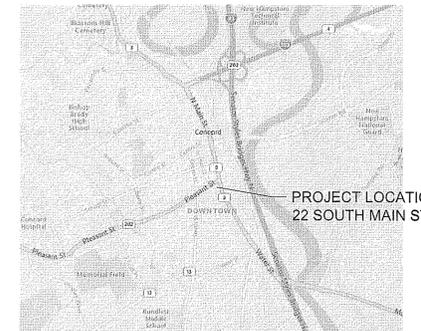
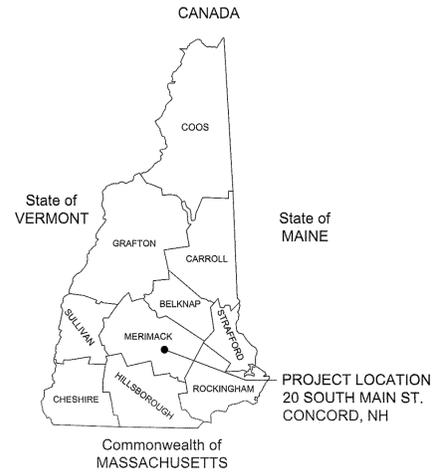
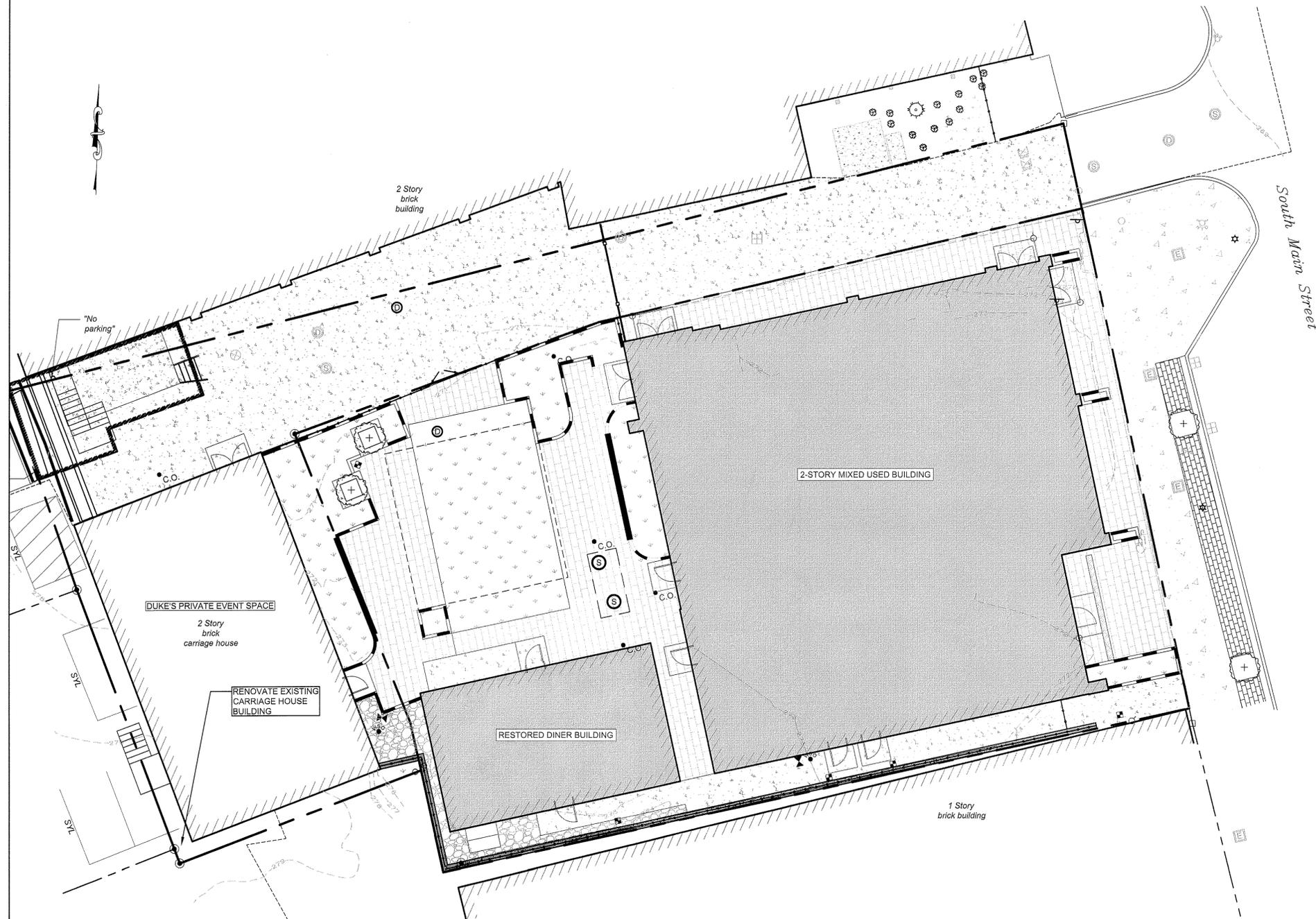


# ARTS ALLEY LLC

22 SOUTH MAIN STREET



LOCATION MAP



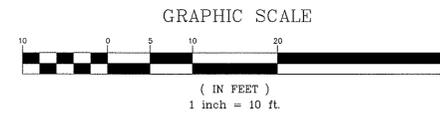
PLOT PLAN

**PROJECT DESCRIPTION:**

THE PURPOSE OF THESE DRAWINGS IS TO SHOW A PROPOSED REDEVELOPMENT OF 22 SOUTH MAIN STREET (MAP 7412Z LOT 37) TO CONSTRUCT A TWO-STORY COMMERCIAL BUILDING, DINER, AND OUTDOOR PATIO/GATHERING SPACE. WORK INCLUDES ASSOCIATED DRAINAGE, UTILITY, AND STORMWATER TREATMENT SYSTEMS. THE PLAN ALSO SHOWS THE ADJACENT REDEVELOPMENT FOR 20 SOUTH MAIN STREET (MAP 7412Z LOT 38) FOR DUKE'S PRIVATE EVENT SPACE WHICH IS PERMITTED THROUGH AN ARCHITECTURAL DESIGN REVIEW (ADR) APPLICATION. RESURFACING OF THE ALLEY AND LIGHTING IS INCLUDED IN THE ADR APPLICATION.

**ABUTTERS LIST**

- 01 MAP 7411 Z LOT 14: KJD REAL ESTATE LLC; 185 SANDOWN ROAD, DANVILLE, NH 03819
- 02 MAP 7412 Z LOT 17: CAPITAL COMMONS LLC; P.O. BOX 1257, PORTSMOUTH, 03802
- 03 MAP 7412 Z LOT 14: CITY OF CONCORD; 41 GREEN STREET, CONCORD, NH 03301
- 04 MAP 7412 Z LOT 18-1 UNIT-1: 31 SOUTH MAIN ACQUISITION LLC; 300 GAY STREET, MANCHESTER, NH 03103
- 05 MAP 7412 Z LOT 18-1 UNIT-3: 31 SOUTH MAIN ACQUISITION LLC; 300 GAY STREET, MANCHESTER, NH 03103
- 06 MAP 7412 Z LOT 18-1 UNIT-2: HC VERITAS LLC; 80 SCHOOL STREET, CONCORD, NH 03301
- 07 MAP 7412 Z LOT 18-1 UNIT-4: MICHAEL B. HERRMANN; 15 VIA TRANQUILLA STREET, CONCORD, NH 03301
- 08 MAP 7412 Z LOT 18-1 UNIT-5: 31 SOUTH MAIN ACQUISITION LLC; 300 GAY STREET, MANCHESTER, NH 03103
- 09 MAP 7412 Z LOT 18-1 UNIT-6: LAURIE SANBORN J. REVOC. TRUST; 71 EAGLE DRIVE, BEDFORD, NH 03110
- 10 MAP 7412 Z LOT 18-1 UNIT-7: HILLS AVENUE BLUES ASSOCIATES; 8 SAVAGE COURT, PEMBROKE, NH 03275
- 11 MAP 7412 Z LOT 38: CONCORD FOOD COOPERATIVE INC.; 24 SOUTH MAIN STREET, CONCORD, NH 03301
- 12 MAP 7412 Z LOT 38-A: CONCORD FOOD COOPERATIVE INC.; 24 SOUTH MAIN STREET, CONCORD, NH 03301
- 13 MAP 7412 Z LOT 38: 20 SOUTH MAIN STREET LLC; P.O. BOX 1438, CONCORD, NH 03302
- 14 MAP 7412 Z LOT 38: CCA NORTH CORP.; 44 SOUTH MAIN STREET, CONCORD, NH 03301



SHEET	NUMBER	TITLE	DATE ISSUED	LATEST REVISION
1	C0.1	COVER SHEET	07/20/2022	02/09/2024
2	C0.2	NOTES & LEGEND	07/20/2022	02/09/2024
3	S1.1	EXISTING CONDITIONS PLAN	05/11/2022	11/09/2023
4	C1.1	DEMOLITION PLAN	07/20/2022	02/09/2024
5	C1.2	SITE PLAN	07/20/2022	02/09/2024
6	C1.3	GRADING & DRAINAGE PLAN	07/20/2022	02/09/2024
7	C1.4	UTILITY PLAN	07/20/2022	02/09/2024
8	C2.1	UTILITY PROFILES	04/19/2023	02/09/2024
9	C2.2	UTILITY PROFILES	12/19/2023	02/09/2024
10	C5.1	CONSTRUCTION DETAILS	07/20/2022	02/09/2024
11	C5.2	CONSTRUCTION DETAILS	07/20/2022	02/09/2024
12	C5.3	CONSTRUCTION DETAILS	07/20/2022	02/09/2024
13	C5.4	CONSTRUCTION DETAILS	11/28/2022	02/09/2024
14	C5.5	EROSION CONTROL DETAILS	07/20/2022	02/09/2024
15	L0.1	LANDSCAPING PLAN	06/30/2022	02/09/2024
16	L0.2	LANDSCAPING FLATWORK PLAN	-/-/-	02/09/2024
17	L0.3	LANDSCAPING DETAILS	11/21/2022	02/09/2024
18	L0.4	LANDSCAPING DETAILS	-/-/-	02/09/2024
19	L0.5	LIGHTING PLAN	01/17/2024	-/-/-

Case 2022-47

**APPROVED**

UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36

**CITY PLANNING BOARD**

CITY OF CONCORD, NEW HAMPSHIRE

in accordance with vote of the board dated:

JANUARY 17, 2024

Approval of this plan is limited to the date as shown

Chair *[Signature]* Signed March 27, 2024

**Wilcox & Barton INC.**  
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 HOME AVENUE  
CONCORD, NH 03301  
603-369-4190  
www.wilcoxandbarton.com

ARCHITECT  
**PROCON, INC.**  
1359 HOOKSETT ROAD  
HOOKSETT, NH 03106

LAND SURVEYOR  
**RICHARD D. BARTLETT & ASSOCIATES, LLC**  
214 NORTH MAIN STREET  
CONCORD, NH 03301

LANDSCAPE ARCHITECT  
**TERRAIN PLANNING & DESIGN, LLC**  
311 KAST HILL ROAD  
HOPKINTON, NH 03229

REVISION HISTORY

1. REVISED PER BUILDING UPDATE 11/18/2022 (GAG)
2. REVISED PER CITY COMMENTS 11/28/2022 (JMM)
3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
4. AMENDED SITE PLANS 04/19/2023 (RSR)
5. REVISED PER BUILDING UPDATES 12/19/2023 (JMJ)
6. REVISED PER CITY COMMENTS 01/17/2024 (JMJ)
7. REVISED TO ADD NEW TRANSFORMER 01/30/2024 (ERL)
8. REVISED FOR GMP PLAN SET 02/09/2024 (JMJ)
9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

ISSUED FOR  
**CONSTRUCTION**

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY. OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

OWNER

**20 SOUTH MAIN STREET LLC**  
P.O. BOX 1438  
CONCORD, NH 03302

**ARTS ALLEY LLC**  
P.O. BOX 1438  
CONCORD, NH 03302

SITE

**ARTS ALLEY**

**20 SOUTH MAIN ST**  
CONCORD, NH 03301  
MAP 7412Z, LOT 38

**22 SOUTH MAIN ST**  
CONCORD, NH 03301  
MAP 7412Z, LOT 37

DRAWING TITLE  
**COVER SHEET**

SCALE	N.T.S.	DATE	07/20/2022
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	CAT	ERL	ARTS0001
SHEET NO.			<b>C0.1</b>
ENGINEER: ERIN R. LAMBERT NH P.E. #11057			01 OF 19

4321-1



REVISION HISTORY  
1. REVISED PER BUILDING UPDATE 11/16/2022 (GAG)  
2. REVISED PER CITY COMMENTS 11/28/2022 (JMM)  
3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)  
4. AMENDED SITE PLANS 04/19/2023 (RSR)  
5. REVISED PER BUILDING UPDATES 12/19/2023 (JMM)  
6. REVISED PER CITY COMMENTS 01/17/2024 (JMM)  
7. REVISED TO ADD NEW TRANSFORMER 01/30/2024 (ERL)  
8. REVISED FOR GMP PLAN SET 02/08/2024 (JMM)  
9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMM)

**REQUIRED PERMITS**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT PER CITY ORDINANCE ARTICLE 5-14 FOR WORK WITHIN THE CITY RIGHT OF WAY OR ON CITY-OWNED PROPERTY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR A DRIVEWAY PERMIT PER CITY ORDINANCE ARTICLES 5-18 TO REPAIR, WIDEN, RECONSTRUCT, OR CONSTRUCT A DRIVEWAY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR A DEMOLITION PERMIT FROM THE CODE ADMINISTRATION DIVISION FOR THE REMOVAL OF THE EXISTING BUILDINGS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR A UTILITY CONNECTION PERMIT(S) TO REPLACE EXISTING UTILITY CONNECTIONS.
- PRIOR TO CONSTRUCTION, A NPDES DEWATERING AND REMEDIATION PERMIT SHALL BE APPLIED FOR TO EXCAVATE FOR THE PROPOSED BASEMENT.
- NO OTHER APPLICABLE PERMITS ARE REQUIRED AT THIS TIME. TO BE CONFIRMED BY THE CITY ENGINEER.

**CONSTRUCTION SEQUENCE**

- CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. INSPECT EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND WITHIN 24 HOURS OF ANY SIGNIFICANT RAINFALL EVENT (1/2" OF RAIN OR MORE). PERFORM ANY NEEDED MAINTENANCE AND STABILIZATION AS NEEDED.
- DISTURBANCES OF AREAS SHALL BE MINIMIZED. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON. AREAS WHICH WILL NOT BE PERMANENTLY SEEDED WITHIN TWO WEEKS OF DISTURBANCE SHALL BE TEMPORARILY SEEDED AND MULCHED. ALL AREAS SHALL BE STABILIZED WITH SEED, MULCH AND TACKIFIER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE AND PRIOR TO THE END OF THE GROWING SEASON.
- PERFORM SITE DEMOLITION TO LIMITS SHOWN ON DEMOLITION PLAN.
- INSTALL THE STORMWATER GALLERY AND DRAINAGE STRUCTURES IN ACCORDANCE WITH THE PLANS AND DETAILS.
- CONDUCT ALL UNDERGROUND UTILITY STRUCTURE AND PIPING INSTALLATION, BACKFILL, AND COMPACTING.
- CONSTRUCT BUILDING FOUNDATION.
- PLACE AND COMPACT NEW GRAVEL COURSES IN THE PARKING, LOADING, SIDEWALK, AND GRAVEL ACCESS DRIVE AREAS.
- PLACE, GRADE, AND STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND MULCHING.
- PLACE PAVEMENT COURSES, SIDEWALKS, AND CURBING.
- ALL DISTURBED SOILS SHALL BE STABILIZED, LOAMED, SEEDED, AND MULCHED.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE DESIGN AND DETAILS.
- SWEEP COMPLETED PAVEMENT AND CLEAN OUT CATCH BASINS AND DRAINAGE PIPES DURING CONSTRUCTION CLOSE-OUT PROCEDURES. PROPERLY DISPOSE OF COLLECTED SEDIMENT AND DEBRIS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AND PROPERLY DISPOSE OF FOLLOWING CONSTRUCTION AND ONCE FULL GROUND COVER HAS BEEN ESTABLISHED.

