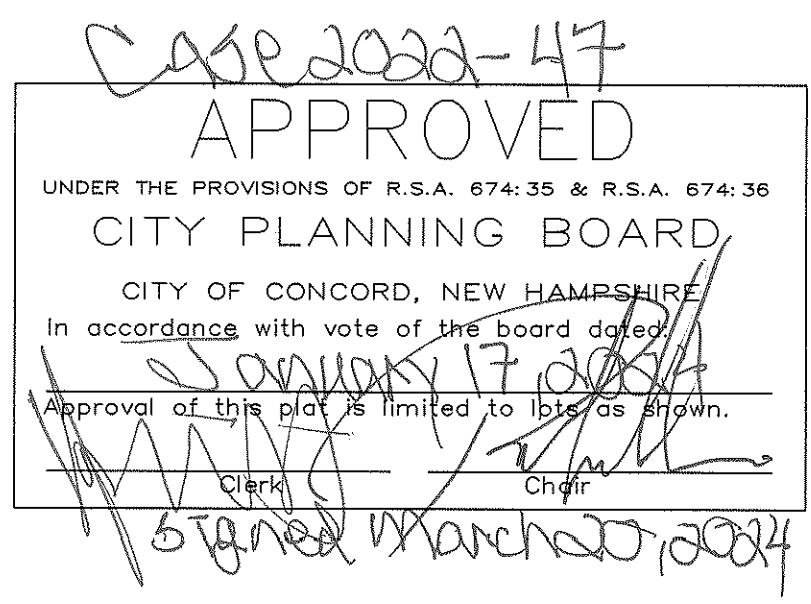
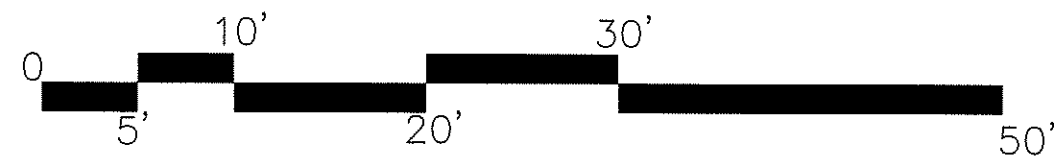
10. IF CONTRACTOR FAILS TO MAKE SUCH A STATEMENT AND REQUEST, NO EXCUSE WILL THEREAFTER BE ENTERTAINED, NOR ADDITIONAL EXPENSE BE ACCEPTED, FOR FAILURE TO CARRY OUT WORK IN A SATISFACTORY MANNER. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, CONTRACTOR IS DEEMED TO HAVE ESTIMATED ON THE MORE EXPENSIVE WAY OF DOING WORK UNLESS HE/SHE SHALL HAVE OBTAINED A WRITTEN DECISION, BEFORE SUBMITTING HIS BID, AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
11. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS AND EQUIPMENT STORED AT SITE.
12. EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY WORK.
13. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
14. VISIBLE EXISTING CONDITIONS WHERE FIELD LOCATED, AND UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. SITE SUBCONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, DIMENSIONS, AND GRADES PRIOR TO START OF ANY FOUNDATION OR UTILITY WORK.
15. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATION, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TERRAIN PLANNING & DESIGN LLC, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR, ENGINEER OR LANDSCAPE ARCHITECT HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
17. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE

APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.

18. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT. TERRAIN PLANNING & DESIGN LLC ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OF RECORD.
19. TERRAIN PLANNING & DESIGN LLC ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
20. BASE PREPARATION UNDER ALL HARD SURFACES TO BE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
21. SITE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE PRIOR TO ANY EXCAVATION, 1-888-DIG-SAFE.

PLANTING NOTES:

1. CONTRACTOR SHALL OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PURCHASING AND/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
2. CONSTRUCTION ACCESS WILL BE AS DIRECTED BY LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
3. LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY LANDSCAPE ARCHITECT ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
4. CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE LANDSCAPE ARCHITECT.



REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY LANDSCAPE ARCHITECT.

6. ALL BEDS TO BE MULCHED WITH 4" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
7. CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

TREE PROTECTION NOTES:

1. DIAMETER OF PROTECTION ZONE SHOULD BE ONE FOOT FOR EACH INCH OF TRUNK DIAMETER BREAST HEIGHT OR 1/2 HEIGHT OF TREE, WHICHEVER IS GREATER. FOR 2 INCH CALIPER TREES OR SMALLER, THE PROTECTION ZONE SHALL BE 6 FOOT MINIMUM DIAMETER.
2. TEMPORARY FENCING (6 FT HIGH) SHALL BE PLACED AT THE DRIFLINE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE THE TREE(S). TO INSTALL FENCE POSTS, AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
3. DEAD TREES, SCRUB, OR UNDERGROWTH SHALL BE CUT FLUSH WITH ADJACENT GRADE. THERE WILL BE NO SOIL DISTURBANCE UNDER THE DRIP LINE OF TREES TO BE PRESERVED.
4. PLACE 6 INCHES OF BARK MULCH AT AREAS NOT PROTECTED BY BARRIER.
5. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER ONE INCH IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHOULD BE TEMPORARILY COVERED WITH DAMP BURLAP AND COVERED WITH SOIL OR MULCH AS SOON AS POSSIBLE TO PREVENT DRYING.
6. NO EQUIPMENT OR MACHINERY SHALL BE USED WITHIN THE PROTECTION FENCE. WORK WITHIN THE PROTECTION ZONE SHALL BE DONE MANUALLY.
7. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE IS ALLOWED WITHIN THE LIMIT OF FENCING.
8. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY CITY-OWNED STREET TREES IF THEY ARE DAMAGED OR DECLINE DURING CONSTRUCTION.



311 kast hill road
hopkinton nh 03229
603. 746. 3512
terrainplanning.com

ARTS ALLEY

Site Location:
20 & 22 South Main Street
Concord, NH 03301
Tax Map: 7412Z
Lot #: 37

Prepared For:
Wilcox & Barton Inc.
2 Capital Plaza, Suite 305
Concord, NH 03301

LANDSCAPE PLAN

DATE: 06 - 30 - 22

SCALE: 1" = 10'

PROJECT #: 2254

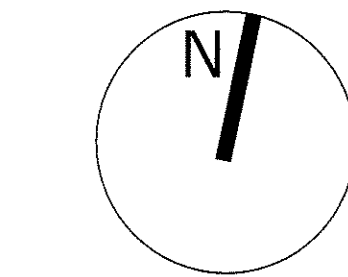
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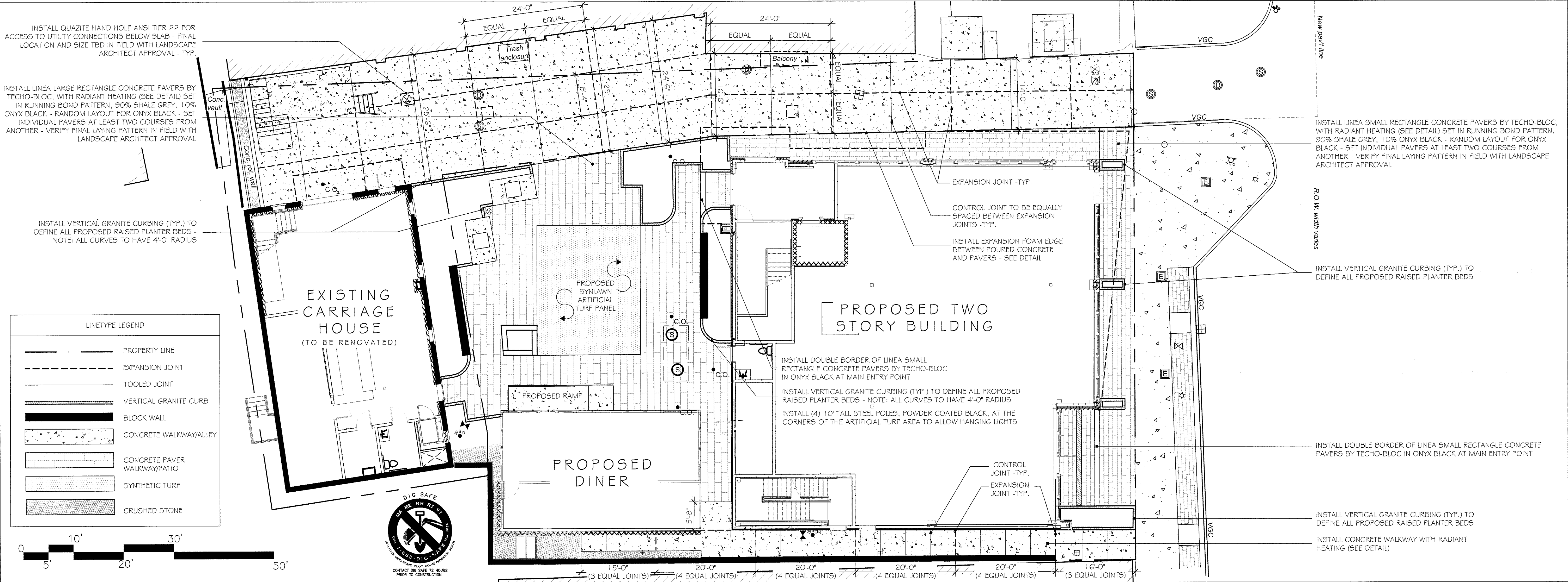
REVISIONS:	DATE:
Issued for Client Review	07-07-22
REVISED for Client Review	
	09-15-22
Added plant list	10-20-22
Revised per Comments	11-21-22
Revised per City comments	
	01-25-23
	04-28-23
Issued for Client Review	11-28-23
Issued for Submission	12-08-23
	12-18-23
Revised	01-11-24
Revised for GMP	01-24-24
Revised per basement	02-09-24

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4321-15



terrain
planning & design llc

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Concord, NH 03301

FLATWORK PLAN

DATE: 06 - 30 - 22

SCALE: 1" = 10'

PROJECT #: 2254

Drawn By: ID

Checked By: ERB

REVISIONS:	DATE:
Issued for Client Review	07-07-22
REVISED for Client Review	
	09-15-22
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Revised per Comments	11-21-22
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	01-25-23
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Revised	01-11-24
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Revised per basement	02-09-24

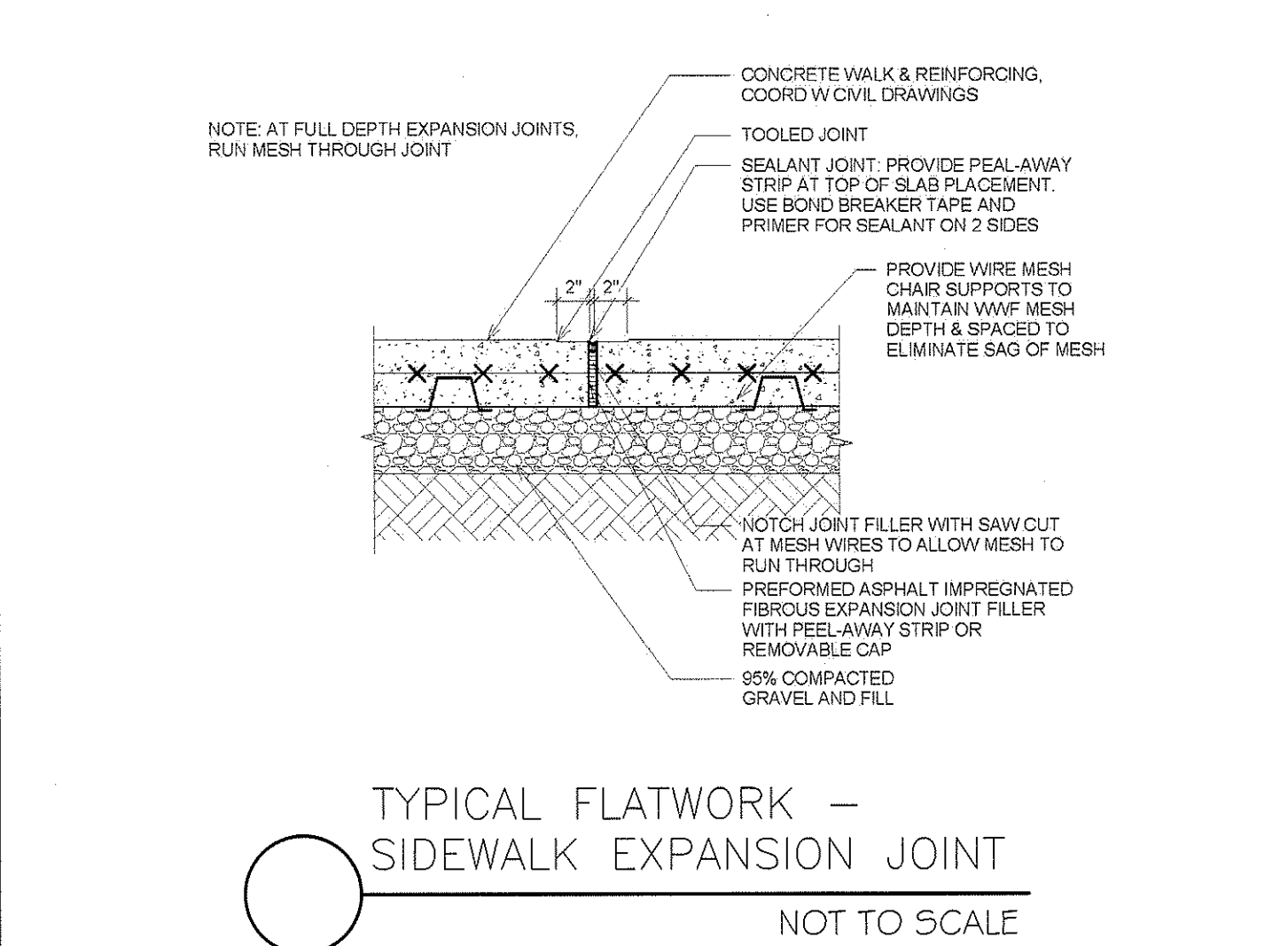
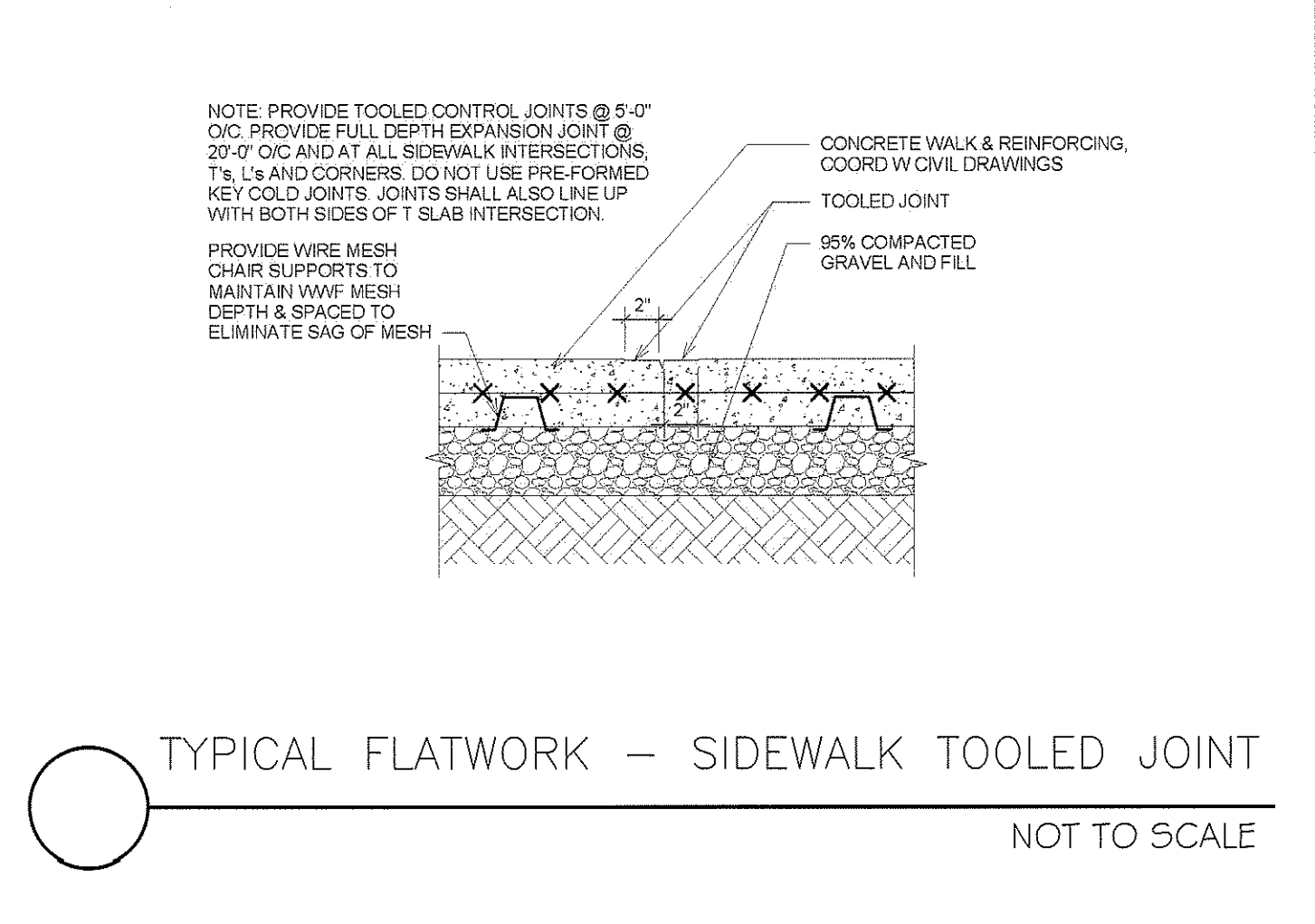
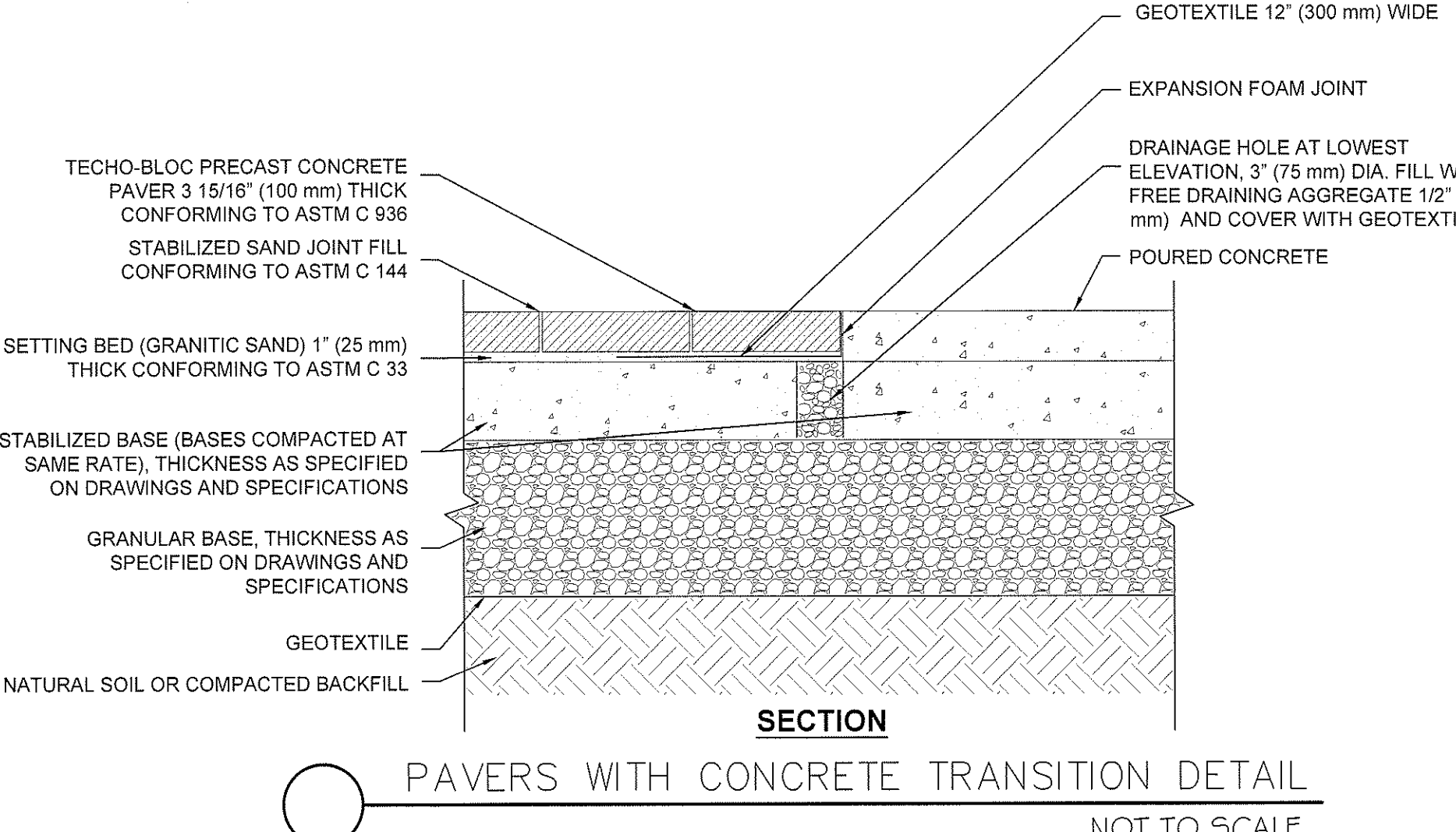
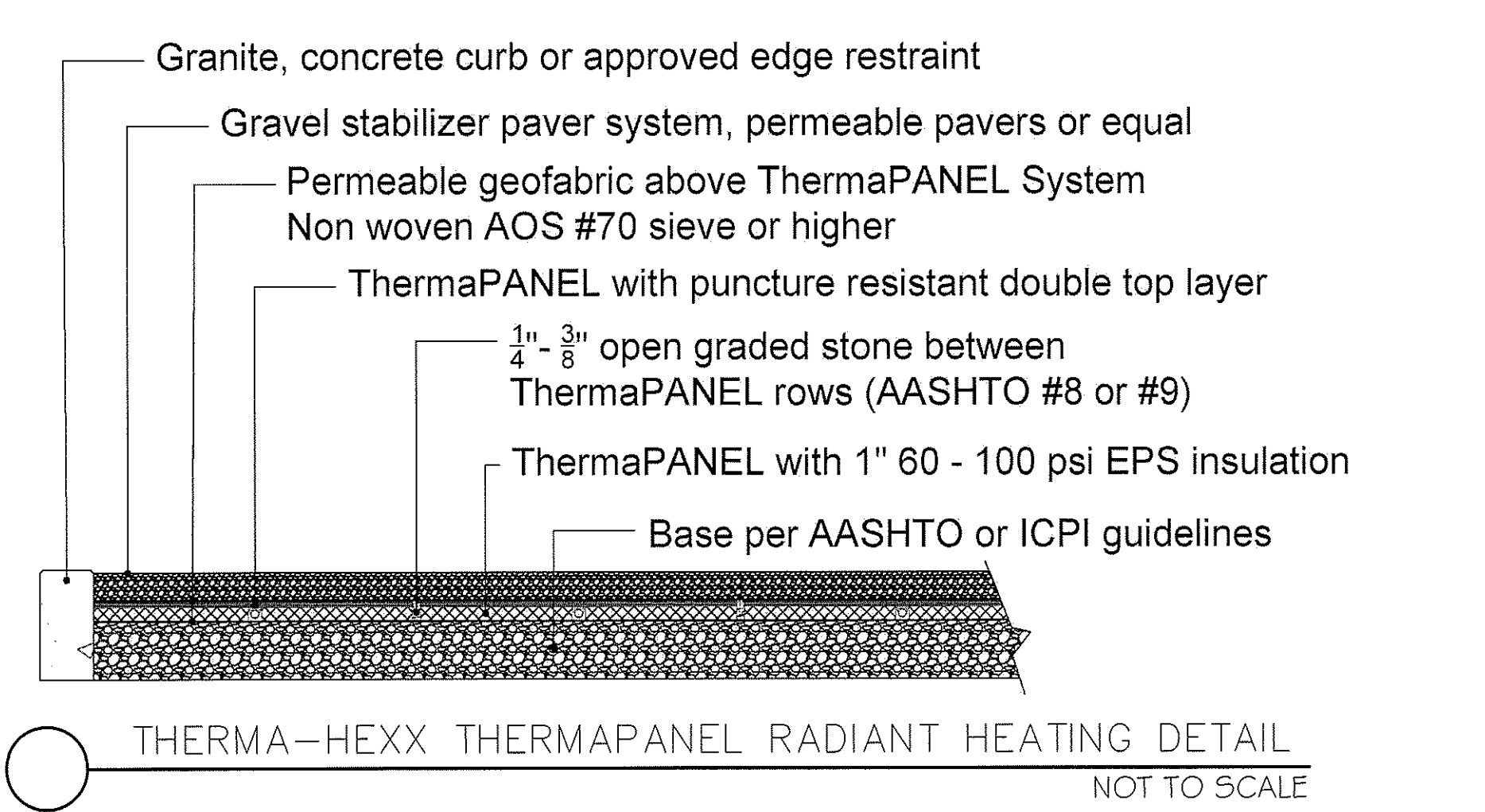
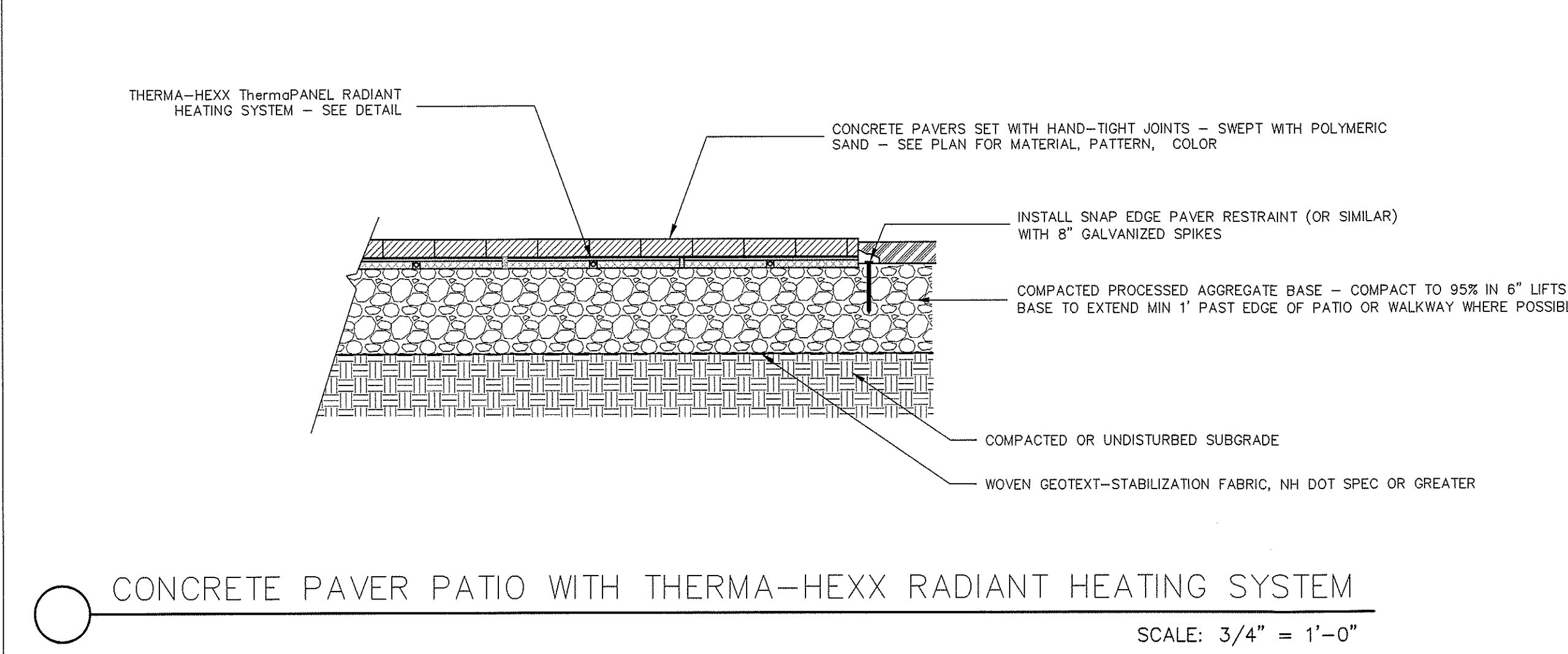
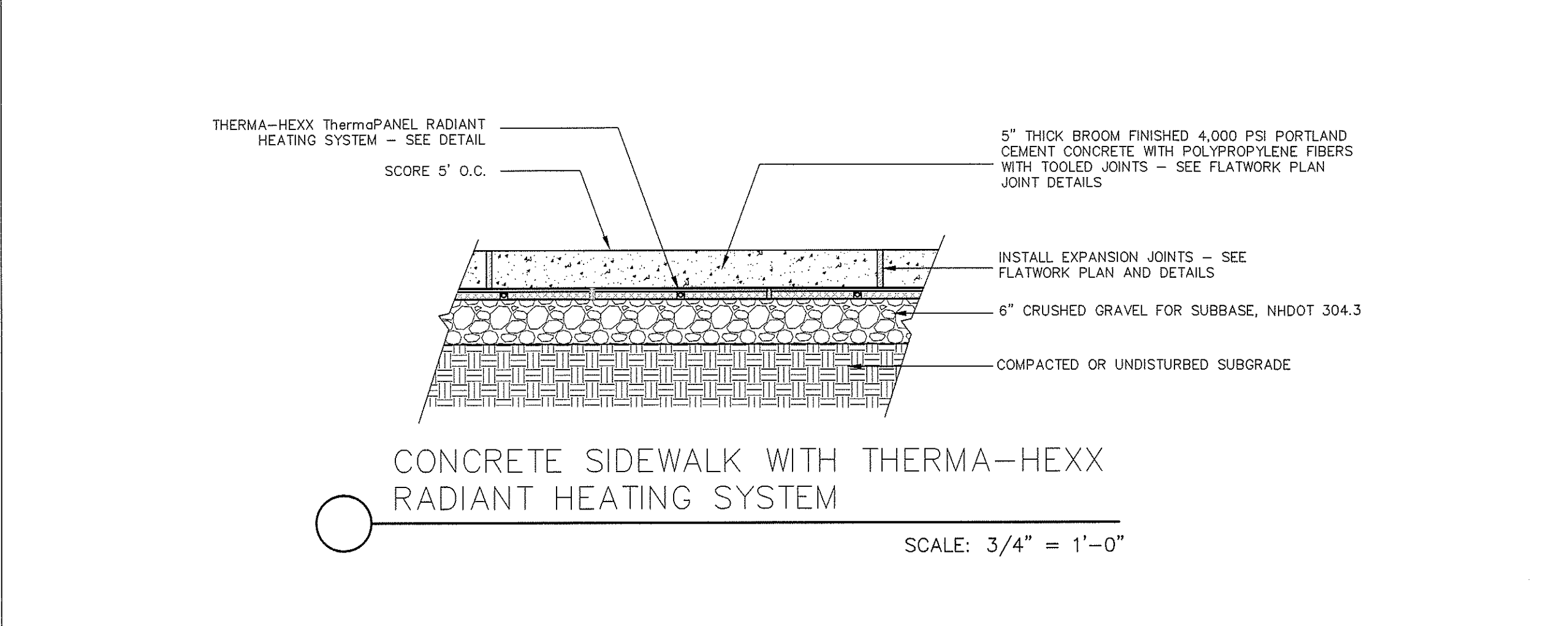
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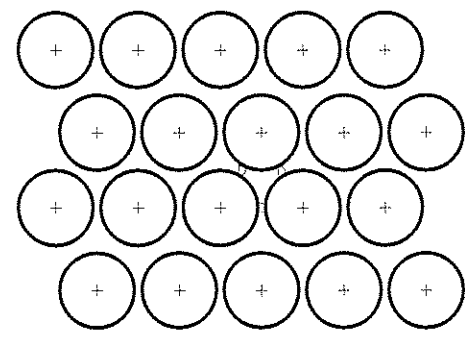
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N