### CONSTRUCTION

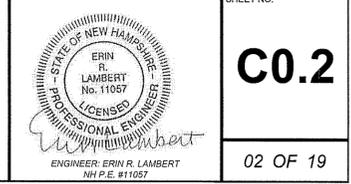
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OWNER  
**20 SOUTH MAIN STREET LLC**  
P.O. BOX 1438  
CONCORD, NH 03302  
**ARTS ALLEY LLC**  
P.O. BOX 1438  
CONCORD, NH 03302

SITE  
**ARTS ALLEY**  
20 SOUTH MAIN ST  
CONCORD, NH 03301  
MAP 7412Z, LOT 38  
22 SOUTH MAIN ST  
CONCORD, NH 03301  
MAP 7412Z, LOT 37

### NOTES & LEGEND

SCALE	N.T.S.	DATE	07/20/2022
DRAFTED BY	RSR	CHECKED BY	CAT
PROJECT MGR	ERL	PROJECT NO.	ARTS0001
SHEET NO.		C0.2	
ENGINEER: ERIN R. LAMBERT		02 OF 19	



### GENERAL NOTES

- 1 GENERAL:**
- THESE DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT ENTITLED "STORMWATER MANAGEMENT PLAN FOR ARTS ALLEY LLC" DATED 12/19/2023 PREPARED BY WILCOX & BARTON, INC.
  - EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON A PLAN TITLED "EXISTING CONDITIONS PLAN OF LAND OF ARTS ALLEY LLC & 20 SOUTH MAIN STREET, LLC" DATED NOVEMBER 9, 2023, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
  - THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR ARTS ALLEY LLC FOR REVIEW BY THE CITY OF CONCORD PLANNING BOARD, CODE ENFORCEMENT, GENERAL SERVICES, POLICE, AND FIRE DEPARTMENTS.
  - THE PURPOSE OF THESE DRAWINGS IS TO SHOW A PROPOSED REDEVELOPMENT OF 20-20.5 SOUTH MAIN STREET AND ASSOCIATED DRAINAGE, UTILITY, AND STORMWATER TREATMENT SYSTEMS.
  - PROPOSED SITE WILL BE SERVICED BY CITY WATER AND SEWER.
  - A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
  - REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
  - CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS (LATEST EDITION), AND THE CITY STANDARDS SHALL TAKE PRECEDENCE IN CASE OF ANY DETAILS OR PLANS IN CONFLICT.
  - PROJECT DATUM: NH STATE PLANE COORDINATES NAD 83 (HORIZONTAL) NAVD 88 (VERTICAL)
  - ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER, AND IN ACCORDANCE WITH STATE CODE (BC 2015 WITH LATEST SUPPLEMENTS), AND LOCAL CODES AND ORDINANCES.
  - ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CONTACT DIG-SAFE (1-888-ING-SAFE) AT LEAST 72 HOURS AND LESS THAN 30 DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF WALLS AND/OR SHORING OF EXCAVATIONS DURING CONSTRUCTION THEREAFTER.
  - THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND SUBMITTALS BEFORE SUBMISSION TO THE ENGINEER, THUS, PROVIDING ANY INFORMATION REQUIRED OF THE FABRICATOR SUCH AS FIELD DIMENSIONS, ELEVATIONS, ETC. OTHERWISE THE SHOP DRAWINGS OR SUBMITTALS WILL BE REJECTED UNTIL SUCH INFORMATION IS FURNISHED BY THE CONTRACTOR. SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEERING FOR THE PROPOSED WATER, SEWER, AND DRAINAGE IMPROVEMENTS, AS APPLICABLE.
  - GENERAL BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, ASTM D1557.
  - PER SITE PLAN REGULATION 12.09, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO), THE CONTRACTOR SHALL SUBMIT DIGITAL AS-BUILT DRAWINGS TO THE SATISFACTION OF ENGINEERING SERVICES DIVISION AND CONFORMING TO THE ENGINEERING AS-BUILT CHECKLIST.
  - THE CONTRACTOR SHALL SET UP A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.
  - THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CODE ADMINISTRATION DIVISION FOR THE REMOVAL OF THE EXISTING BUILDINGS.
  - THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE ROW.
  - THE CONTRACTOR SHALL OBTAIN A DRIVEWAY PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR RECONSTRUCTION OF A DRIVEWAY.
  - THE CONTRACTOR SHALL OBTAIN UTILITY CONNECTION PERMIT(S) FROM THE ENGINEERING SERVICES DIVISION FOR THE PROPOSED SERVICES.
  - THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) FOR ALL WORK IN AND ADJACENT TO THE CITY ROW THAT WILL REQUIRE LANE CLOSURES OR OCCUR ADJACENT TO THE EDGE OF THE ROAD. TTCP MUST BE SUBMITTED TO ENGINEERING FOR REVIEW AND APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE PRE-CONSTRUCTION MEETING.
  - A FIRE PROTECTION ENGINEER SHALL PROVIDE THE DOCUMENT CERTIFYING THAT THE NEW PROPOSED WATER SERVICE LINE IS ADEQUATELY SIZED AND DESIGNED FOR THE PROPOSED SITE CONDITIONS. ALL FIRE PREVENTION REQUIREMENTS SHALL BE SATISFACTORILY DEMONSTRATED.
  - PER SITE PLAN REGULATION, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO), THE CONTRACTOR SHALL SUBMIT VIDEOS OF THE NEWLY CONSTRUCTED SEWER PIPES TO THE SATISFACTION OF ENGINEERING SERVICES DIVISION.
  - PER SITE PLAN REGULATION, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO), THE CONTRACTOR SHALL SUBMIT CONFIRMATION OF LETTING OF THE EXISTING SEWER PIPES TO THE SATISFACTION OF ENGINEERING SERVICES DIVISION.

- 2 MATERIAL SPECIFICATIONS:**
- MATERIALS NOT SPECIFIED HEREIN SHALL MEET OR EXCEED NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NH DOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
  - GENERAL FILL SHALL BE A COMPACTABLE SAND OR GRAVEL REASONABLY FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 0-20 PERCENT PASSING THE NO. 100 SIEVE AND 40-100 PERCENT PASSING THE NO. 4 SIEVE.
  - BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 3/8 INCH SIEVE, 20-75 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.
  - CRUSHED BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 1/2 INCH SIEVE, 30-80 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-4 PERCENT PASSING A NO. 200 SIEVE.

### EROSION CONTROL NOTES

IF EROSION CONTROL MATTING IS USED ON SITE IT SHALL BE WOVEN ORGANIC MATERIAL (E.G. COCO MATTING) THE USE OF WELDED PLASTIC OR BIODEGRADABLE PLASTIC NETTING IN EROSION CONTROL MATTING IS NOT PERMITTED.

CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.

ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM.

- SCHEDULE OF WORK**  
THIS WORK IS ANTICIPATED TO BE PERFORMED IN SPRING 2024. CONSTRUCTION IS ANTICIPATED TO BE COMPLETED BY FALL 2024.
- ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION.
- DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
  - NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
  - PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
  - WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
  - WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
  - AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
  - REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.

**EROSION CONTROL IMPLEMENTATION SCHEDULE**  
THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION.

- PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
- BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
- INSTALL PERMANENT STORM DRAIN SYSTEM.
- INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
- REDIRECT FLOW INTO FINISHED STRUCTURES PRIOR TO FILL OPERATIONS.
- PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

**TEMPORARY STABILIZATION**  
EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE.

**TEMPORARY GRADING**: TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

**MULCH**: MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDED AREAS WITHIN 48 HOURS AFTER SEEDING.

**TACKIFIER**: PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORN DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

**ROAD CLEANING**: THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

**DUST CONTROL**: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY-BAR THAT DISPENSATES THE WATER EVENLY OVER THE SURFACE.

**PERMANENT STABILIZATION**: GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - A MINIMUM OF 65% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED;
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

**EXCAVATION DEWATERING**: SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MGL), RESPECTIVELY.

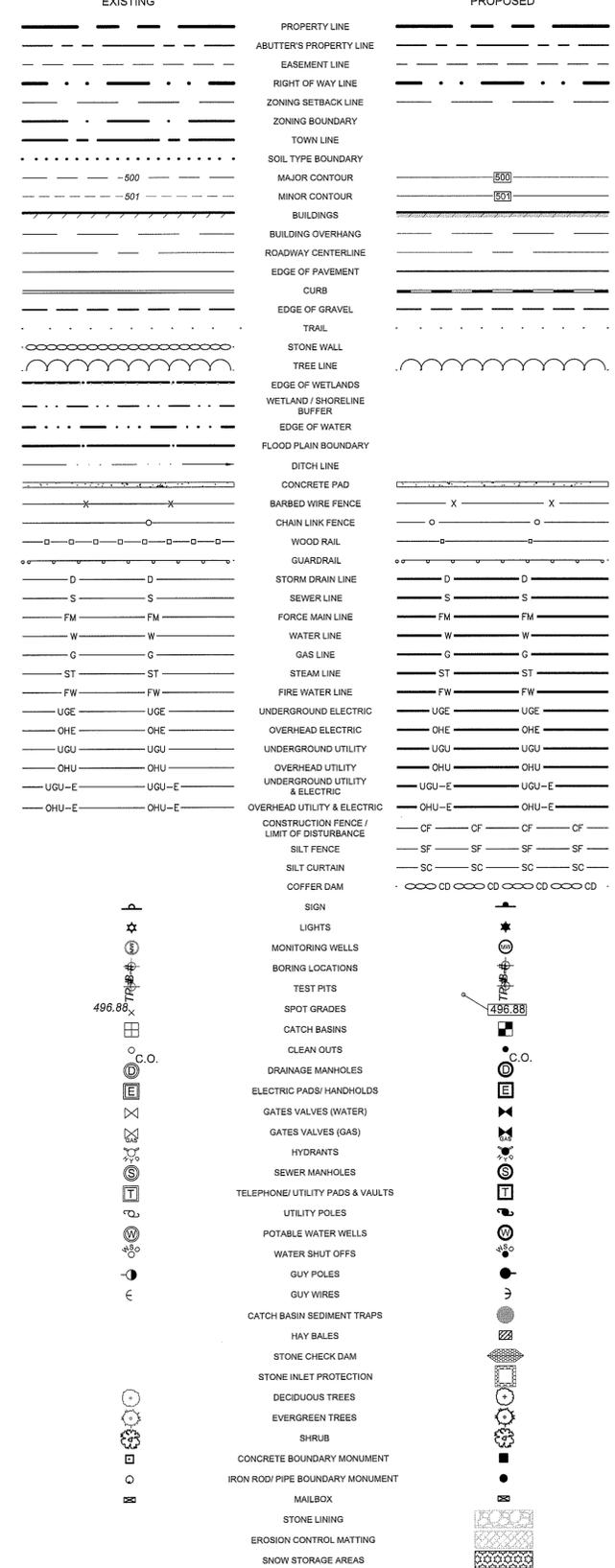
**SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING**: GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY:

EROSION CONTROL SEED		
SEED	BY % MASS	% GERMINATION (MIN)
WINTER RYE 80 (MIN)	80 (MIN)	85
RED FESCUE (CREEPING)	4 (MIN)	80
PERENNIAL GRASS	3 (MIN)	90
RED CLOVER	3 (MIN)	90
OTHER CROP GRASS	0.5 (MAX)	
NOXIOUS WEED SEED	0.5 (MAX)	
INERT MATTER	1.0 (MAX)	

PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDINO CLOVER	5	85

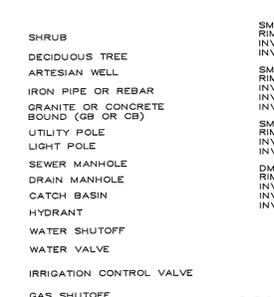
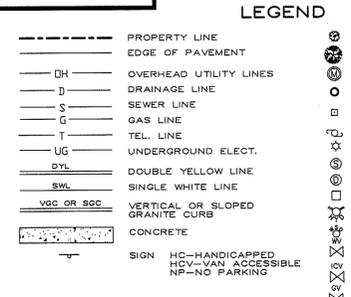
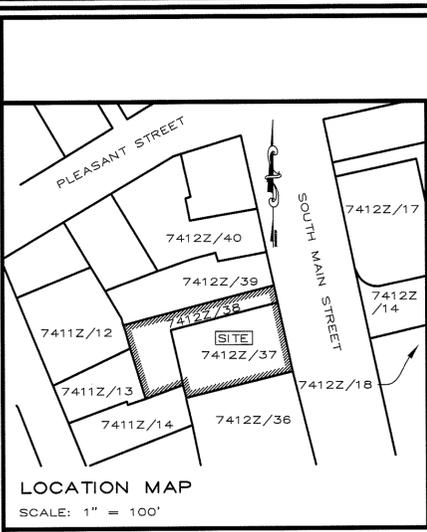
### LEGEND



### STANDARD ABBREVIATIONS

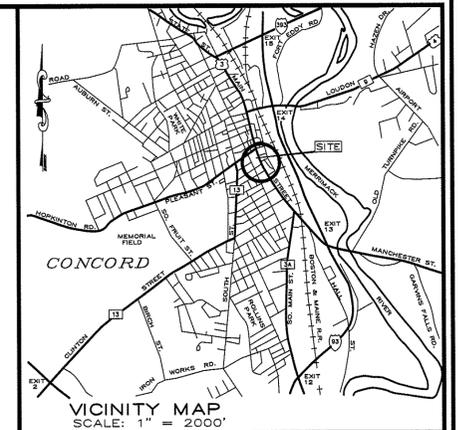
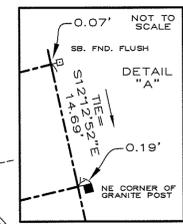
- BCC - BITUMINOUS CONCRETE CURB
- VGC - VERTICAL GRANITE CURB
- SGC - SLOPED GRANITE CURB
- CCC - CAST-IN-PLACE CONCRETE CURB
- PCC - PRECAST CONCRETE CURB
- ICC - INTEGRAL CONCRETE CURB
- RCC - REINFORCED CONCRETE CURB
- BGP - BITUMINOUS CONCRETE PAVEMENT
- GRV - GRAVEL DRIVE SURFACE
- PCS - PORTLAND CEMENT CONCRETE SIDEWALK
- BSC - BITUMINOUS CONCRETE SIDEWALK
- CB - CATCH BASIN
- DMH - DRAINAGE MANHOLE
- SMH - SEWER MANHOLE

4321-2



**STRUCTURE SCHEDULE**

SMH 756 RIM 269.81 INV 261.61 8" CLAY (E) INV 263.16 8" CLAY (S) SUMP 264.3	CB 2593 RIM 269.53 INV 265.00 6" PVC (E) INV 265.10 4" PVC (W) SUMP 264.3	SMH 757 RIM 269.27 INV 256.27 8" CLAY (E) INV 256.37 INSIDE DROP 8" CLAY (W) INV 258.47 8" PVC (NW)	DMH 19665 RIM 269.12 INV 257.92 12" PVC (N) INV 257.87 12" PVC (S) INV 257.92 8" PVC (NW)	CB 20912 RIM 269.53 INV 265.33 8" PVC (NW)	DMH 20913 RIM 269.72 INV 263.42 8" CLAY (E) INV (S)-6" CLAY STUB INV 263.47 8" CLAY (W)
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MAP 7412Z LOT 14  
CITY OF CONCORD  
41 Green Street  
Concord, NH 03301  
V. 2870 P. 953

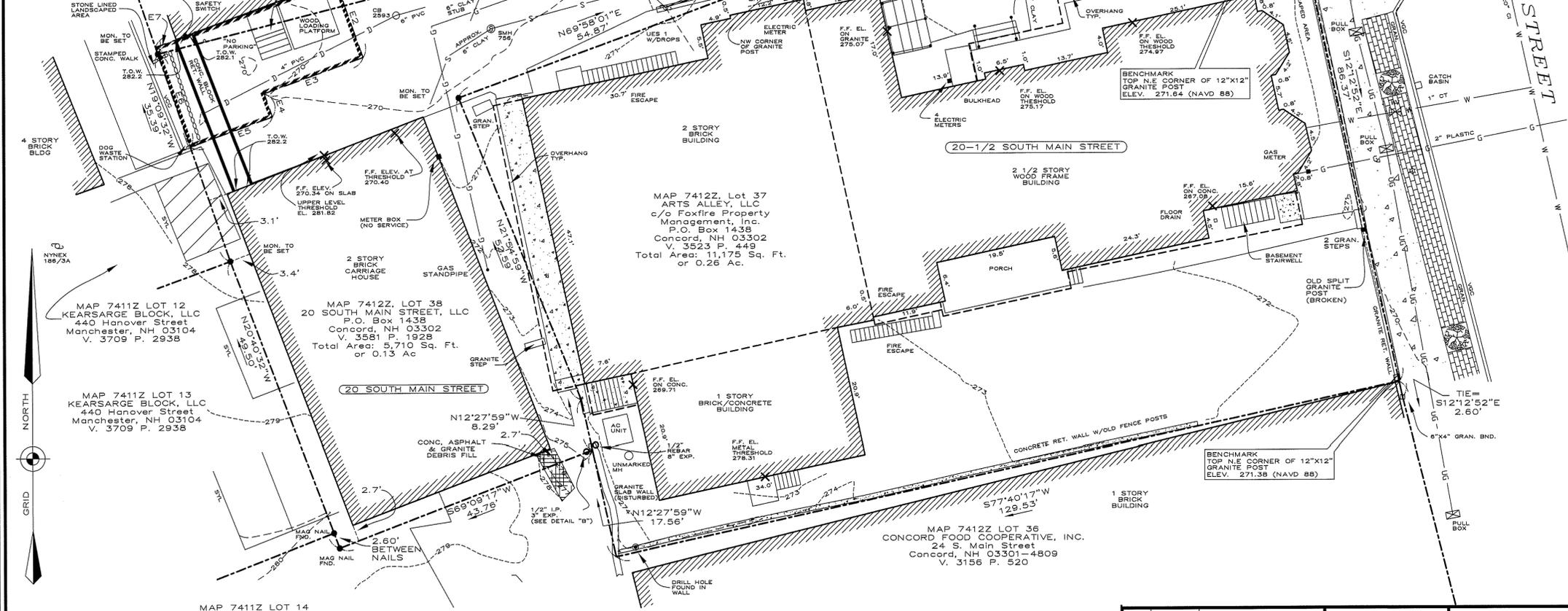
MAP 7412Z LOT 18  
SOUTH MAIN STREET  
CONDOMINIUM  
25 South Main Street  
Concord, NH 03301-4814  
V. 3173 P. 363

**EASEMENT LINE TABLE**

LINE	BEARING	LENGTH
E1	N70°21'07"E	30.98
E2	S19°39'02"E	13.00
E3	S70°21'07"W	17.00
E4	S19°37'36"E	4.00
E5	S70°22'24"W	14.13
E6	N19°09'32"W	15.83
E7	N18°52'20"W	1.17

BLDG. COR. DISTANCE PERPENDICULAR TO PROPERTY LINE = 1.5'

COMMON DOCK & STAIRWAY EASEMENT V. 3601 P. 1720



- NOTES**
- Survey by total station between the dates of February 14 through 16, 2019. Control Traverse error of closure is less than 1":15,000'. Additional topographic survey was performed May 6, 2022 and again on November 7, 2023.
  - Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83.
  - Vertical datum is based on NAVD 88.
  - Owners of record: Arts Alley, LLC - c/o Foxfire Property Management, Inc. P.O. Box 1438 Concord, NH 03302 - Map 7412Z Lot 37 - V. 3523 P. 449. 20 South Main Street, LLC - 2 Pillsbury Street 500 Concord, NH 03301-3576 - Map 7412Z, Lot 38 - V. 3581 P. 1928.
  - Parcel is zoned CBP; No building setback requirements, Min. Frontage = 22'; No Minimum lot coverage or lot size requirements, Maximum building height = 80'
  - The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
  - The intent of this plat is to show existing conditions on Map 7412Z, Lot 38.
  - The site is located within Zone X - Areas of minimal flood hazard as depicted on the Flood Insurance Rate Map for the City of Concord, NH Map number 3301300533E having an effective date of April 19, 2010.
  - The parcel has direct access to South Main Street, a public R.O.W. The R.O.W. of South Main Street varies and was determined by prior route survey of the Main Street corridor for the City of Concord by this office in 2012.
  - The parcel has no on-site parking.

- REFERENCES**
- "Tax Map 35, Lots 6-4 & 6-5 Existing Conditions Plan 16-18 & 20 South Main Street Concord, NH owned by New Concord Theatre, LLC & 20 South Main Street, LLC", dated Jan. 25, 2018 by T.F. Moran.
  - "Plan of Land belonging to the United Life & Accident Ins. Co." dated March 1921 by Lloyd & Mann. (Unrecorded)
  - "Plan of land belonging to The Friendly Club", dated Aug. 1940 by Lloyd & Mann. (Unrecorded)
  - "Plan of land belonging to The Friendly Club", dated March 1923 by Lloyd & Mann. (Unrecorded)
  - "Data in rear of the United Life & Acc't Ins. Co. Bldg.", dated Dec. 1939, by Lloyd & Mann. (Unrecorded)
  - "Plan of Land belonging to Joseph Garofoli", dated Dec. 1927, by Lloyd & Mann. (Unrecorded)
  - "Plan of Land of United Life & Accident Ins. Co.", dated Nov. 1939 by R.A. Foster, on file at the City of Concord Engineering dept. as plan no. 162.
  - Plan for Kenneth G. Clarke at 20 1/2 South Main Street", dated Oct. 5, 1962 by E.N. Roberts, recorded at the MCRD as plan no. 1828.
  - "Property plan for Durrell Estate", dated Aug., 1965 by R.D. Bartlett, recorded at the MCRD as plan no. 2018.
  - "Property Survey for City Realty Co.", dated October 1966 by R.D. Bartlett recorded at the MCRD as plan no. 2113.
  - "Existing Conditions Plat of land of Arts Alley, LLC", dated Jan. 19, 2023 by Richard D. Bartlett & Associates, LLC, on file at this office.

MAP 7411Z LOT 12 KEARSARGE BLOCK, LLC  
440 Hanover Street  
Manchester, NH 03104  
V. 3709 P. 2938

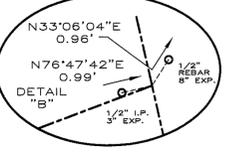
MAP 7411Z LOT 13 KEARSARGE BLOCK, LLC  
440 Hanover Street  
Manchester, NH 03104  
V. 3709 P. 2938

MAP 7411Z LOT 14 KJD REAL ESTATE, LLC  
185 Sandown Rd.  
Danville, NH 03819  
V. 3636 P. 292

MAP 7412Z, Lot 37 ARTS ALLEY, LLC  
c/o Foxfire Property Management, Inc.  
P.O. Box 1438  
Concord, NH 03302  
V. 3523 P. 449  
Total Area: 11,175 Sq. Ft. or 0.26 Ac.

MAP 7412Z, Lot 38 20 SOUTH MAIN STREET, LLC  
P.O. Box 1438  
Concord, NH 03302  
V. 3581 P. 1928  
Total Area: 5,710 Sq. Ft. or 0.13 Ac.

MAP 7412Z LOT 36 CONCORD FOOD COOPERATIVE, INC.  
24 S. Main Street  
Concord, NH 03301-4809  
V. 3156 P. 520



**CERTIFICATIONS**

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBSAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1":10,000.

*Richard D. Bartlett*  
SIGNATURE

899 LICENSE NO. 12/20/23 DATE

NO.	DATE	REVISION
1	12/20/23	STRUCTURE SCHEDULE

**RICHARD D. BARTLETT & ASSOCIATES, LLC**

214 North State Street  
Concord, N.H. 03301  
Tel.: (603) 225-6770

info@richarddbartlett.com  
www.richarddbartlett.com

LICENSED LAND SURVEYORS

**EXISTING CONDITIONS PLAT of land of ARTS ALLEY, LLC & 20 SOUTH MAIN STREET, LLC**

PROJECT: MAP 7412Z LOTS 37 & 38  
LOCATION: 20 & 20 1/2 S. MAIN ST.  
CONCORD, NH

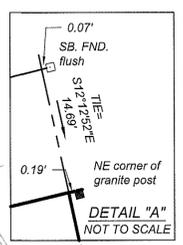
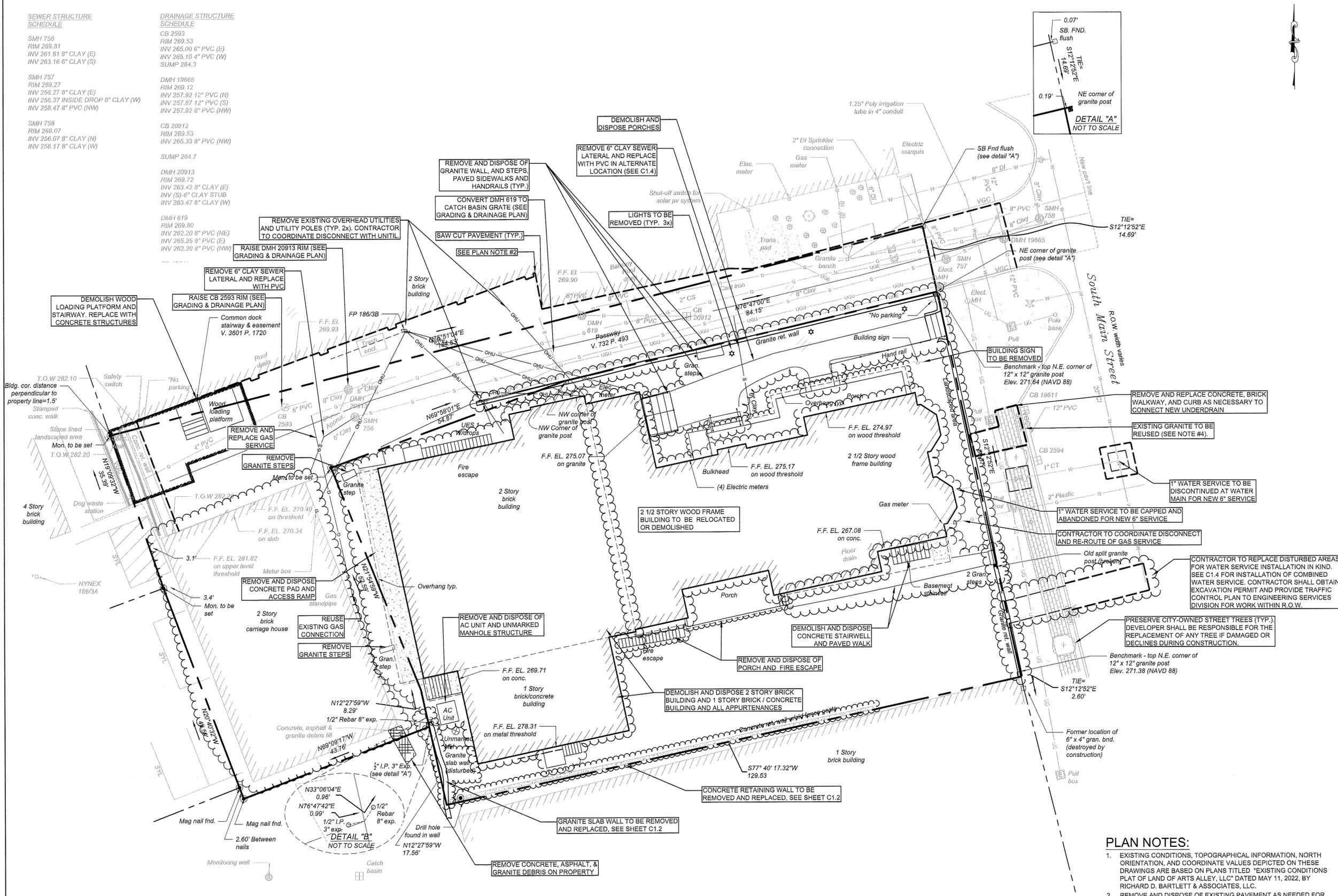
GRAPHIC SCALE  
0' 10' 20'  
1" = 10'

DATE: NOV. 9, 2023  
JOB NO.: 1023.205  
SHEET 1 OF 1

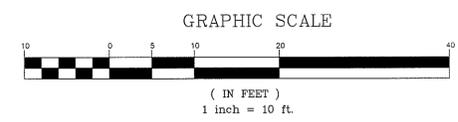
SEWER STRUCTURE SCHEDULE	DRAINAGE STRUCTURE SCHEDULE
SMH 756 RIM 269.81 INV 261.61 8" CLAY (E) INV 263.16 6" CLAY (S)	CB 2593 RIM 269.53 INV 265.00 6" PVC (E) INV 265.10 4" PVC (W) SUMP 264.3
SMH 757 RIM 269.27 INV 266.27 8" CLAY (E) INV 266.37 INSIDE DROP 8" CLAY (W) INV 258.47 6" PVC (NW)	DMH 19665 RIM 269.12 INV 257.92 12" PVC (N) INV 257.87 12" PVC (S) INV 257.92 6" PVC (NW)
SMH 758 RIM 269.07 INV 256.07 8" CLAY (N) INV 256.17 8" CLAY (W)	CB 20912 RIM 269.53 INV 265.33 8" PVC (NW) SUMP 264.7

DMH 20913 RIM 269.72 INV 263.42 8" CLAY (E) INV (S)-6" CLAY STUB INV 263.47 8" CLAY (W)
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DMH 619 RIM 269.80 INV 262.20 8" PVC (NE) INV 265.25 8" PVC (E) INV 262.20 8" PVC (NW)
--



- PLAN NOTES:**
- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAT OF LAND OF ARTS ALLEY, LLC" DATED MAY 11, 2022, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
  - REMOVE AND DISPOSE OF EXISTING PAVEMENT AS NEEDED FOR REMOVAL AND INSTALLATION OF CURBS (SEE C1.2), REGRADING AT BUILDING EGRESSSES (SEE C1.3), AND DISCONNECT AND INSTALLATION OF UTILITIES (SEE C1.4). REFER TO SAW CUT LINE FOR APPROXIMATE LIMITS OF PAVEMENT REMOVAL.
  - SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES.
  - EXISTING GRANITE TO BE STORED AND REUSED ON SITE.



**Wilcox & Barton INC.**  
CIVIL · ENVIRONMENTAL · GEOTECHNICAL

2 HOME AVENUE  
CONCORD, NH 03301  
603-369-4190  
www.wilcoxandbarton.com

- REVISION HISTORY**
- REVISED PER BUILDING UPDATE 11/16/2022 (GAG)
  - REVISED PER CITY COMMENTS 02/20/2023 (JMM)
  - REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
  - AMENDED SITE PLANS 04/19/2023 (RSR)
  - REVISED PER BUILDING UPDATES 12/19/2023 (JMJ)
  - REVISED PER CITY COMMENTS 01/17/2024 (JMJ)
  - REVISED TO ADD NEW TRANSFORMER 01/30/2024 (ERL)
  - REVISED FOR GMP PLAN SET 02/09/2024 (JMJ)
  - ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

**CONSTRUCTION**

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

OWNER

**20 SOUTH MAIN STREET LLC**  
P.O. BOX 1438  
CONCORD, NH 03302

**ARTS ALLEY LLC**  
P.O. BOX 1438  
CONCORD, NH 03302

**ARTS ALLEY**

**20 SOUTH MAIN ST**  
CONCORD, NH 03301  
MAP 7412Z, LOT 38

**22 SOUTH MAIN ST**  
CONCORD, NH 03301  
MAP 7412Z, LOT 37

**DEMOLITION PLAN**

SCALE 1" = 10'

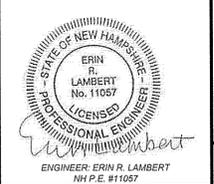
DATE 07/20/2022

DRAFTED BY RSR	CHECKED BY CAT	PROJECT MGR ERL	PROJECT NO. ARTS0001
----------------	----------------	-----------------	----------------------

SHEET NO.

**C1.1**

04 OF 19



4321-4



REVISION HISTORY  
1. REVISED PER BUILDING UPDATE 11/19/2022 (GAG)  
2. REVISED PER CITY COMMENTS 11/28/2022 (JMM)  
3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)  
4. AMENDED SITE PLANS 04/19/2023 (PSS)  
5. REVISED PER BUILDING UPDATES 12/19/2023 (JMJ)  
6. REVISED PER CITY COMMENTS 01/17/2024 (JMJ)  
7. REVISED TO ADD NEW TRANSFORMERS 01/03/2024 (ERL)  
8. REVISED FOR GMP PLAN SET 02/09/2024 (JMJ)  
9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

ISSUED FOR  
**CONSTRUCTION**

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY. OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

OWNER  
**20 SOUTH MAIN STREET LLC**  
P.O. BOX 1438  
CONCORD, NH 03302

**ARTS ALLEY LLC**  
P.O. BOX 1438  
CONCORD, NH 03302

SITE  
**ARTS ALLEY**  
20 SOUTH MAIN ST  
CONCORD, NH 03301  
MAP 7412Z, LOT 38

**22 SOUTH MAIN ST**  
CONCORD, NH 03301  
MAP 7412Z, LOT 37

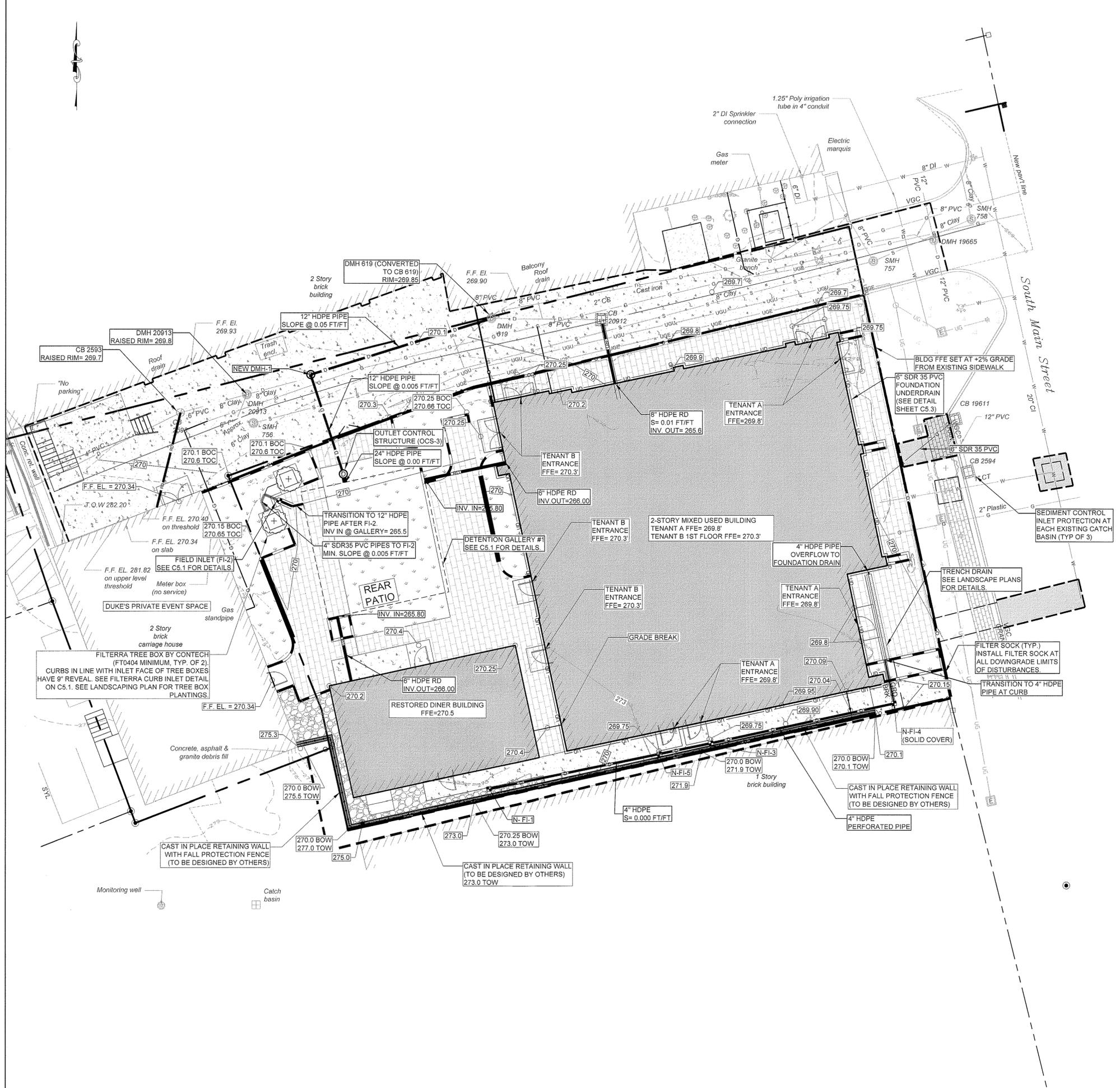
DRAWING TITLE  
**GRADING & DRAINAGE PLAN**

SCALE	DATE		
1" = 10'	07/20/2022		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	CAT	ERL	ARTS0001

STATE OF NEW HAMPSHIRE  
ERIN R. LAMBERT  
No. 11057  
LICENSED PROFESSIONAL ENGINEER  
ENGINEER ERIN R. LAMBERT  
NH P.E. #11057

**C1.3**

06 OF 19



**DRAINAGE STRUCTURE SCHEDULE**  
CB 2593  
RIM 269.53  
INV 265.00 6\"/>

DMH 19665  
RIM 269.12  
INV 257.92 12\"/>

CB 20912  
RIM 269.53  
INV 265.33 8\"/>

DMH 20912  
RIM 269.72  
INV 263.42 8\"/>

DMH 619  
RIM 269.80  
INV 262.20 8\"/>

CB 19611  
RIM 268.89  
INV 264.27 (S)  
NEW INV. 264.37 6\"/>

CB 2594  
RIM 269.98  
INV 264.36 (N)  
INV 262.17 (SE)