ERIC R. BUCK
078
LANDSCAPE ARCHITECT
STATE OF NEW HAMPSHIRE

4321-16

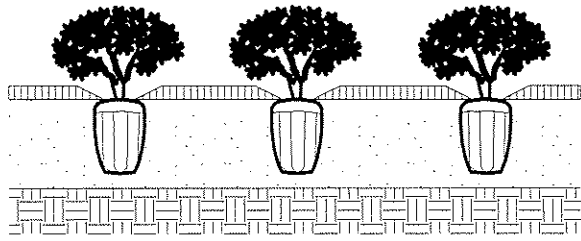




NOTE:
D = DIMENSION OF PLANT SPACING (SHRUB OR
GROUND COVER AS INDICATED ON PLANS)

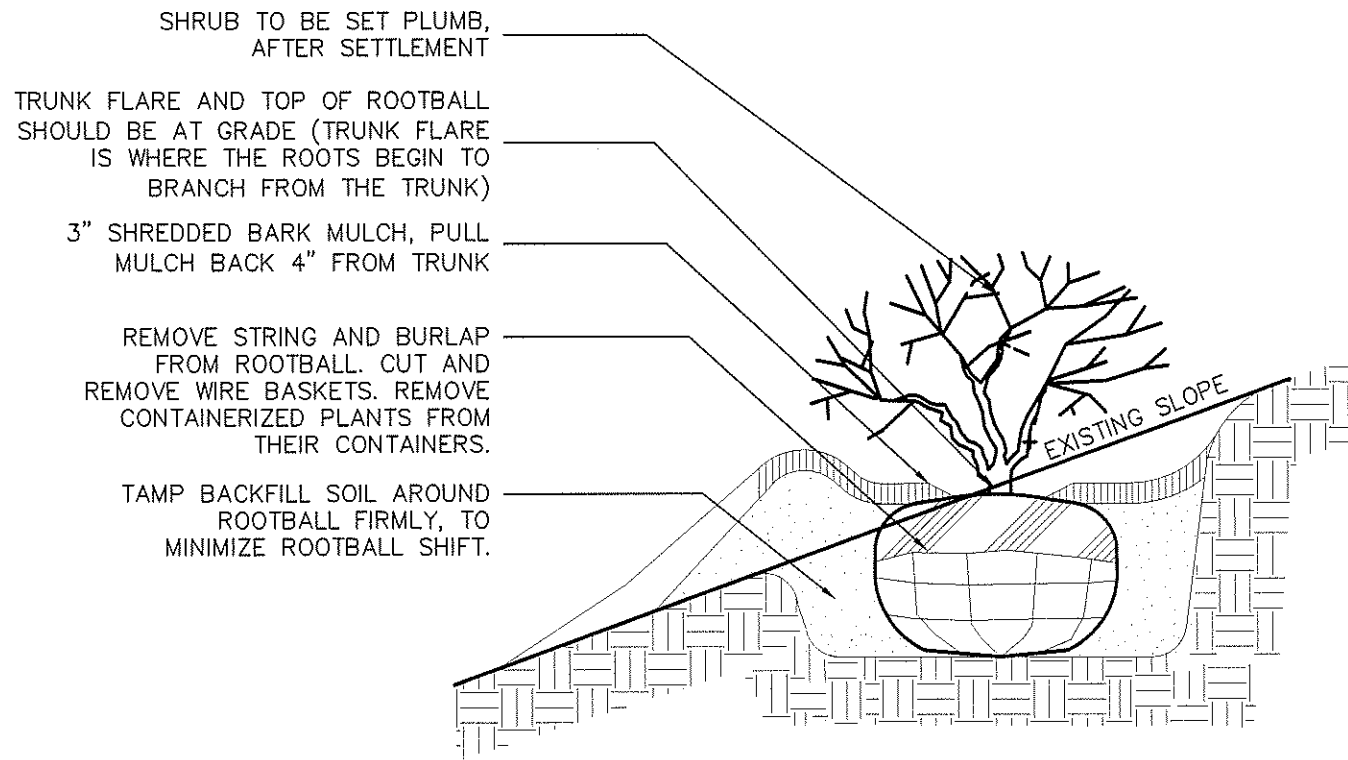
12" LOAM BACKFILL (CONTINUOUS
THROUGHOUT BED AREA)