NEW FI-1  
RIM 269.90  
INV. 266.60 4\"/>

NEW FI-2  
RIM 269.90  
INV. 266.30 4\"/>

NEW OCS-3  
RIM 270.06  
INV. 264.50 24\"/>

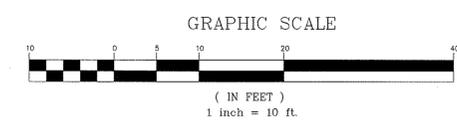
NEW DMH-1  
RIM 269.93  
INV. 264.40 12\"/>

NEW FI-3  
RIM 269.70  
INV. 266.60 4\"/>

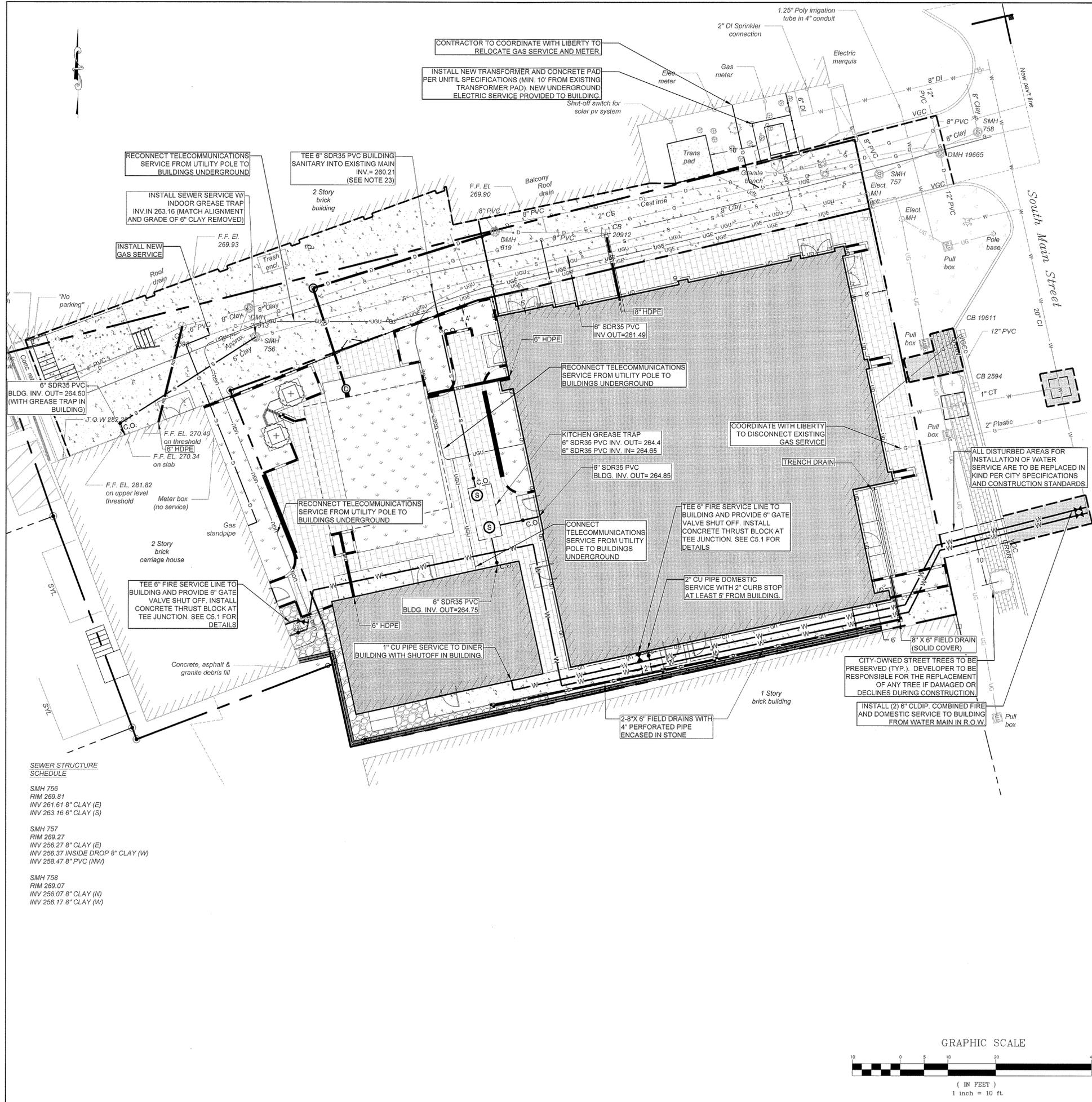
NEW FI-4 (SOLID COVER)  
RIM 269.65  
INV. 266.60 4\"/>

NEW FI-5  
RIM 269.70  
INV. 266.60 4\"/>

- PLAN NOTES:**
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
  - CONTRACTOR SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
  - SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
  - FINISH CURB ELEVATIONS SHALL BE 6\"/>



4321-6



**PLAN NOTES:**

- REFER TO SURVEYOR'S PLAN, FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- LOCATIONS AND ELEVATIONS OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
- THERE WILL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE POTABLE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE WILL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE. NO SEWER WILL BE LOCATED WITHIN THE WELL PROTECTIVE RADI ESTABLISHED IN ENV-W3 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL. SEWERS WILL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. A DEVIATION FROM THE SEPARATION REQUIREMENTS WILL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS, PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENV-WQ 704.07. WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER WILL BE CONSTRUCTED AS FOLLOWS:
  - VERTICAL SEPARATION OF THE SEWER AND WATER MAIN WILL NOT BE LESS THAN 18 INCHES, WITH WATER ABOVE SEWER. VERTICAL SEPARATION OF THE SEWER AND WATER SERVICES WILL NOT BE LESS THAN 18", WITH WATER ABOVE SEWER; AND
  - SEWER PIPE JOINTS WILL BE LOCATED AT LEAST 5 FEET HORIZONTALLY FROM THE WATER MAIN.
  - IF VERTICAL SEPARATION IS NOT 18" THE SEWER SHALL BE RECONSTRUCTED WITH FORCE MAIN MATERIALS FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF CROSSING.
- THE CONTRACTOR WILL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES WILL BE TO THE CITY STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- ALL CONSTRUCTION WILL CONFORM TO THE CITY STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES WILL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT THE APPLICABLE EXISTING WATER SERVICE CONNECTION AT THE RESPECTIVE MAIN IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS WILL BE SUBMITTED TO ENGINEERING SERVICES DIVISION.
- INVERTS AND SHELVES: MANHOLES WILL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS WILL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES WILL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF WILL CONSIST OF GRADE SS HARD BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WILL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN", AS APPROPRIATE, WILL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- WILLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
- CONTRACTOR WILL PLACE 2" WIDE METAL WIRE IMPREGNATED GREEN PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) WILL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RIM ELEVATIONS OF SANITARY AND DRAIN MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS WILL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700, CONFORMING TO THE FOLLOWING MIN. CRITERIA:
  - ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS WILL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-8. LINES WILL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS WILL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION.
  - ENV-WQ 704.09 FORCE MAIN AND LOW PRESSURE SEWER TESTING: WILL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C800-05, AND AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.
  - ENV-WQ 704.17 (a) SEWER MANHOLES: WILL BE TESTED FOR LEAKAGE USING A VACUUM TEST. TESTING WILL BE CONDUCTED PRIOR TO PLACEMENT OF SHELVES AND INVERTS.
- SEWERS WILL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A NHDES WAIVER IS NEEDED IF THE MINIMUM REQUIRED DEPTH CANNOT BE MET.
- SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE, HOWEVER, THE CITY RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE).
- CONTRACTOR WILL SET RIMS OF NEW SANITARY SEWER MANHOLES TO EXISTING FINISHED GRADE FOR THE WINTER SEASON. RIMS WILL BE RAISED IN THE SPRING PRIOR TO PLACEMENT OF 1" BITUMINOUS OVERLAY.
- SERVICE LATERAL LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED IN THE FIELD BASED ON INPUT FROM CITY INSPECTOR AND/OR PROJECT CLERK OF THE WORKS.
- SEWER FLOWS WILL NEED TO BE INVESTIGATED PRIOR TO AND BYPASSED DURING SEWER CONSTRUCTION IN ORDER TO CUT IN PROPOSED 8x6 TEES.
- REFER TO SHEET C02 FOR GENERAL NOTES AND LEGEND.
- SEWER PIPES SHALL BE JETTED PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY FROM THE CITY OF CONCORD.

**Wilcox & Barton INC.**  
 CIVIL - ENVIRONMENTAL - GEOTECHNICAL

2 HOME AVENUE  
 CONCORD, NH 03301  
 603-369-4190  
 www.wilcoxandbarton.com

REVISION HISTORY

- REVISED PER BUILDING UPDATE 11/18/2022 (GAG)
- REVISED PER CITY COMMENTS 11/28/2022 (JMM)
- REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
- AMENDED SITE PLANS 04/19/2023 (RSR)
- REVISED PER BUILDING UPDATES 12/19/2023 (JMJ)
- REVISED PER CITY COMMENTS 01/17/2024 (JMJ)
- REVISED TO ADD NEW TRANSFORMER 01/03/2024 (ERL)
- REVISED FOR GMP PLAN SET 02/09/2024 (JMJ)
- ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)

ISSUED FOR

**CONSTRUCTION**

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 CONCORD, NH 03302

**ARTS ALLEY LLC**  
 P.O. BOX 1438  
 CONCORD, NH 03302

**ARTS ALLEY**

**20 SOUTH MAIN ST**  
 CONCORD, NH 03301  
 MAP 7412Z, LOT 38

**22 SOUTH MAIN ST**  
 CONCORD, NH 03301  
 MAP 7412Z, LOT 37

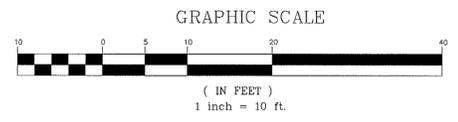
**UTILITY PLAN**

SCALE	1" = 10'	DATE	07/20/2022
DRAFTED BY	RSR	CHECKED BY	CAT
PROJECT MGR	ERL	PROJECT NO.	ARTS0001
SHEET NO.	C1.4		

STATE OF NEW HAMPSHIRE  
 ERIN R. LAMBERT  
 No. 11057  
 LICENSED PROFESSIONAL ENGINEER

ENGINEER ERIN R. LAMBERT  
 194 P.E. #11057

07 OF 19



**SEWER STRUCTURE SCHEDULE**

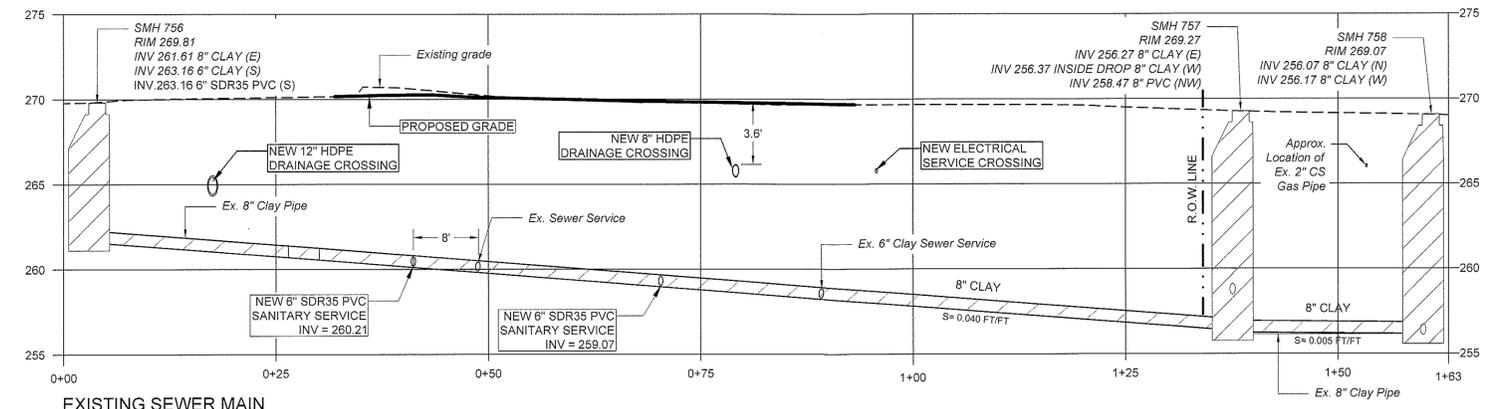
SMH 756  
 RIM 269.81  
 INV 261.61 8" CLAY (E)  
 INV 263.16 6" CLAY (S)

SMH 757  
 RIM 269.27  
 INV 256.27 8" CLAY (E)  
 INV 256.37 INSIDE DROP 8" CLAY (W)  
 INV 258.47 8" PVC (NW)

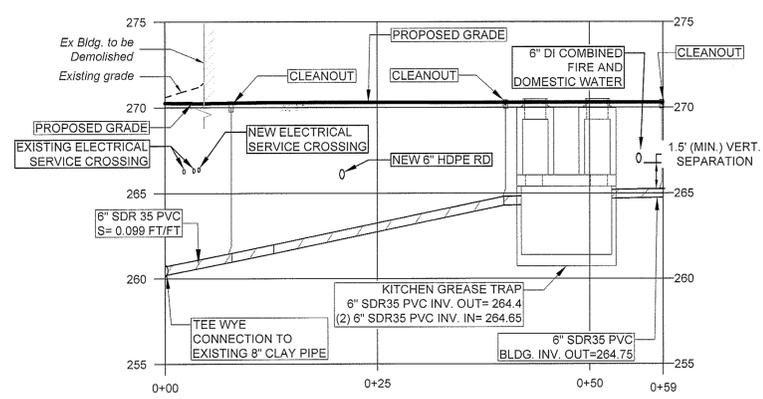
SMH 758  
 RIM 269.07  
 INV 256.07 8" CLAY (N)  
 INV 256.17 8" CLAY (W)

4321-7

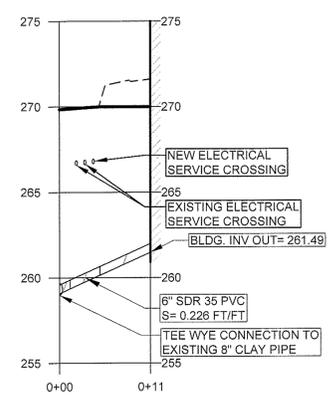
- REVISION HISTORY
1. REVISED PER BUILDING UPDATE 11/18/2022 (GAG)
  2. REVISED PER CITY COMMENTS 11/28/2022 (JMM)
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  9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMM)



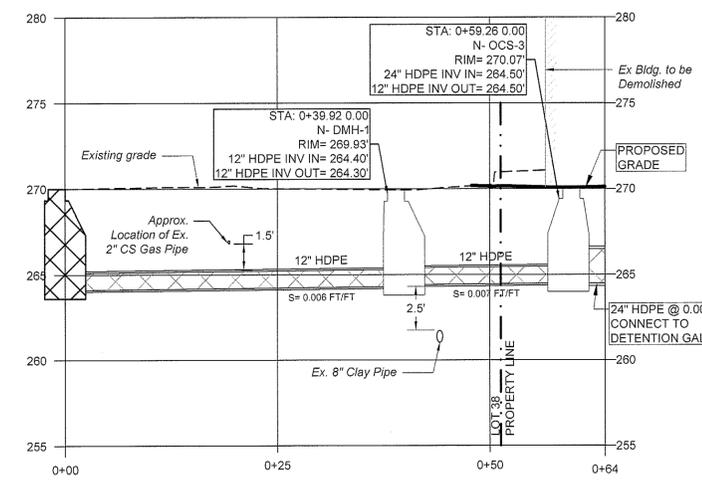
**EXISTING SEWER MAIN**  
Horiz Scale: 1" = 10  
Vert Scale: 1" = 5



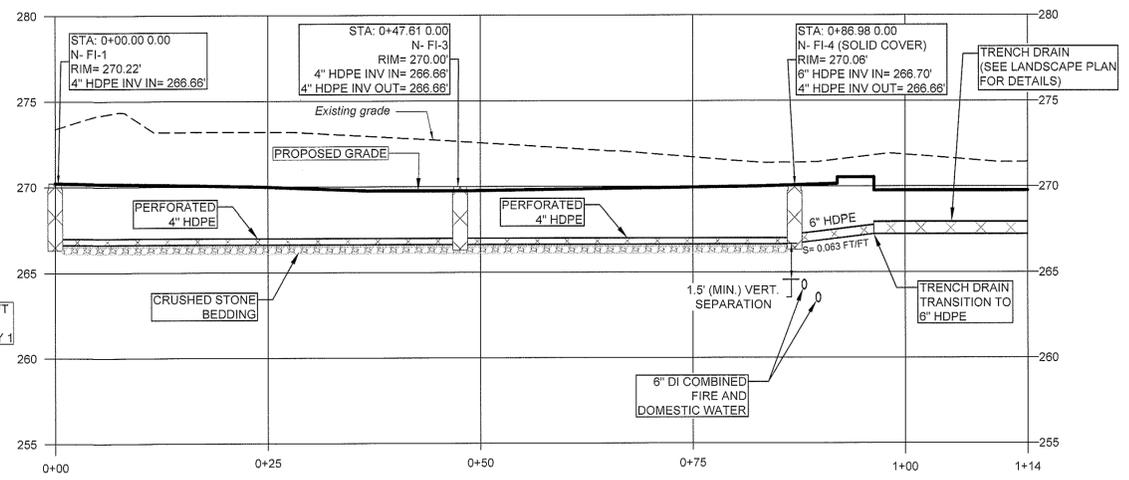
**SEWER SERVICE (RESTORED DINER BLDG)**  
Horiz Scale: 1" = 10  
Vert Scale: 1" = 5



**SEWER SERVICE (MIXED-USE BLDG)**  
Horiz Scale: 1" = 10  
Vert Scale: 1" = 5



**DRAINAGE SYSTEM**  
Horiz Scale: 1" = 10  
Vert Scale: 1" = 5



**FIELD DRAINS**  
Horiz Scale: 1" = 10  
Vert Scale: 1" = 5

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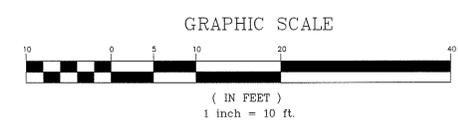
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**UTILITY PROFILES**

SCALE	DATE		
1" = 10'	07/20/2022		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	CAT	ERL	ARTS0001
SHEET NO.			

STATE OF NEW HAMPSHIRE  
ERIN R. LAMBERT  
No. 11057  
LICENSED PROFESSIONAL ENGINEER  
ENGINEER ERIN R. LAMBERT  
NH P.E. #11057

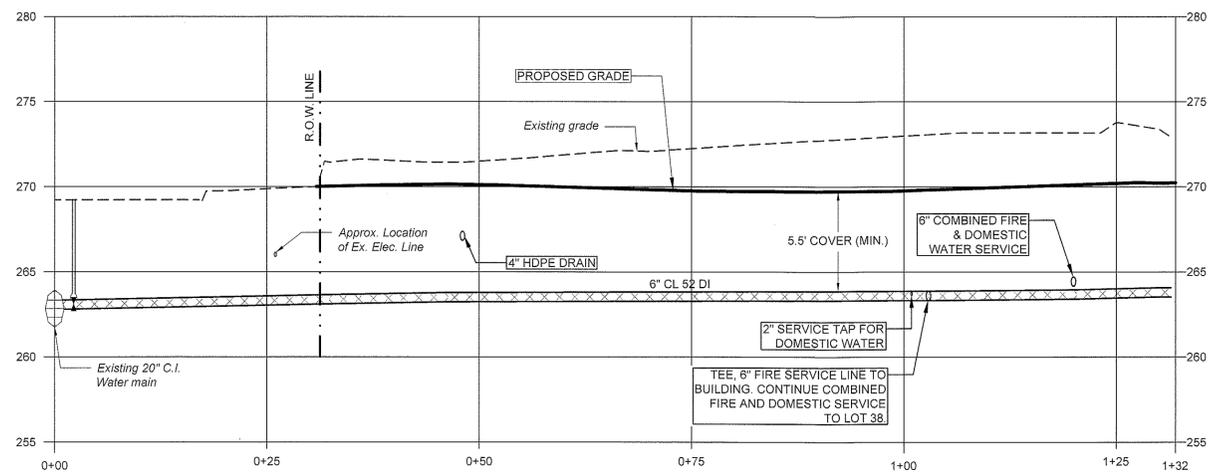
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08 OF 19

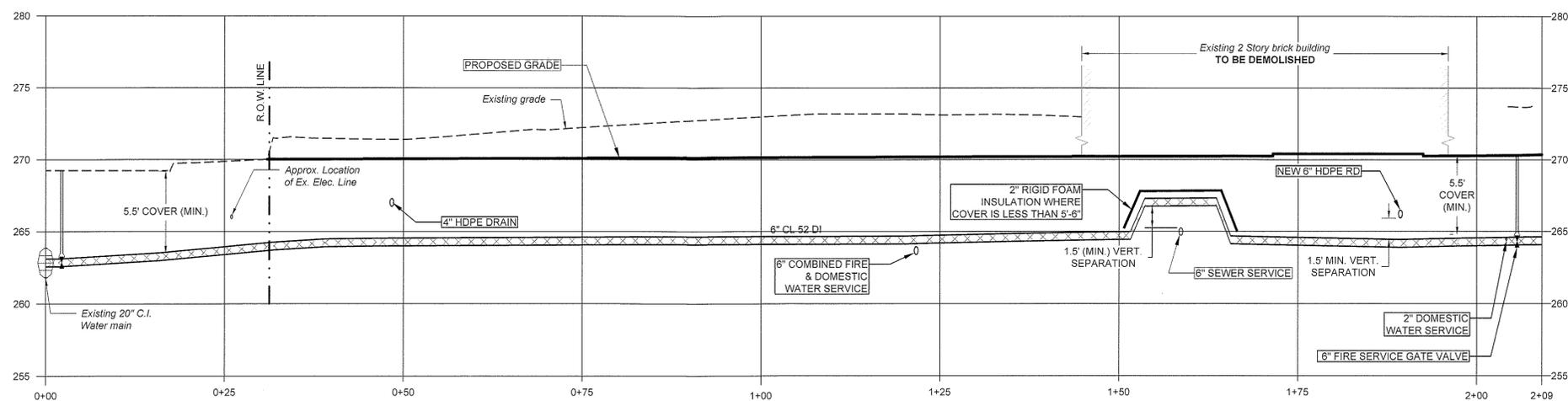


4321-8

- REVISION HISTORY
1. REVISED PER BUILDING UPDATE 11/16/2022 (GAG)
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**WATER**  
Horiz Scale: 1" = 10  
Vert Scale: 1" = 5



**COMBINED FIRE AND DOMESTIC SERVICE**  
Horiz Scale: 1" = 10  
Vert Scale: 1" = 5

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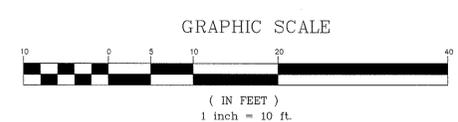
DRAWING TITLE  
**UTILITY PROFILES**

SCALE	DATE		
1" = 10'	07/20/2022		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	CAT	ERL	ARTS0001

ENGINEER ERIN R. LAMBERT  
NH P.E. #11057

**C2.2**

09 OF 19

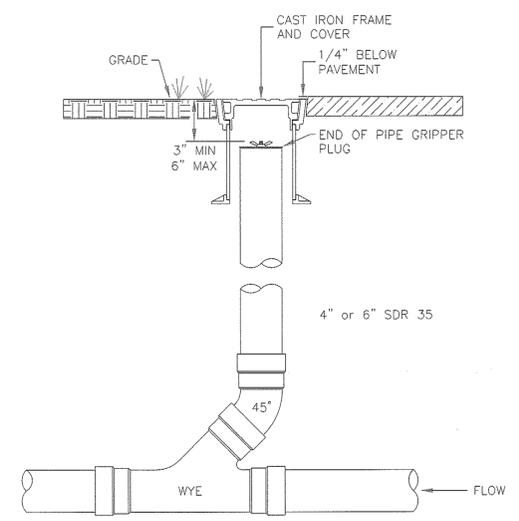
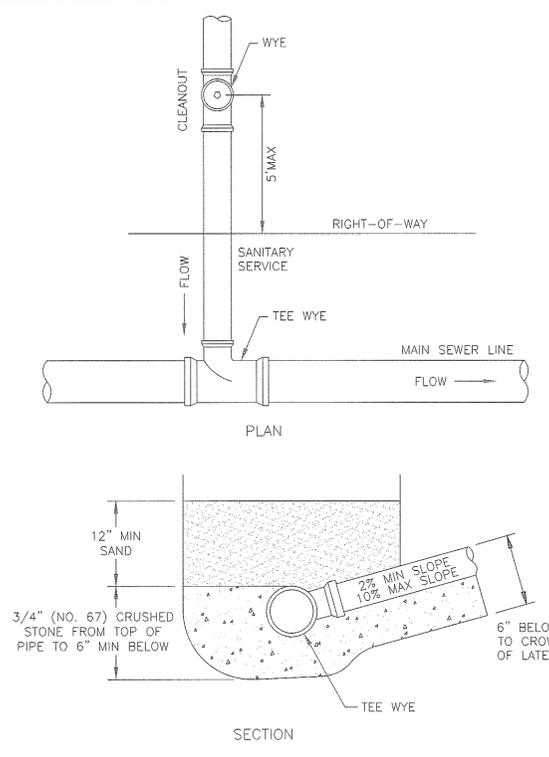
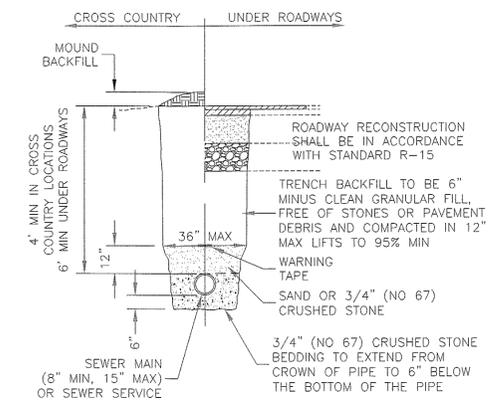
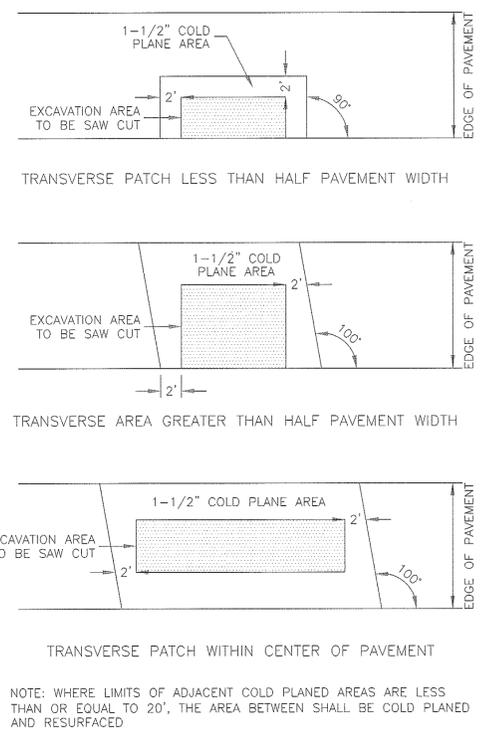


41321-9



REVISION HISTORY

1. REVISED PER BUILDING UPDATE 11/16/2022 (GAG)
2. REVISED PER CITY COMMENTS 11/28/2022 (JMM)
3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
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8. REVISED FOR CMP PLAN SET 02/09/2024 (JMM)
9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMM)



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET	NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER	NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER	NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER	
1	DRAWING NO.	11.11				1	STANDARD REF.	3/19				1	STONE & DIMS	3/19										
2	MULTIPLE	12.15																						
SAWCUT REQUIREMENTS					DRAWING NO. R-12	SANITARY SEWER MAIN/SERVICE TRENCH					DRAWING NO. SM-1	SEWER SERVICE CONNECTION AT MAIN					DRAWING NO. SS-1	CLEANOUTS ON SERVICE LATERALS					DRAWING NO. SS-3	
					DATE: 12/08						DATE: 08/13						DATE: 12/08						DATE: 12/08	

R12\_RDRW-Sawcut\_B.dwg SM1\_SEWR-Trench\_3.dwg SS1\_SEWR-Service Connection.dwg SS3\_SEWR-Cleanout\_1.dwg

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DRAWING TITLE  
**CONSTRUCTION DETAILS**

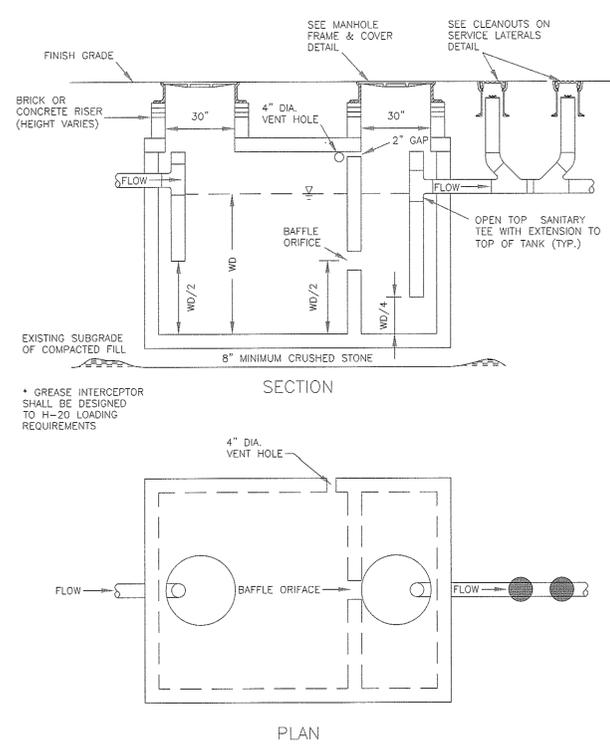
SCALE: N.T.S. DATE: 07/20/2022

DRAFTED BY: RSR CHECKED BY: CAT PROJECT MGR: ERL PROJECT NO: ARTS0001

ENGINEER ERIN R. LAMBERT  
NH P.E. #11057

**C5.2**

11 OF 19



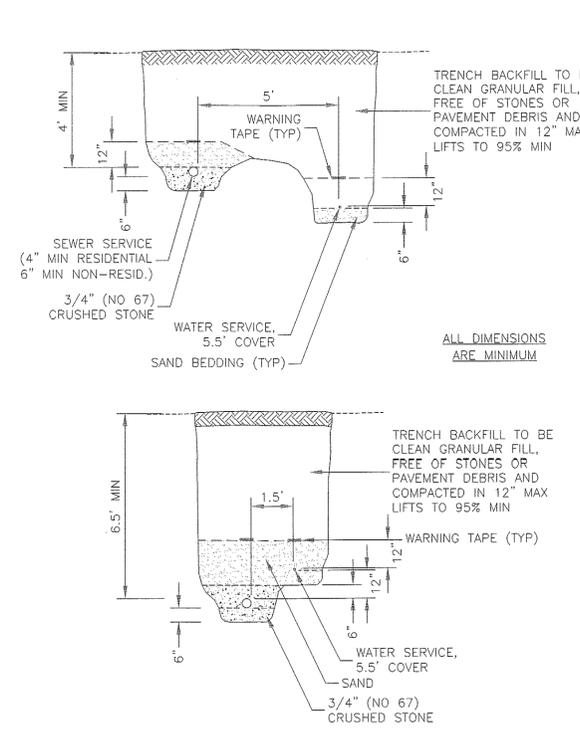
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER
1	DRAFTING	4.15			

APPROVED BY:

DATE: 2/2020

DATE: 03/15

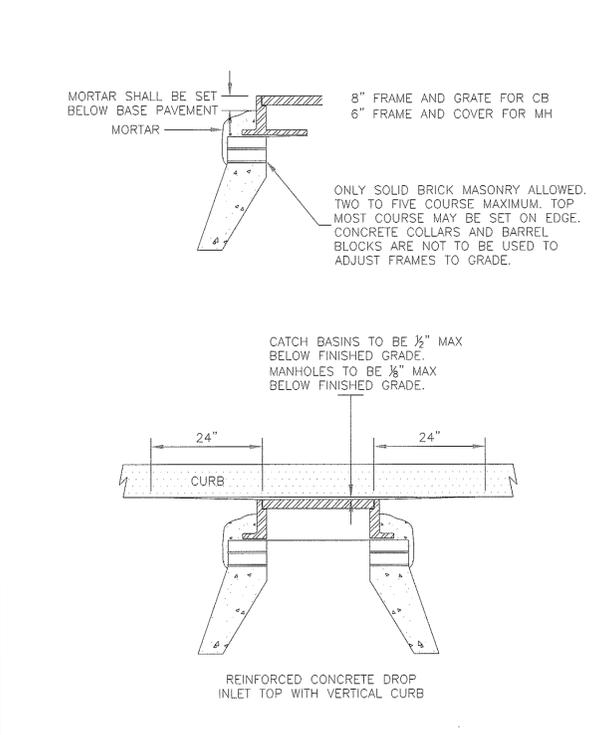
SS8\_SEWR-Typical External Grease Interceptor.dwg SS7\_SEWR-Service Trench\_3.dwg



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWR-WATR
1	DRAFTING	4.15			

DATE: 03/15

SS7\_SEWR-Service Trench\_3.dwg



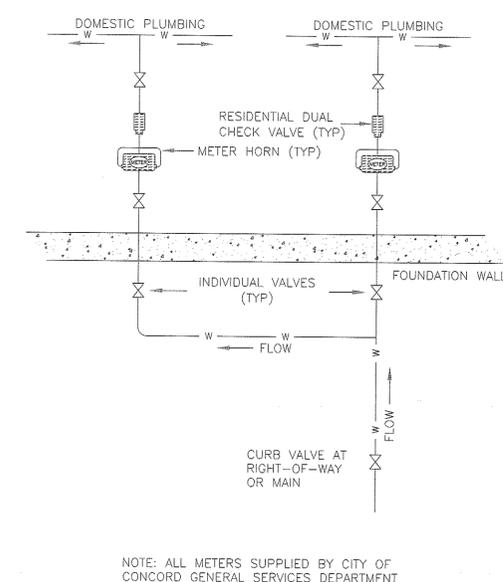
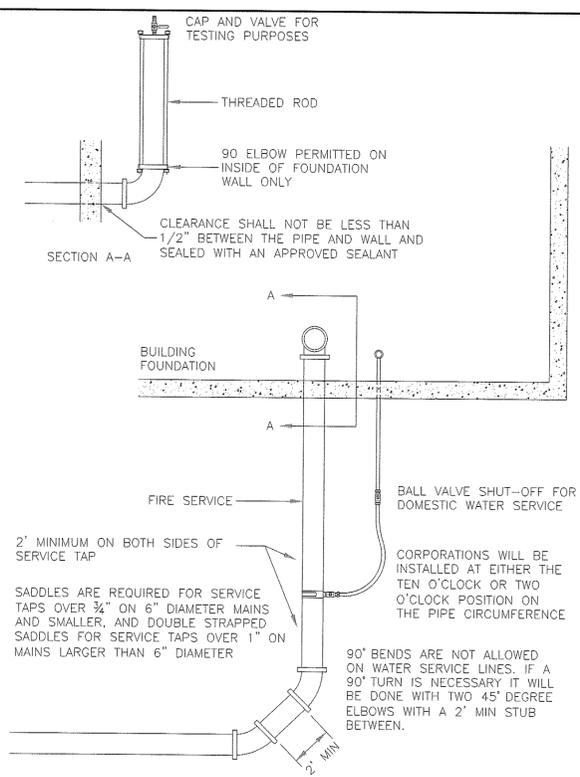
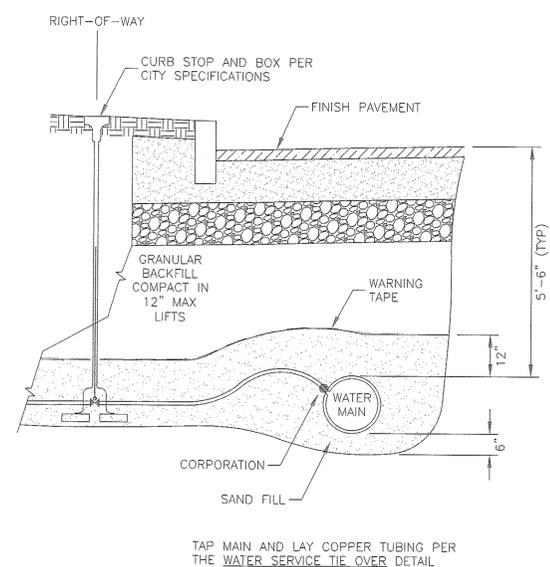
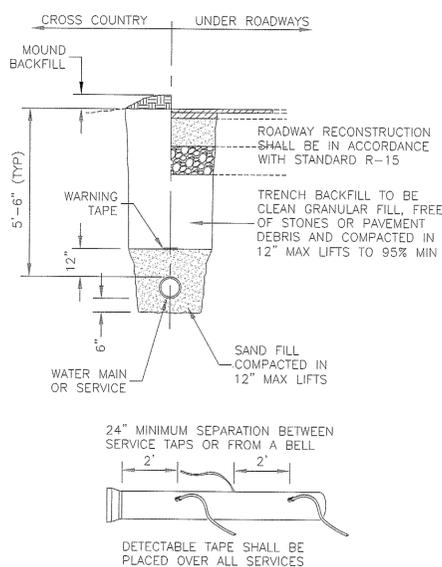
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER/STORM
1	DRAFTING	4.15			