3" DEEP SHREDDED
BARK MULCH



TYPICAL PERENNIAL PLANTING

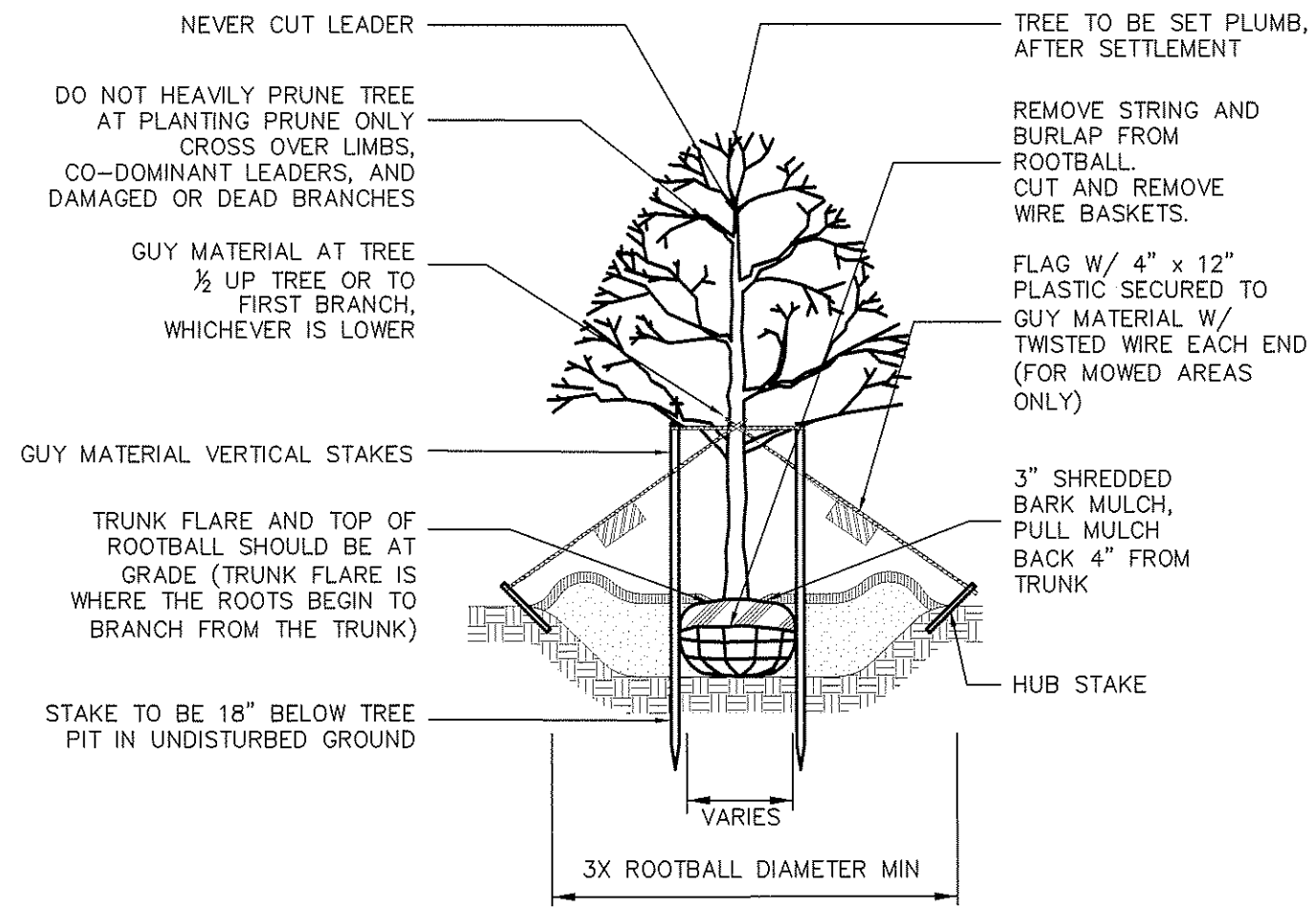
NO SCALE



NOTE:
1. DO NOT HEAVILY PRUNE SHRUB AT PLANTING, PRUNE ONLY CROSSOVER LIMBS AND DAMAGED OR DEAD BRANCHES.
2. BACKFILL WITH LOAM, AMEND AS REQUIRED BY LANDSCAPE ARCHITECT.
3. SHRUBS & GROUND COVER PLANTED ADJACENT TO CITY SIDEWALKS NEED TO BE PLACED SO THE PLANTS, AT THEIR MATURE HEIGHT & WIDTH, WILL NOT ENCR OACH INTO THE CITY'S SIDEWALK.

TYPICAL SHRUB PLANTING

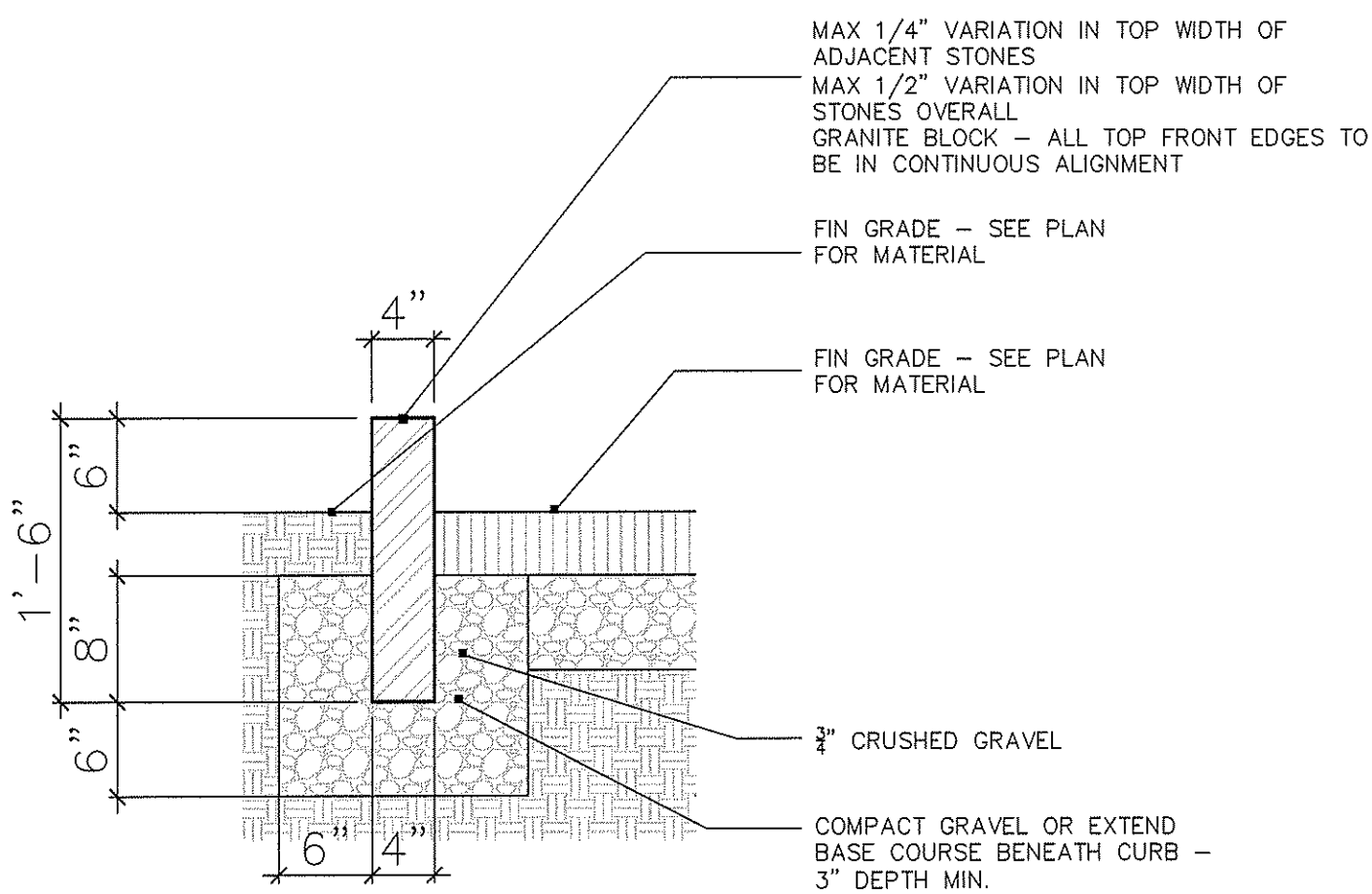
NO SCALE



NOTES:
1. GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYING AND STAKING.
2. TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
3. ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
4. TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
5. LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
6. CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.

DECIDUOUS TREE PLANTING

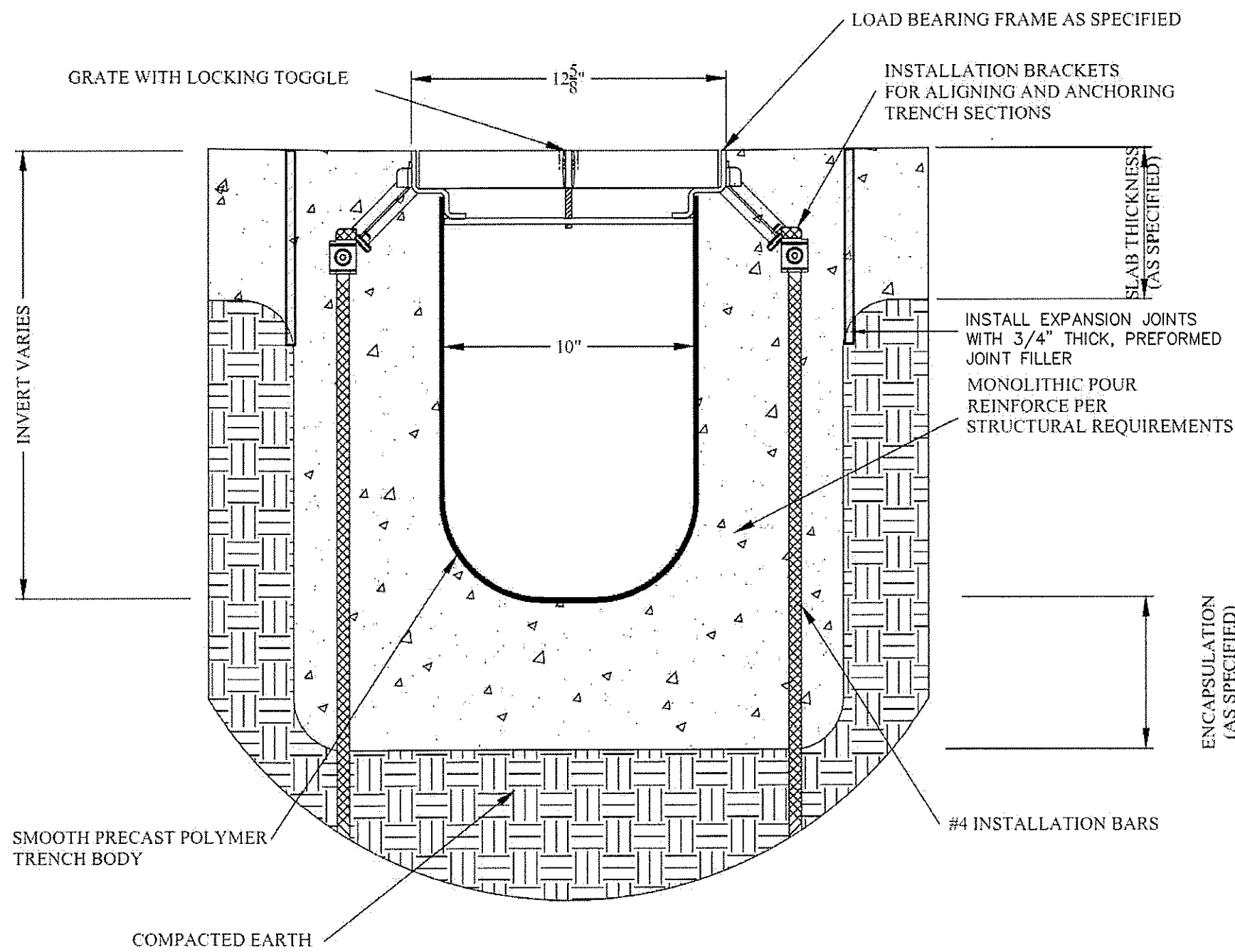
NO SCALE



GRANITE CURB DETAIL (TYPICAL)

NOTE: RECEIVE LANDSCAPE ARCHITECT'S APPROVAL OF JOINTS & CURBING ALIGNMENT. NO CONCRETE OR MORTAR TO SHOW IN JOINTS ABOVE GRADE. MAX. WIDTH OF JOINTS TO BE 1/2" BETWEEN ADJACENT STONES.