DATE: 12/08

SD5\_STRM-Adj Frames to Grade\_1.5.dwg

4321-11

- REVISION HISTORY
1. REVISED PER BUILDING UPDATE 11/19/2022 (GAG)
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NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	WATER
1	NEW FORMAT	4.15			
2	STANDARD REFERENCE	01.19			

**WATER MAIN/SERVICE TRENCH**

DRAWING NO. W-1  
DATE: 12/08 PAGE: 1

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	WATER
1	MARKING TAPE	12/13			

**WATER SERVICE INSTALLATION**

DRAWING NO. W-14  
DATE: 11/11 PAGE: 1

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	WATER
1	R FIRE VALVE	4.15			

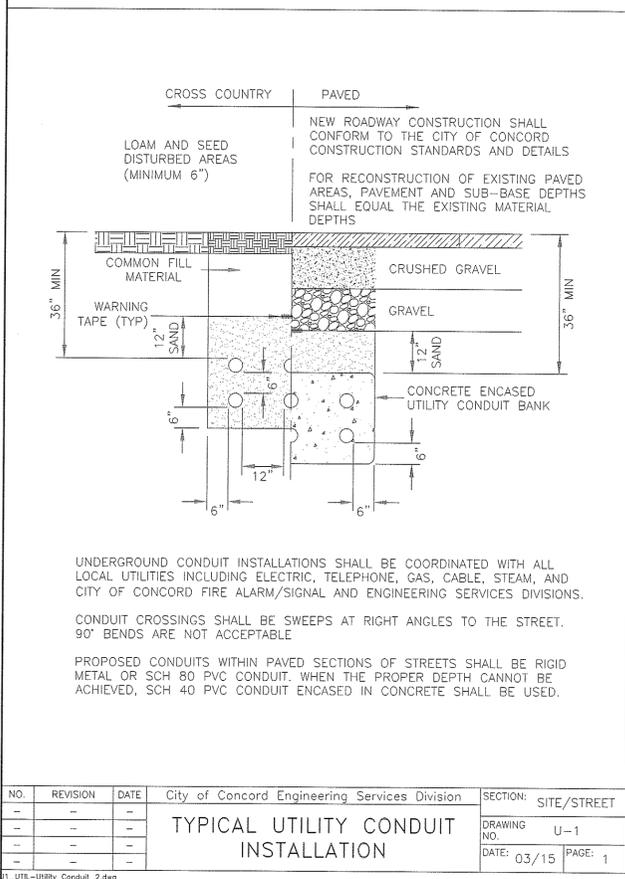
**WATER SERVICE THROUGH FOUNDATION**

DRAWING NO. W-10  
DATE: 12/08 PAGE: 1

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	WATER
1					

**NEW CONDOMINIUM DUAL RESIDENTIAL METER INSTALLATION**

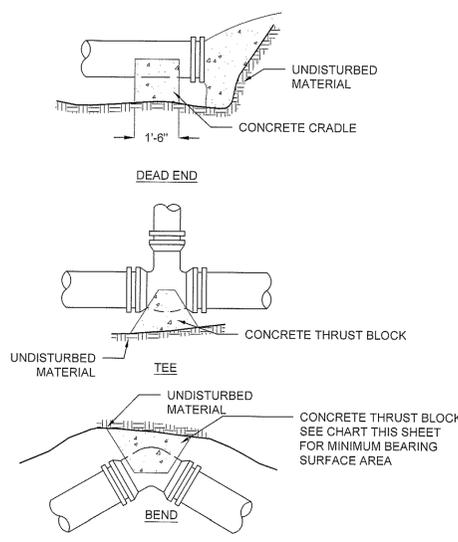
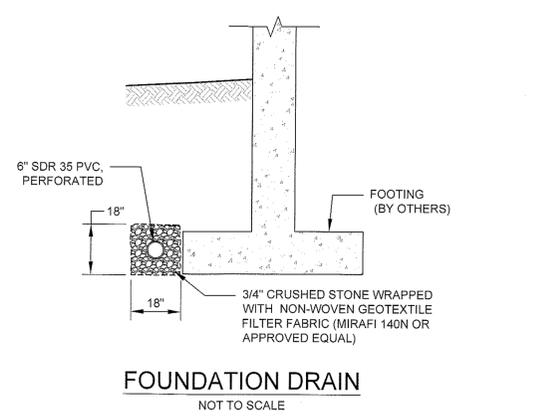
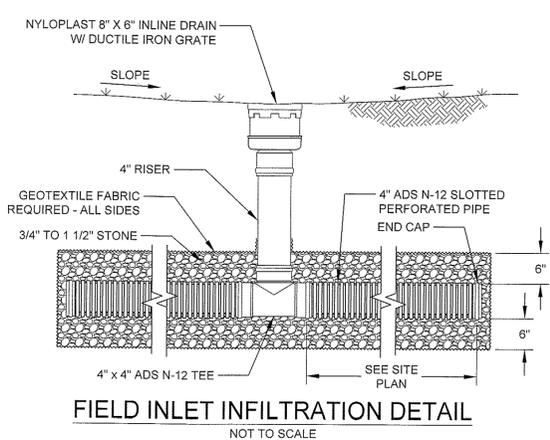
DRAWING NO. W-7  
DATE: 12/08 PAGE: 1



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1					

**TYPICAL UTILITY CONDUIT INSTALLATION**

DRAWING NO. U-1  
DATE: 03/15 PAGE: 1



**CONCRETE THRUST BLOCK DETAILS**  
NOT TO SCALE

**AREA OF BEARING FACE OF CONCRETE THRUST BLOCKS IN SQUARE FEET**

PIPE SIZE (IN)	DEAD END OR TEE		
	SOFT WET CLAY, SAND OR SILT	DRY SAND	COMPACT COARSE SAND OR GRAVEL, HARDPAN
8 OR LESS	15	5	4
10	24	8	6
12	34	11	8
16	60	20	15
20	94	31	24
24	136	45	34
1/4 BEND			
8 OR LESS	21	7	5
10	33	11	8
12	48	16	12
16	85	28	21
20	133	44	33
24	192	64	48
1/8 BEND			
8 OR LESS	12	4	3
10	18	6	5
12	26	9	7
16	46	15	12
20	72	24	18
24	104	35	26
D1/16 BEND			
8 OR LESS	6	2	2
10	9	3	2
12	13	4	3
16	24	8	6
20	37	12	9
24	53	18	13

- THRUST BLOCK TABLE NOTES**
1. FIGURES BASED ON 300 PSI
  2. FOR PIPES NOT LISTED USE NEXT LARGER PIPE SIZE
  3. WHEN MORE THAN ONE SOIL TYPE IS ENCOUNTERED, THE ONE WITH LEAST BEARING CAPACITY SHALL BE USED
  4. RETAINING RODS OR RESTRAINED JOINT PIPE, AS APPROVED BY ENGINEER, SHALL BE USED IN PLACE OF THRUST BLOCKS WHEN MUCK IS ENCOUNTERED.

ISSUED FOR  
**CONSTRUCTION**

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OWNER

**20 SOUTH MAIN STREET LLC**  
P.O. BOX 1438  
CONCORD, NH 03302

**ARTS ALLEY LLC**  
P.O. BOX 1438  
CONCORD, NH 03302

SITE

**ARTS ALLEY**

**20 SOUTH MAIN ST**  
CONCORD, NH 03301  
MAP 7412Z, LOT 38

**22 SOUTH MAIN ST**  
CONCORD, NH 03301  
MAP 7412Z, LOT 37

DRAWING TITLE  
**CONSTRUCTION DETAILS**

SCALE	DATE
N.T.S.	07/20/2022

DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	CAT	ERL	ARTS0001

SHEET NO.

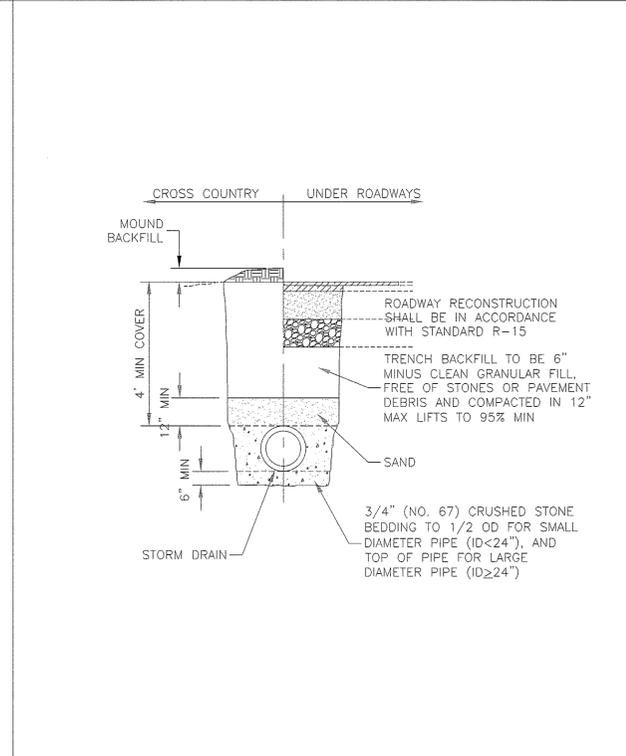
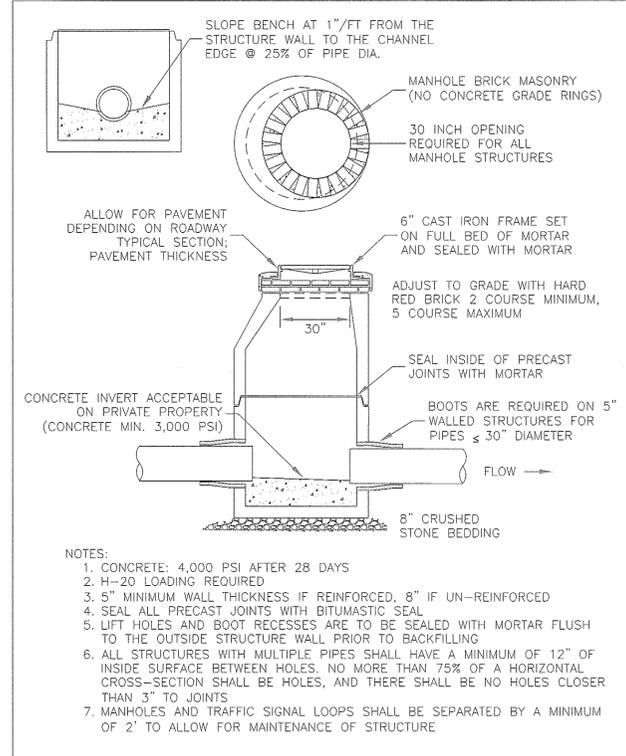
**C5.3**

12 OF 19



4321-12

- REVISION HISTORY
1. REVISED PER BUILDING UPDATE 11/18/2022 (GAG)
  2. REVISED PER CITY COMMENTS 11/28/2022 (JMM)
  3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
  4. AMENDED SITE PLANS 04/19/2023 (RSR)
  5. REVISED PER BUILDING UPDATES 12/19/2023 (JMJ)
  6. REVISED PER CITY COMMENTS 01/17/2024 (JMJ)
  7. REVISED TO ADD NEW TRANSFORMER 01/30/2024 (ERL)
  8. REVISED FOR GMP PLAN SET 02/09/2024 (JMJ)
  9. ISSUED FOR CONSTRUCTION 03/07/2024 (JMJ)



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: STORM DRAIN	NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: STORM
--	--	--	STORM DRAIN MANHOLE (PRIVATE)	DRAWING NO. SD-3	1	Standard Reference	01.19	STORM DRAIN TRENCH	DRAWING NO. SD-1
--	--	--		DATE: 02/19					DATE: 04/15
--	--	--		PAGE: 1					PAGE: 1

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: STORM
--	--	--	STORM DRAIN TRENCH	DRAWING NO. SD-1
--	--	--		DATE: 04/15
--	--	--		PAGE: 1

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**CONSTRUCTION**

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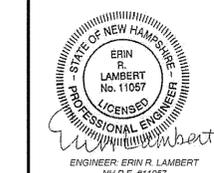
DRAWING TITLE  
**CONSTRUCTION DETAILS**

SCALE	N.T.S.	DATE	07/20/2022
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	CAT	ERL	ARTS0001

SHEET NO.

**C5.4**

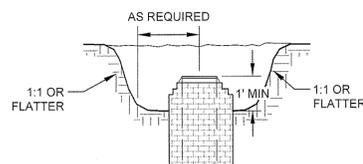
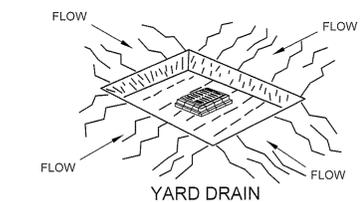
13 OF 19



4321-13

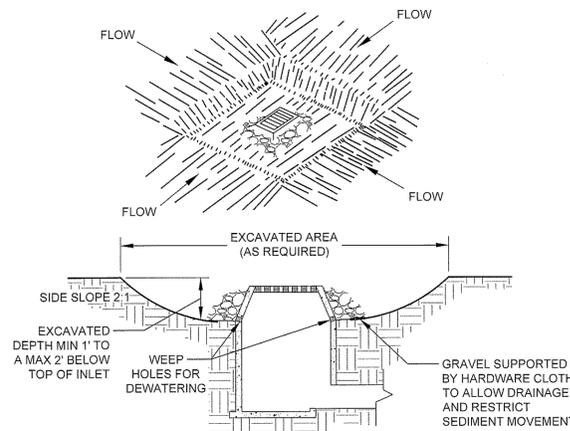
REVISION HISTORY

1. REVISED PER BUILDING UPDATE 11/16/2022 (GAG)
2. REVISED PER CITY COMMENTS 11/28/2022 (JMJ)
3. REVISED PER CITY APPROVAL COMMENTS 02/20/2023 (CDM)
4. AMENDED SITE PLANS 04/18/2023 (RSR)
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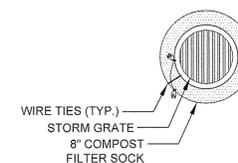
**CATCH BASIN SEDIMENT TRAP**  
NOT TO SCALE

- NOTES:
1. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
  2. THE VOLUME OF SEDIMENT STORAGE SHALL BE 3,600 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
  3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
  4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
  5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
  6. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.

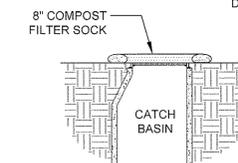


**EXCAVATED DROP INLET PROTECTION**  
NOT TO SCALE

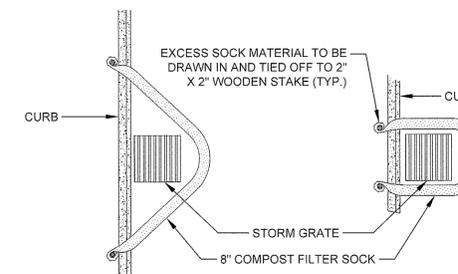
- NOTES:
1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
  2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
  3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
  4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.