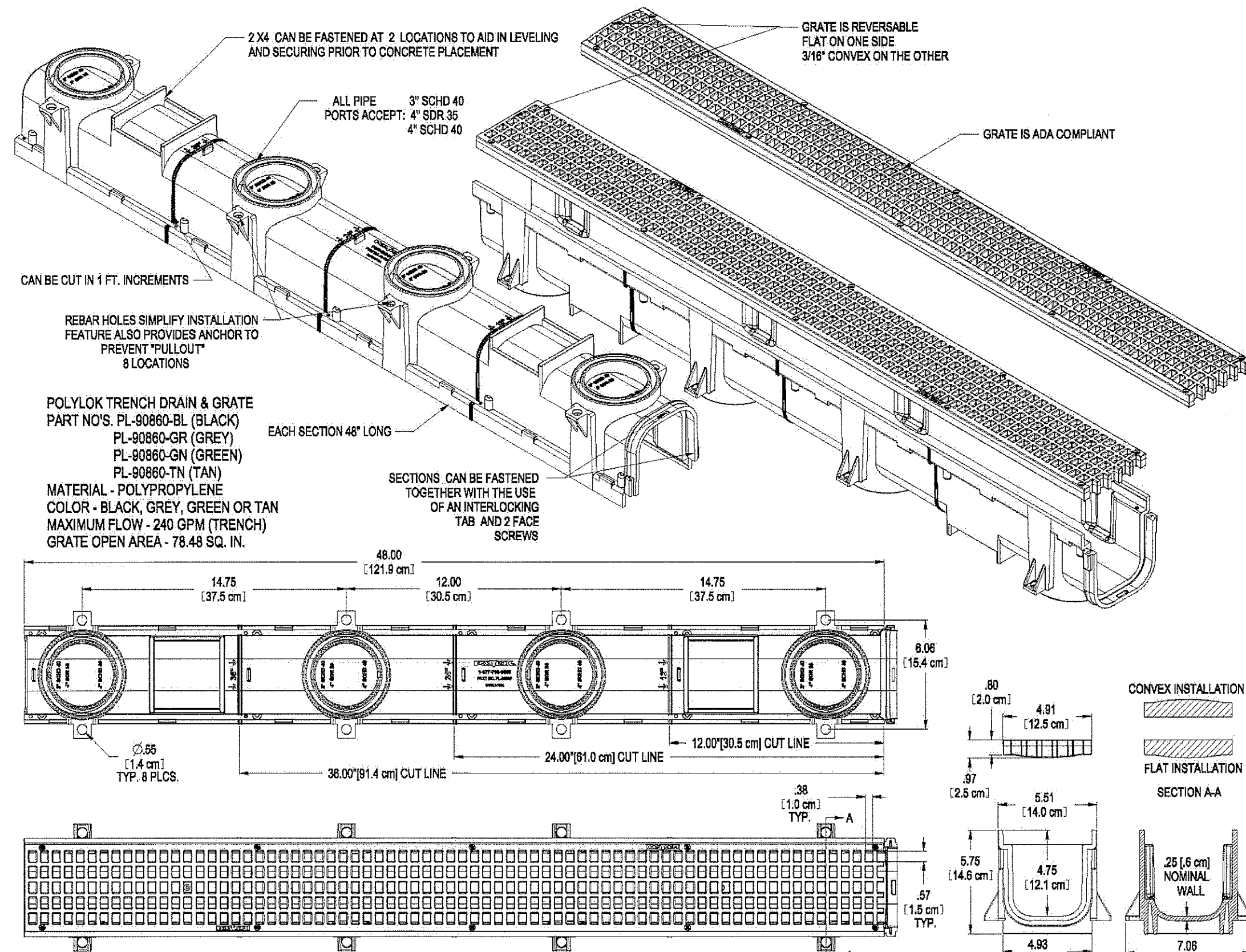
1" = 1'-0"



NOTES:
1. TRENCH DRAIN AS MANUFACTURED BY POLYLOK, OR APPROVED EQUAL.
2. TRENCH DRAIN TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

TYPICAL TRENCH DRAIN SECTION

NOT TO SCALE



311 kast hill road
hopkinton nh 03229
603. 746. 3512
terrainplanning.com

ARTS ALLEY

Site Location:
20 & 22 South Main Street
Concord, NH 03301
Tax Map: 7412Z
Lot #: 37

Prepared For:
Wilcox & Barton Inc.
2 Capital Plaza, Suite 305
Concord, NH 03301

LANDSCAPE DETAILS

DATE: 06 - 30 - 22

SCALE: AS NOTED

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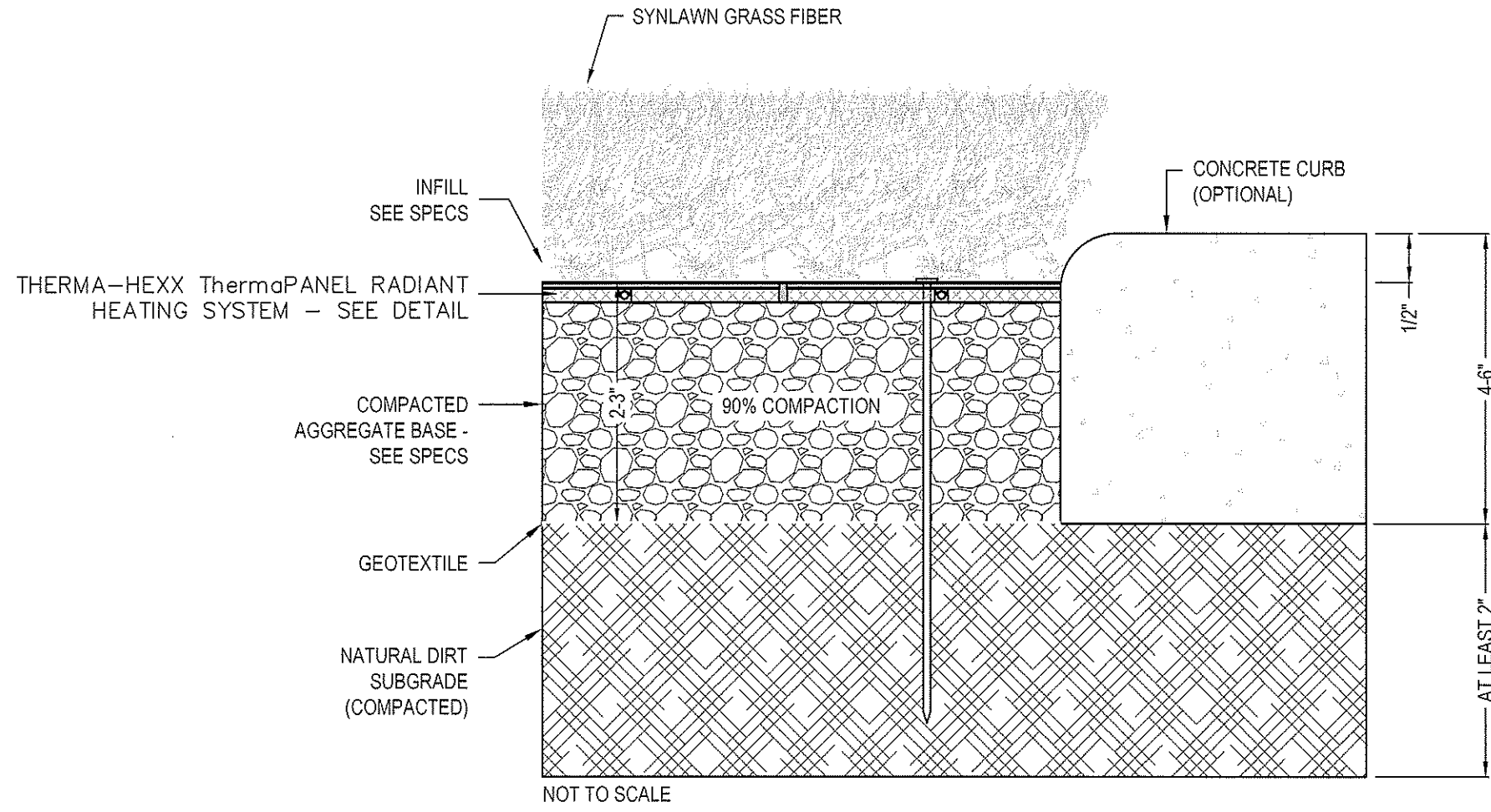
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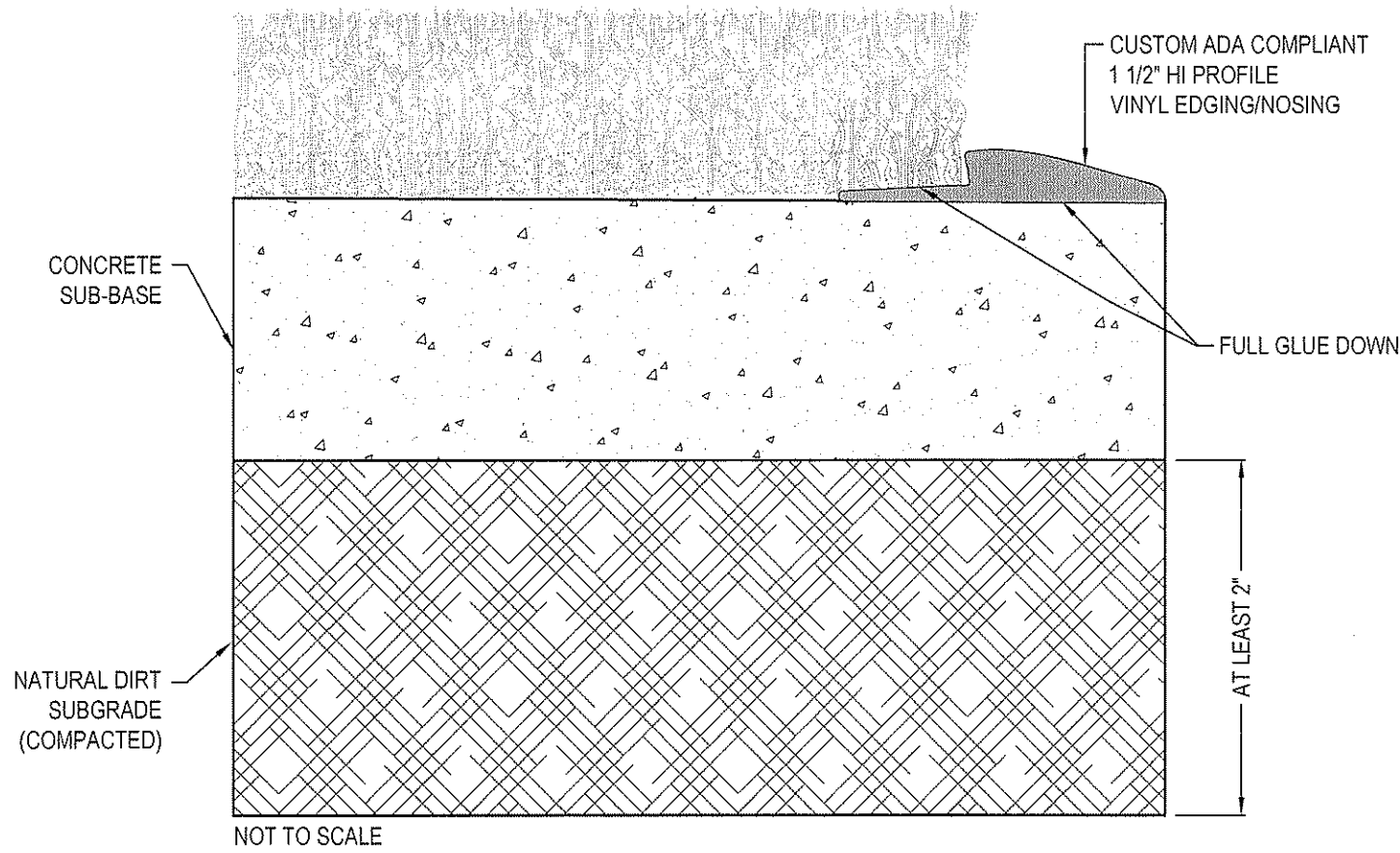


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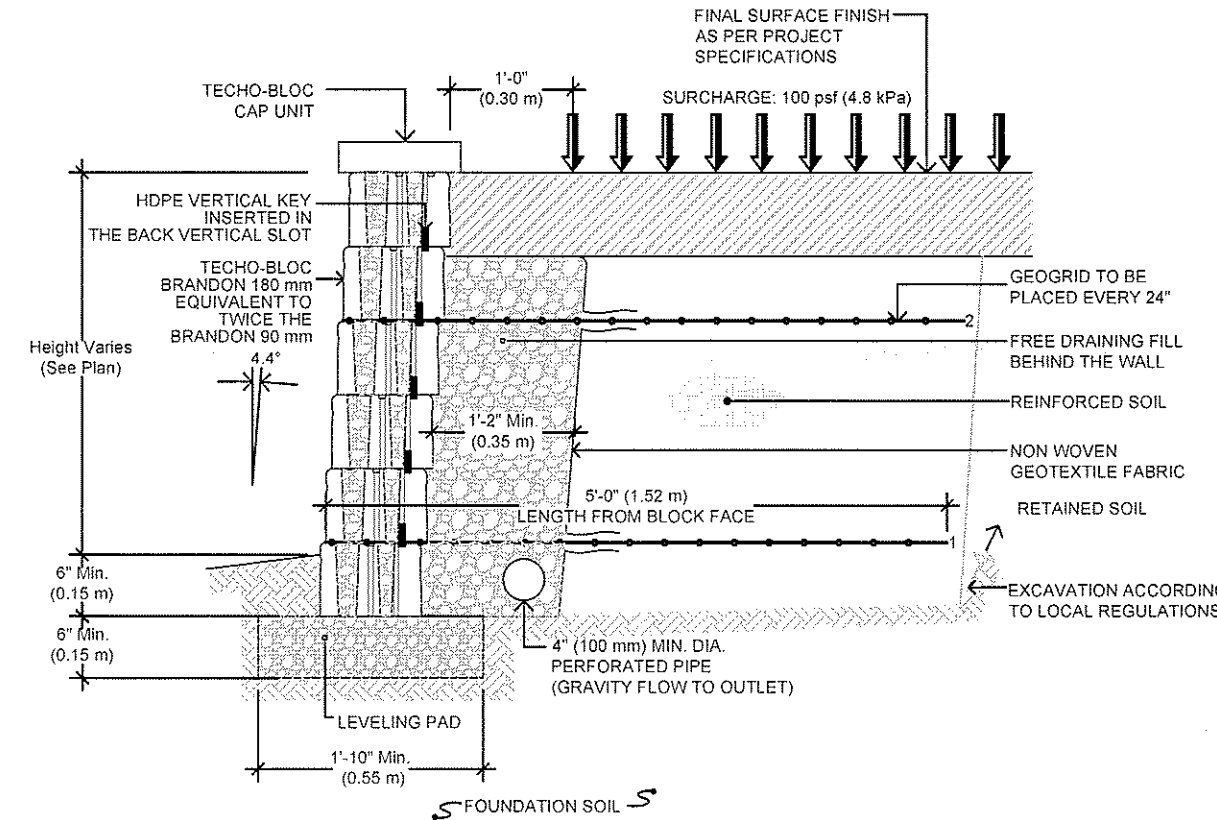
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER

SYNLAWN ARTIFICIAL GRASS SYSTEM
SYNLAWN GRASS INSTALLED OVER AGGREGATE BASE



- MANUFACTURER NOTES:
1. CONCRETE SLAB MUST BE FULLY CURED, CLEAN & DRY PRIOR TO INSTALLATION.
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
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SYNLAWN INSTALLATION WITH ADA COMPLIANT CUSTOM EDGING
SYNLAWN INSTALLATION WITH ADA COMPLIANT CUSTOM EDGING



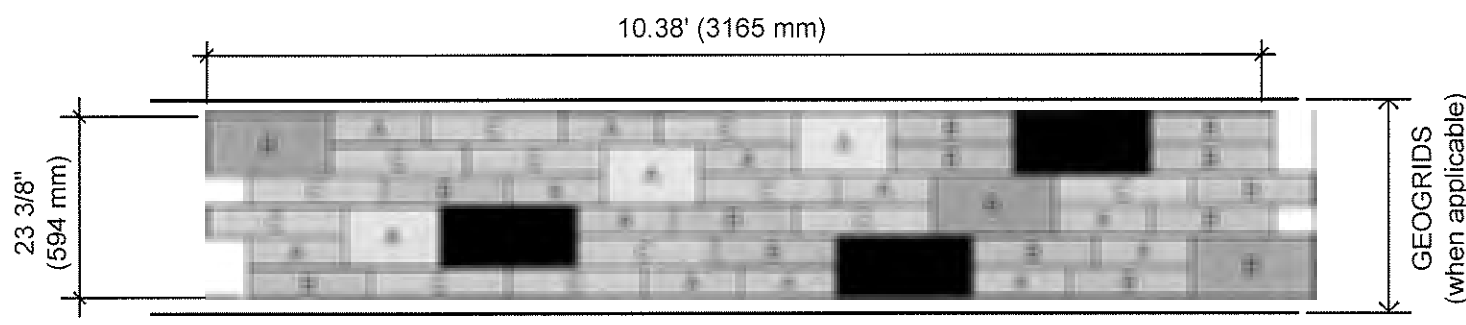
- NOTES:
1. THIS IS A TYPICAL NON-SITE-SPECIFIC DESIGN PROVIDED FOR PRELIMINARY PURPOSES ONLY. THIS DRAWING IS NOT FOR CONSTRUCTION. FINAL DESIGN MUST BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE, PRIOR TO CONSTRUCTION.
 2. THE ANALYSIS WAS PERFORMED TO SATISFY THE DESIGN REQUIREMENTS OF THE NCHRP DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS, 3RD EDITION.
 3. NO ANALYSIS HAS BEEN PERFORMED ON GLOBAL STABILITY, TOTAL OR DIFFERENTIAL SETTLEMENT OR SEISMIC DESIGN.
 4. FINAL WALL DESIGN MUST ADDRESS BOTH INTERNAL/EXTERNAL DRAINAGE AND ALL MODES OF WALL STABILITY. HYDROSTATIC PRESSURE HAS NOT BEEN CONSIDERED IN THE ANALYSIS.
 5. STRUCTURES SUCH AS HANDRAILS, GUARDRAILS, AND SITE CONDITIONS SUCH AS WATER DRAINAGE, AND SOIL CONDITIONS HAVE SIGNIFICANT EFFECTS ON THE WALL DESIGN AND WERE NOT CONSIDERED IN THE ANALYSIS. WHEN ACCOUNTED IN THE FINAL DESIGN, THESE CONDITIONS MAY RESULT IN ADDITIONAL DESIGN MEASURES (REINFORCEMENT, DRAINAGE, ETC).
 6. TECO-BLOC AND ITS PREDECESSORS, SUCCESSORS, BENEFICIARIES, EMPLOYEES, ASSOCIATES, ADMINISTRATORS, AND INSURERS ACCEPT NO LIABILITY FOR THE INCORRECT USE OF THE INFORMATION CONTAINED IN THIS TYPICAL CROSS SECTION DRAWING.
 7. FOR FURTHER INFORMATION, PLEASE CONTACT OUR TECHNICAL SERVICE DEPARTMENT.