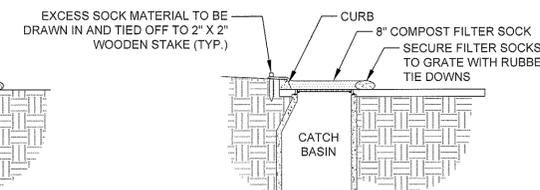
**DRAIN INLET PLAN**



**DRAIN INLET SECTION**



**CURBSIDE OPTION "A" PLAN**

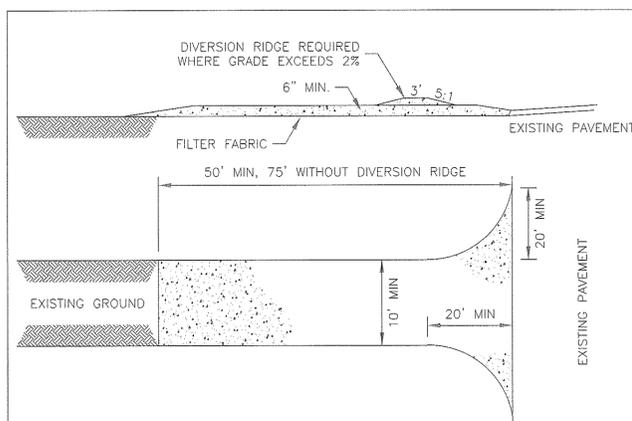


**CURBSIDE SECTION**

**CURBSIDE OPTION "B" PLAN**

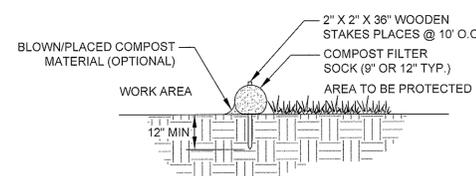
**FILTER SOCK SEDIMENT CONTROL INLET PROTECTION**  
NOT TO SCALE

- NOTES:
1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
  2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

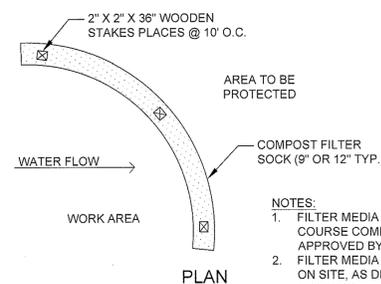


**CONSTRUCTION REQUIREMENTS**

1. STONE SIZE - 3" COARSE AGGREGATE.
2. THICKNESS - 6" MIN
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. LENGTH - NOT LESS THAN 50', EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MIN LENGTH WOULD APPLY.
7. WIDTH - 10' MIN, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
8. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
9. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
10. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
11. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



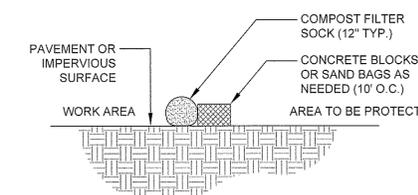
**SECTION**



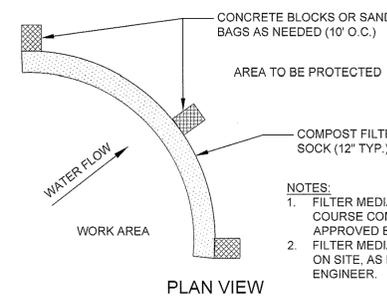
**PLAN**

**FILTER SOCK SEDIMENT CONTROL**  
NOT TO SCALE

- NOTES:
1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
  2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



**CROSS SECTION**



**PLAN VIEW**

**FILTER SOCK SEDIMENT CONTROL ON PAVEMENT**  
NOT TO SCALE

- NOTES:
1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
  2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

ISSUED FOR  
**CONSTRUCTION**

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DRAWING TITLE  
**EROSION CONTROL DETAILS**

SCALE	N.T.S.	DATE	07/20/2022
DRAFTED BY	RSR	CHECKED BY	CAT
PROJECT MGR	ERL	PROJECT NO.	ARTS0001

SHEET NO.  
**C5.5**  
14 OF 19

ENGINEER ERIN R. LAMBERT  
NH P.E. #11057

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	EPSC	
-	-	-	<b>CONSTRUCTION ENTRANCE DETAIL</b>	DRAWING NO.	E-1	
-	-	-		DATE:	01/08	PAGE: 1
-	-	-				

E1-E3\_EPSC-Details.dwg

4321-14

LOW-VOLTAGE KEY	QUANTITY	SYMBOL
BOLLARD LIGHTS	12	
ROWAN DIRECTIONAL UPLIGHT	8	
LED CLIFF COPING LIGHT BY ILLUMICARE	8	
LOW VOLTAGE TRANSFORMER (LOCATION TBD)	TBD	
BUILDING SCONCE	5	
WALL PACK	4	
DOWN LIGHT IN CANOPY	11	

INSTALL LINEA LARGE RECTANGLE CONCRETE PAVERS BY TECO-BLOC, WITH RADIANT HEATING (SEE DETAIL) SET IN RUNNING BOND PATTERN, 90% SHALE GREY, 10% ONYX BLACK - RANDOM LAYOUT FOR ONYX BLACK - SET INDIVIDUAL PAVERS AT LEAST TWO COURSES FROM ANOTHER - VERIFY FINAL LAYING PATTERN IN FIELD WITH LANDSCAPE ARCHITECT APPROVAL

PREPARE ALL RAISED PLANTER BEDS WITH PLANTING SOIL MIX AND INSTALL NEW ORNAMENTAL PLANTINGS - SEE SCHEDULE

INSTALL DOWN LIGHTS IN CANOPY - TYP.

INSTALL BUILDING SCONCES AT BUILDING ENTRANCE

INSTALL VERTICAL GRANITE CURBING (TYP.) TO DEFINE ALL PROPOSED RAISED PLANTER BEDS - NOTE: ALL CURVES TO HAVE 4'-0" RADIUS

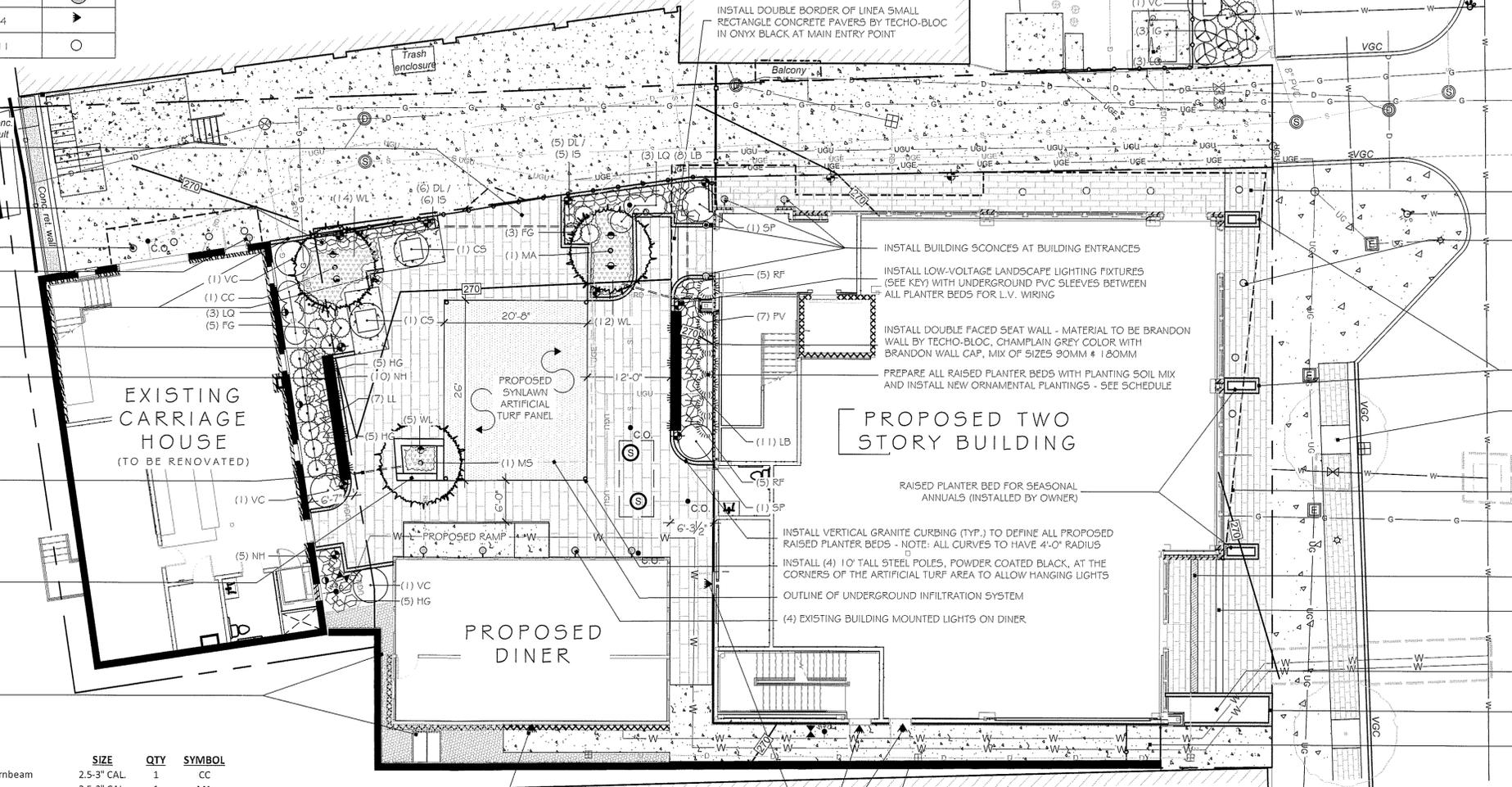
INSTALL LOW-VOLTAGE LANDSCAPE LIGHTING FIXTURES (SEE KEY)

INSTALL DOUBLE FACED SEAT WALL - MATERIAL TO BE BRANDON WALL BY TECO-BLOC, CHAMPLAIN GREY COLOR WITH BRANDON WALL CAP, MIX OF SIZES 90MM & 180MM

INSTALL UNDERGROUND PVC SLEEVES BETWEEN ALL RAISED PLANTER BEDS FOR L.V. WIRING

USE RECLAIMED GRANITE TO CREATE PLANTER EDGE AND SEAT WALL - SET TOP OF GRANITE 1'8" FROM PATIO HEIGHT

TOPDRESS AREA BETWEEN BUILDING AND RETAINING WALL WITH CRUSHED STONE (TYP.)



INSTALL LINEA SMALL RECTANGLE CONCRETE PAVERS BY TECO-BLOC, WITH RADIANT HEATING (SEE DETAIL) SET IN RUNNING BOND PATTERN, 90% SHALE GREY, 10% ONYX BLACK - RANDOM LAYOUT FOR ONYX BLACK - SET INDIVIDUAL PAVERS AT LEAST TWO COURSES FROM ANOTHER - VERIFY FINAL LAYING PATTERN IN FIELD WITH LANDSCAPE ARCHITECT APPROVAL

INSTALL DOWN LIGHTS IN CANOPY - TYP.

INSTALL VERTICAL GRANITE CURBING (TYP.) TO DEFINE ALL PROPOSED RAISED PLANTER BEDS

CITY-OWNED STREET TREES TO BE PRESERVED (TYP.). DEVELOPER TO BE RESPONSIBLE FOR THE REPLACEMENT OF ANY TREE IF DAMAGED OR DECLINES DURING CONSTRUCTION

INSTALL LINEAR LED LIGHTING ALONG THE PROPOSED CANOPY EDGE

INSTALL TRENCH DRAIN - SEE SHEET L-02

INSTALL DOUBLE BORDER OF LINEA SMALL RECTANGLE CONCRETE PAVERS BY TECO-BLOC IN ONYX BLACK AT MAIN ENTRY POINT

RAISED PLANTER BED SPACE FOR SEASONAL ANNUALS (INSTALLED BY OWNER)

INSTALL VERTICAL GRANITE CURBING (TYP.) TO DEFINE ALL PROPOSED RAISED PLANTER BEDS

INSTALL CONCRETE WALKWAY WITH RADIANT HEATING (SEE DETAIL)

**PLANTING SCHEDULE**

TREES	SIZE	QTY	SYMBOL
<i>Carpinus caroliniana</i> 'Palisade' / Palisade American Hornbeam	2.5-3" CAL	1	CC
<i>Maackia amurensis</i> / Amur Maackia	2.5-3" CAL	1	MA
<i>Malus</i> 'Spring Snow' / Spring Snow Crabapple	2.5-3" CAL	1	MS
SHRUBS	SIZE	QTY	SYMBOL
<i>Cornus sericea</i> 'Arctic Fire' / Arctic Fire Red-Osier Dogwood	3-4' B&B	2	CS
<i>Fothergilla gardenii</i> / Dwarf Fothergilla	2-2.5'	11	FG
<i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Panicle Hydrangea	2.5-3' B&B	7	LL
<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Panicle Hydrangea	2.5-3' B&B	9	LQ
<i>Ilex glabra</i> 'Compacta' / Compact Inkberry	3-4' B&B	3	IG
<i>Syringa patula</i> 'Miss Kim' / Miss Kim Lilac	3-4' B&B	2	SP
<i>Viburnum carlesii</i> 'Compacta' / Dwarf Mayflower Viburnum	3'-4' B&B	4	VC
GRASSES	SIZE	QTY	SYMBOL
<i>Panicum virgatum</i> 'Heavy Metal' / Heavy Metal Switch Grass	#1	7	PV
<i>Pennisetum alopecuroides</i> 'Little Bunny' / Little Bunny Dwarf Fountain Grass	#1	29	LB
PERENNIALS	SIZE	QTY	SYMBOL
<i>Geranium</i> 'New Hampshire Purple' / New Hampshire Purple Cranesbill	#1	15	NH
<i>Hemerocallis</i> 'Happy Returns' / Happy Returns Daylily	#1	11	DL
<i>Hosta</i> 'Guacamole' / Guacamole Plantain Lily	#1	15	HG
<i>Iris siberica</i> 'Concord Crush' / Concord Crush Siberian Iris	#1	11	IS
<i>Nepeta</i> 'Walker's Low' / Walker's Low Catmint	#1	31	WL
<i>Rudbeckia flugida</i> 'Little Goldstar' / Little Goldstar Black-Eyed Susan	#1	10	RF

**GENERAL NOTES:**

- BASE PLAN DEVELOPED FROM INFORMATION PROVIDED BY WILCOX & BARTON INC., DRAWING TITLE, "SITE PLAN" DATED: 06/09/2022.
- VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION. VERIFY FIELD CONDITIONS RELATING TO WORK TO BE INSTALLED. NOTIFY LANDSCAPE ARCHITECT OF ANY UNUSUAL OR DIFFICULT CONDITIONS IN A TIMELY FASHION PRIOR TO CONSTRUCTION CONCERNING THE CONDITION IN QUESTION.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF CONCORD AND STATE OF NEW HAMPSHIRE. NOTIFY APPROPRIATE AGENCIES AT LEAST 48 HOURS PRIOR TO PERFORMING THE WORK UNDER THEIR JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR SECURING AND PAYING FOR ALL CONSTRUCTION PERMITS AND LICENSES REQUIRED TO COMPLETE SITE WORK. CONTRACTOR IS RESPONSIBLE FOR ALL APPROPRIATE INSPECTIONS OF HIS/HER WORK.
- ALL WORK SHALL BE OF WORKMANLIKE QUALITY AND IN CONFORMANCE WITH ALL APPLICABLE CODES. CONTRACTOR SHALL READ ALL ZONING AND ENVIRONMENTAL PERMITS WHICH PERTAIN TO THE PROJECT AND SHALL COMPLY WITH ALL THE CONDITIONS THEREIN.
- NOTIFY LANDSCAPE ARCHITECT AT LEAST 72 HOURS PRIOR TO ANY ROUTINE REQUIRED FIELD OBSERVATION. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF THE LAYOUT OF ALL IMPROVEMENTS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE OR DISTURBANCE TO OTHER AREAS WHICH MAY OCCUR AS THE RESULT OF HIS/HER WORK WHETHER WITHIN OR OUTSIDE OF THE CONTRACT LIMIT LINES.
- CONSTRUCTION SHALL FOLLOW THE SEQUENCES AND CONDITIONS ESTABLISHED IN THE SPECIFICATIONS AND PERMITS.
- IT IS INTENDED THAT THE WORK BE EXECUTED IN ACCORDANCE WITH THE BEST CUSTOMARY BUILDING PRACTICES. IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST-CLASS WORK OR IF ERRORS, CONFLICTS OR DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, INFORM THE LANDSCAPE ARCHITECT IMMEDIATELY AND REQUEST INTERPRETATION BEFORE PROCEEDING WITH THE WORK.

- IF CONTRACTOR FAILS TO MAKE SUCH A STATEMENT AND REQUEST, NO EXCUSE WILL THEREAFTER BE ENTERTAINED, NOR ADDITIONAL EXPENSE BE ACCEPTED, FOR FAILURE TO CARRY OUT WORK IN A SATISFACTORY MANNER. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, CONTRACTOR IS DEEMED TO HAVE ESTIMATED ON THE MORE EXPENSIVE WAY OF DOING WORK UNLESS HIS/HE SHE SHALL HAVE OBTAINED A WRITTEN DECISION, BEFORE SUBMITTING HIS BID, AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS AND EQUIPMENT STORED AT SITE.
- EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
- VISIBLE EXISTING CONDITIONS WHERE FIELD LOCATED, AND UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. SITE SUBCONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, DIMENSIONS, AND GRADES PRIOR TO START OF ANY FOUNDATION OR UTILITY WORK.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TERRAIN PLANNING & DESIGN LLC, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR/ENGINEER OR LANDSCAPE ARCHITECT HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE

APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.

- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT. TERRAIN PLANNING & DESIGN LLC ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OF RECORD.
- TERRAIN PLANNING & DESIGN LLC ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
- BASE PREPARATION UNDER ALL HARD SURFACES TO BE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
- SITE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE PRIOR TO ANY EXCAVATION, 1-888-DIG-SAFE.

**PLANTING NOTES:**

- CONTRACTOR SHALL OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PURCHASING AND/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
- CONSTRUCTION ACCESS WILL BE AS DIRECTED BY LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
- LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY LANDSCAPE ARCHITECT ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
- CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
- ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE LANDSCAPE ARCHITECT.

REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY LANDSCAPE ARCHITECT.

- ALL BEDS TO BE MULCHED WITH 4" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

**TREE PROTECTION NOTES:**

- DIAMETER OF PROTECTION ZONE SHOULD BE ONE FOOT FOR EACH INCH OF TRUNK DIAMETER BREAST HEIGHT OR 1/2 HEIGHT OF TREE, WHICHEVER IS GREATER. FOR 2 INCH CALIPER TREES OR SMALLER, THE PROTECTION ZONE SHALL BE 6 FOOT MINIMUM DIAMETER.
- TEMPORARY FENCING (6 FT HIGH) SHALL BE PLACED AT THE DRIFLINE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE THE TREE(S). TO INSTALL FENCE POSTS, AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS.
- DEAD TREES, SCRUB, OR UNDERGROWTH SHALL BE CUT FLUSH WITH ADJACENT GRADE. THERE WILL BE NO SOIL DISTURBANCE UNDER THE DRIP LINE OF TREES TO BE PRESERVED.
- PLACE 6 INCHES OF BARK MULCH AT AREAS NOT PROTECTED BY BARRIER.
- TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER ONE INCH IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHOULD BE TEMPORARILY COVERED WITH DAMP BURLAP AND COVERED WITH SOIL OR MULCH AS SOON AS POSSIBLE TO PREVENT DRYING.
- NO EQUIPMENT OR MACHINERY SHALL BE USED WITHIN THE PROTECTION FENCE. WORK WITHIN THE PROTECTION ZONE SHALL BE DONE MANUALLY.
- NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE IS ALLOWED WITHIN THE LIMIT OF FENCING.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY CITY-OWNED STREET TREES IF THEY ARE DAMAGED OR DECLINE DURING CONSTRUCTION.