GEOGRID DATA - MIRAGRID 3XT BY TENCATE					
REDUCTION FACTORS	ULTIMATE TENSILE STRENGTH (T _u)		3500 Lb/ft	(51.1 kN/m)	
	CHEMICAL DURABILITY (RF _C)		1.10		
	CREEP RUPTURE (RF _{C2})		1.45		
LONG TERM DESIGN STRENGTH (LTDS)	INSTALLATION DAMAGE (RF _{id})		1.05		
	COEFFICIENT OF DIRECT SLIDING (C _{ds})		0.70		
INTERACTION COEFFICIENTS		COEFFICIENT OF SHEAR STRESS INTERACTION (C _i)		0.70	
SOIL DATA					
SOIL REGION	REINFORCED	RETAINED	FOUNDATION	LEVELING PAD	FREE DRAINING FILT
DESCRIPTION	LOW PLASTICITY SILTS AND CLAYS	LOW PLASTICITY SILTS AND CLAYS	LOW PLASTICITY SILTS AND CLAYS	WELL GRADED AGGREGATE	(ASTM D 507 CRUSHED STONE) 3/4" CLEAR CRUSHED STONE
INTERNAL FRICTION ANGLE	28°	28°	28°	40°	35°
MOIST UNIT WEIGHT	120 pcf (18.85 kN/m ³)	120 pcf (18.85 kN/m ³)	120 pcf (18.85 kN/m ³)	140 pcf (21.99 kN/m ³)	100 pcf (15.71 kN/m ³)
EFFECTIVE COHESION					
SPECIFICATION	PLACED IN LIFTS OF 7" (180 mm) THICKNESS OF MAXIMUM DRY DENSITY (ASTM D698)		ALLOWABLE BEARING CAPACITY MUST BE 80% OF (700 kPa) (100 psi)	COMPACTED TO 90% OF MAXIMUM DRY DENSITY (ASTM D698)	PLACED AND COMPACTED TO 90% OF MAXIMUM DRY DENSITY (ASTM D698) LIFTS OF 7" (180 mm) THICKNESS

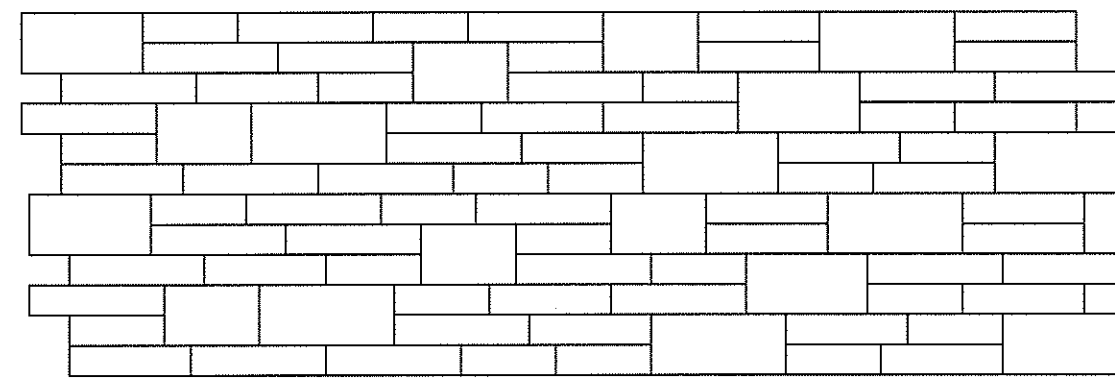
TECO-BLOC BRANDON RETAINING WALL SYSTEM
NOT TO SCALE

3-Row Pattern | Laying Patterns

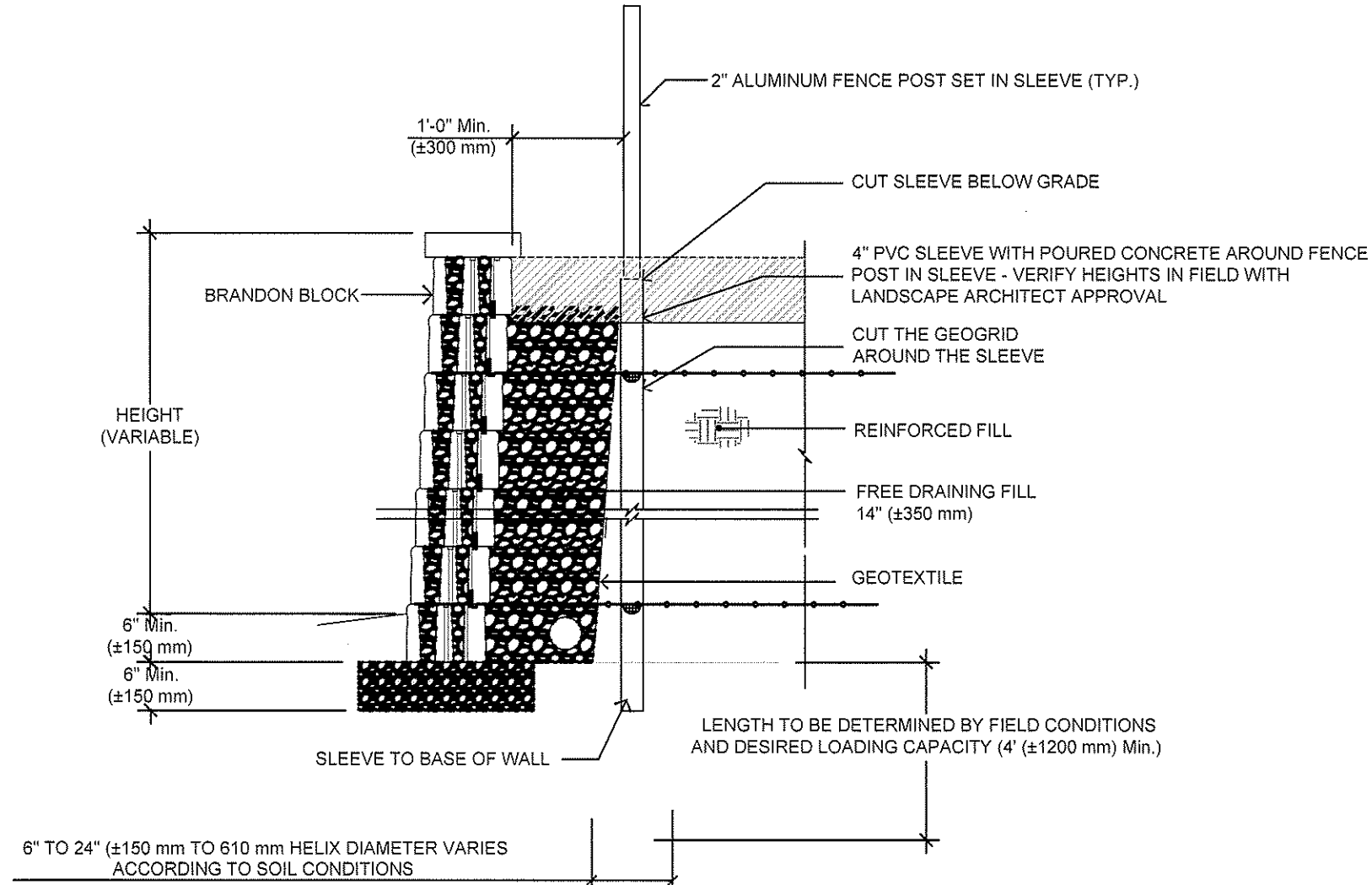
The 3-row pattern is 10.38' (3.165 m) long and 21 3/4" (540 mm) high. This pattern allows a continuous leveled surface every 21 3/4" (540 mm), which corresponds to the recommended maximum spacing between the layers of geogrid in a Brandon wall. **This pattern is recommended when using the geogrid.**



NUMBER OF BLOCKS REQUIRED	MODULE		
BRANDON	A	B	C
67% of the surface - Brandon 90 mm	12	12	12
33% of the surface - Brandon 180 mm	3	3	3



TECO-BLOC BRANDON 90 & 180 MM RETAINING WALL 3-ROW PATTERN
NOT TO SCALE



TECO-BLOC BRANDON BLOCK FENCE DETAIL
NOT TO SCALE



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