311 kast hill road  
hopkinton nh 03229  
603.746.3512  
terrainplanning.com

**ARTS ALLEY**

Site Location:  
20 & 22 South Main Street  
Concord, NH 03301  
Tax Map: 7412Z  
Lot #: 37

Prepared For:  
Wilcox & Barton Inc.  
2 Capital Plaza, Suite 305  
Concord, NH 03301

**LANDSCAPE PLAN**

DATE: 06-30-22

SCALE: 1" = 10'

PROJECT #: 2254

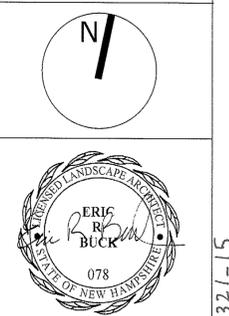
Drawn By: ID

Checked By: ERB

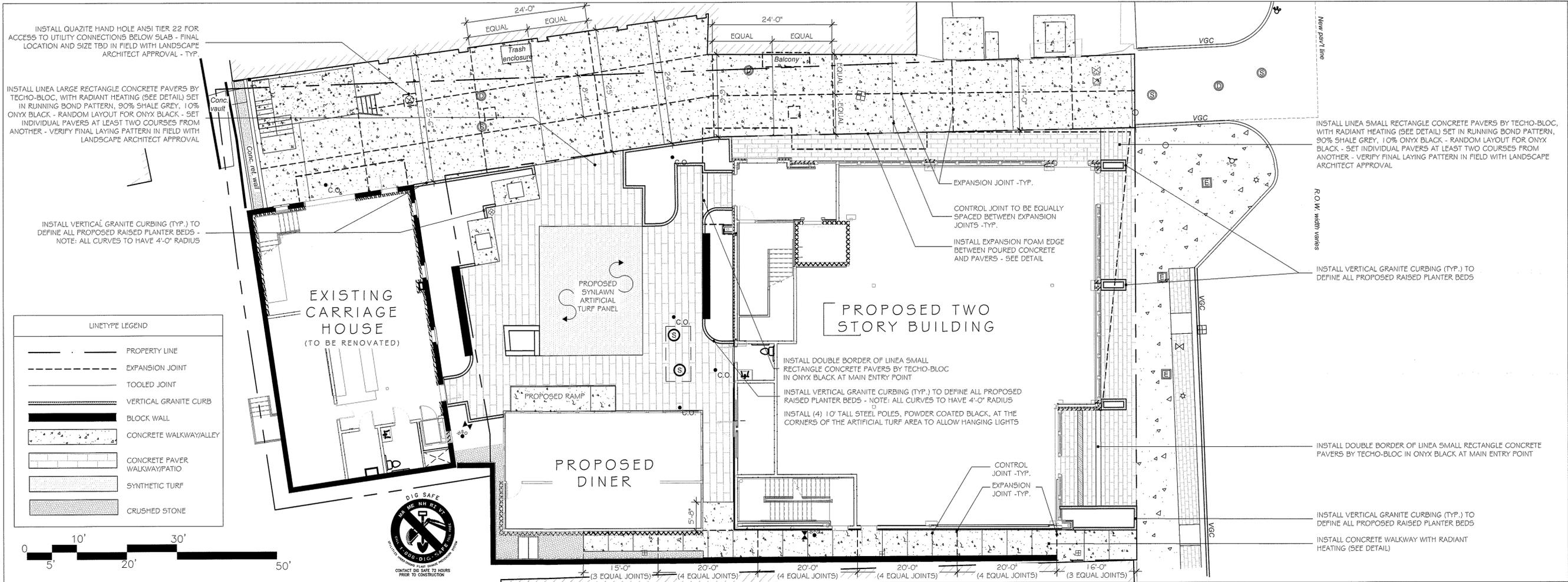
REVISIONS:	DATE:
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REVISED for Client Review	
	09-15-22
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Revised per Comments	11-21-22
Revised per City comments	
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Revised	01-11-24
Revised for GMP	01-24-24
Revised per basement	02-09-24

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**L - 01**



4321-15



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Lot #: 37

Prepared For:  
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2 Capital Plaza, Suite 305  
Concord, NH 03301

FLATWORK PLAN

DATE: 06-30-22

SCALE: 1" = 10'

PROJECT #: 2254

Drawn By: ID

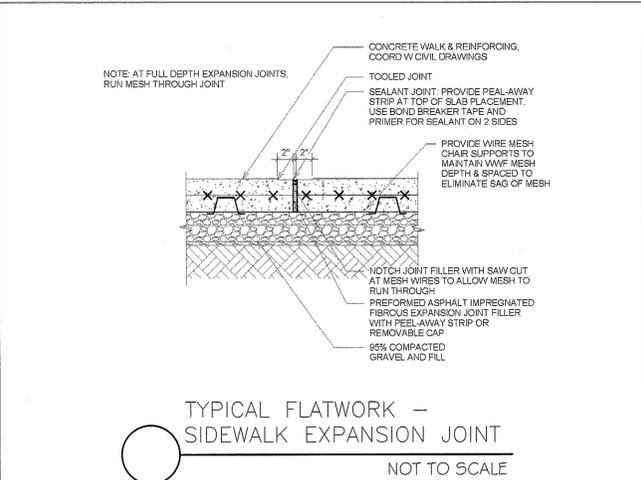
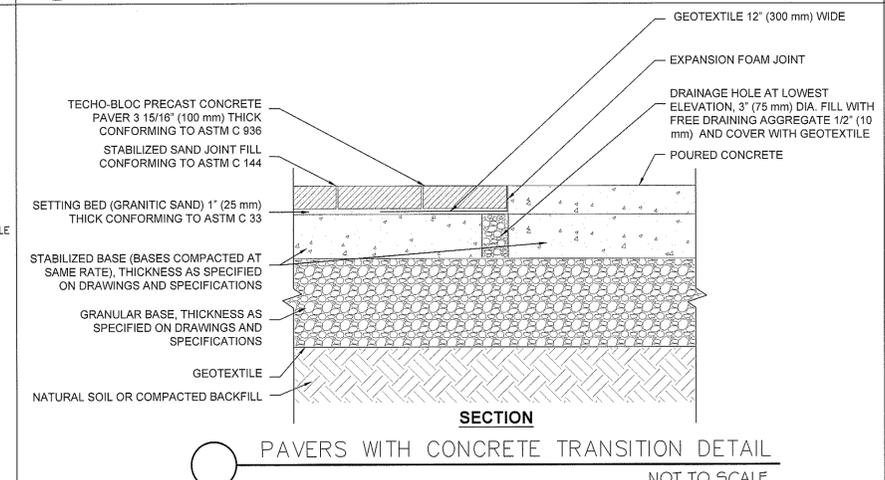
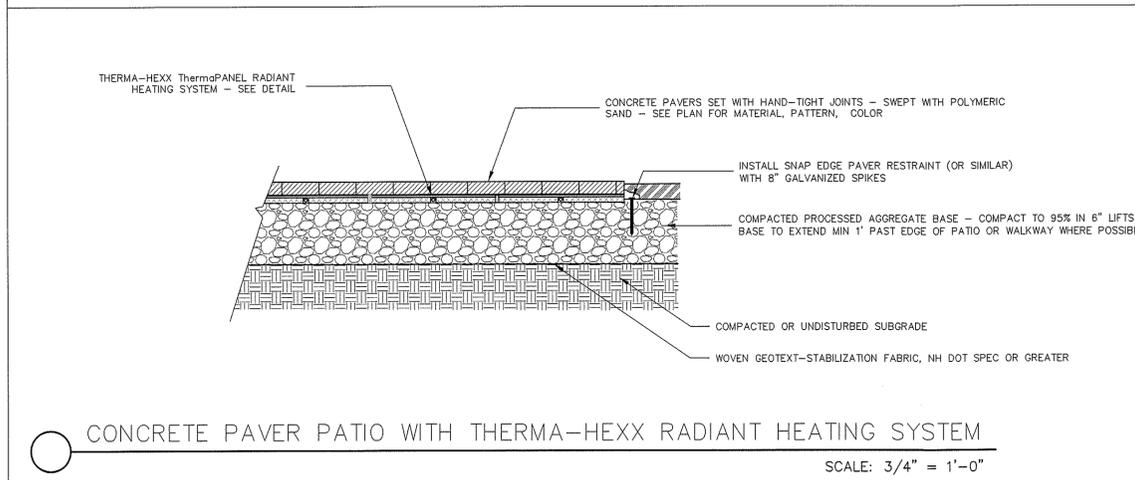
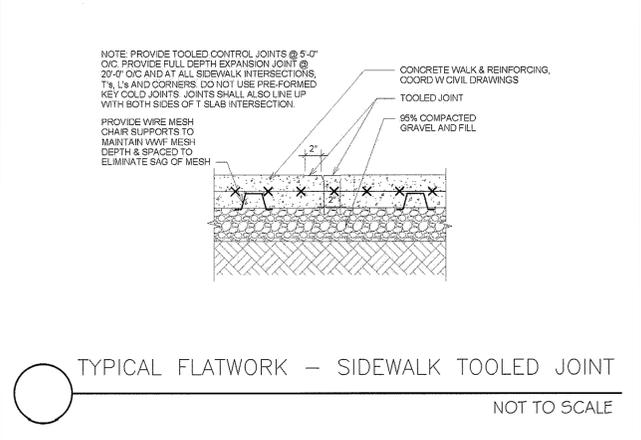
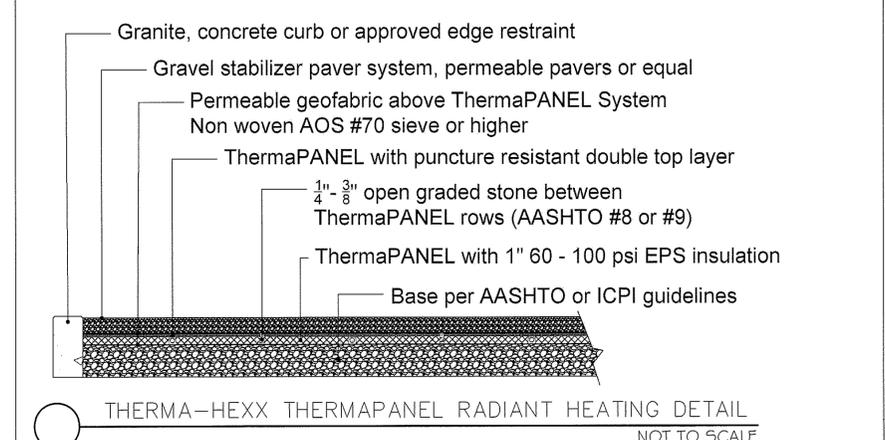
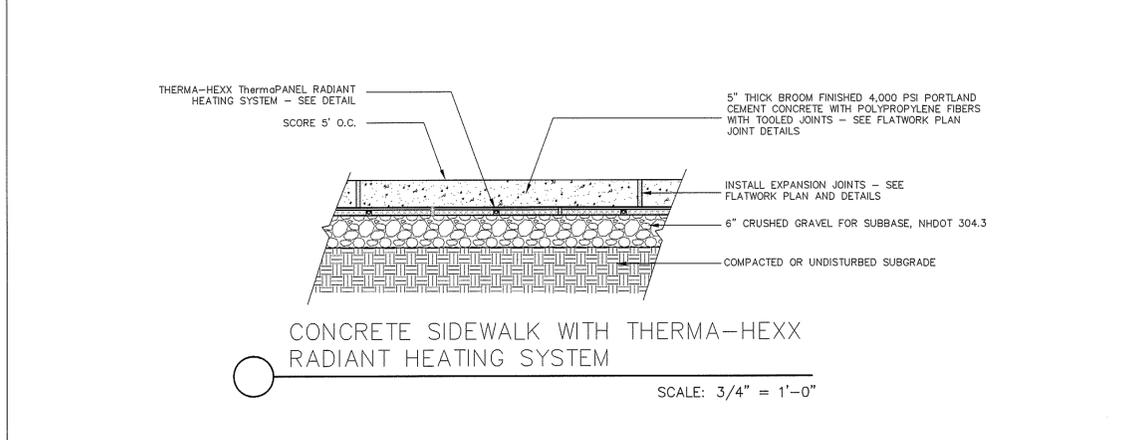
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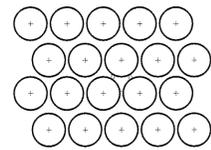
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L - 02

ERIC R. BUCK  
LANDSCAPE ARCHITECT  
STATE OF NEW HAMPSHIRE  
078



4321-16

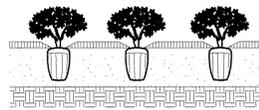


TYPICAL BED PLANT SPACING

NOTE:  
D = DIMENSION OF PLANT SPACING (SHRUB OR  
GROUND COVER AS INDICATED ON PLANS)

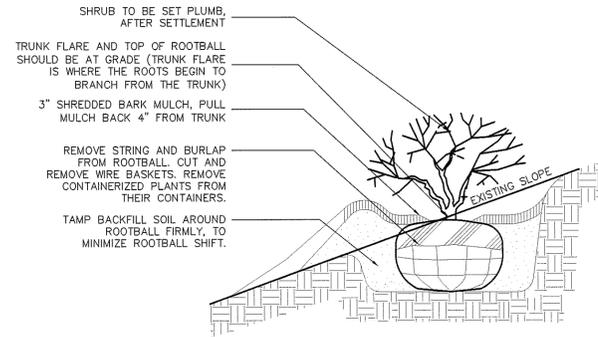
12" LOAM BACKFILL (CONTINUOUS  
THROUGHOUT BED AREA)

3" DEEP SHREDDED  
BARK MULCH



TYPICAL PERENNIAL PLANTING

NO SCALE



SHRUB TO BE SET PLUMB,  
AFTER SETTLEMENT

TRUNK FLARE AND TOP OF ROOTBALL  
SHOULD BE AT GRADE (TRUNK FLARE  
IS WHERE THE ROOTS BEGIN TO  
BRANCH FROM THE TRUNK)

3" SHREDDED BARK MULCH, PULL  
MULCH BACK 4" FROM TRUNK

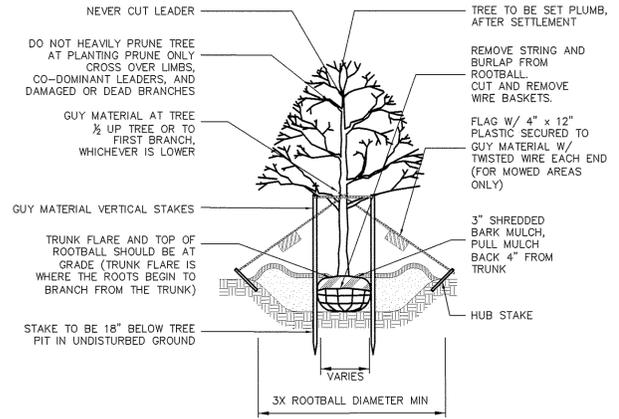
REMOVE STRING AND BURLAP  
FROM ROOTBALL, CUT AND  
REMOVE WIRE BASKETS, REMOVE  
CONTAINERIZED PLANTS FROM  
THEIR CONTAINERS.

TAMP BACKFILL SOIL AROUND  
ROOTBALL FIRMLY, TO  
MINIMIZE ROOTBALL SHIFT.

NOTE:  
1. DO NOT HEAVILY PRUNE SHRUB AT PLANTING, PRUNE ONLY CROSSOVER LIMBS AND DAMAGED  
OR DEAD BRANCHES.  
2. BACKFILL WITH LOAM, AMEND AS REQUIRED BY LANDSCAPE ARCHITECT.  
3. SHRUBS & GROUND COVER PLANTED ADJACENT TO CITY SIDEWALKS NEED TO BE PLACED SO  
THE PLANTS, AT THEIR MATURE HEIGHT & WIDTH, WILL NOT ENCROACH INTO THE CITY'S SIDEWALK.

TYPICAL SHRUB PLANTING

NO SCALE



NEVER CUT LEADER

DO NOT HEAVILY PRUNE TREE  
AT PLANTING PRUNE ONLY  
CROSS OVER LIMBS,  
CO-DOMINANT LEADERS, AND  
DAMAGED OR DEAD BRANCHES

GUY MATERIAL AT TREE  
1/2 UP TREE OR TO  
FIRST BRANCH,  
WHICHEVER IS LOWER

GUY MATERIAL VERTICAL STAKES

TRUNK FLARE AND TOP OF  
ROOTBALL SHOULD BE AT  
GRADE (TRUNK FLARE IS  
WHERE THE ROOTS BEGIN TO  
BRANCH FROM THE TRUNK)

STAKE TO BE 18" BELOW TREE  
FIT IN UNDISTURBED GROUND

TREE TO BE SET PLUMB,  
AFTER SETTLEMENT

REMOVE STRING AND  
BURLAP FROM  
ROOTBALL,  
CUT AND REMOVE  
WIRE BASKETS.

FLAG W/ 4" x 12"  
PLASTIC SECURED TO  
GUY MATERIAL W/  
TWISTED WIRE EACH END  
(FOR MOWED AREAS  
ONLY)

3" SHREDDED  
BARK MULCH,  
PULL MULCH  
BACK 4" FROM  
TRUNK

HUB STAKE

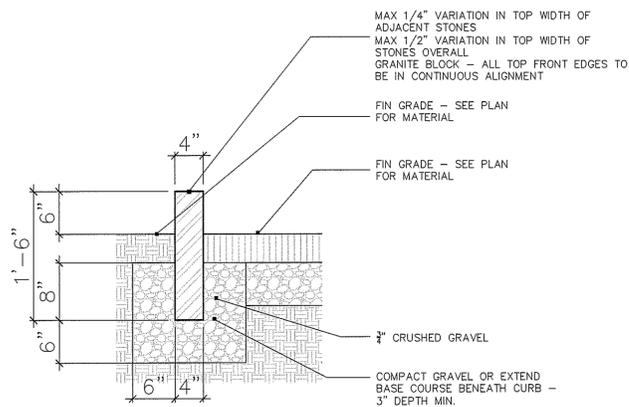
VARIES

3X ROOTBALL DIAMETER MIN

NOTES:  
1. GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT.  
LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF  
GUYING AND STAKING.  
2. TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS  
THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.  
3. ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.  
4. TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.  
5. LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.  
6. CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO  
BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.

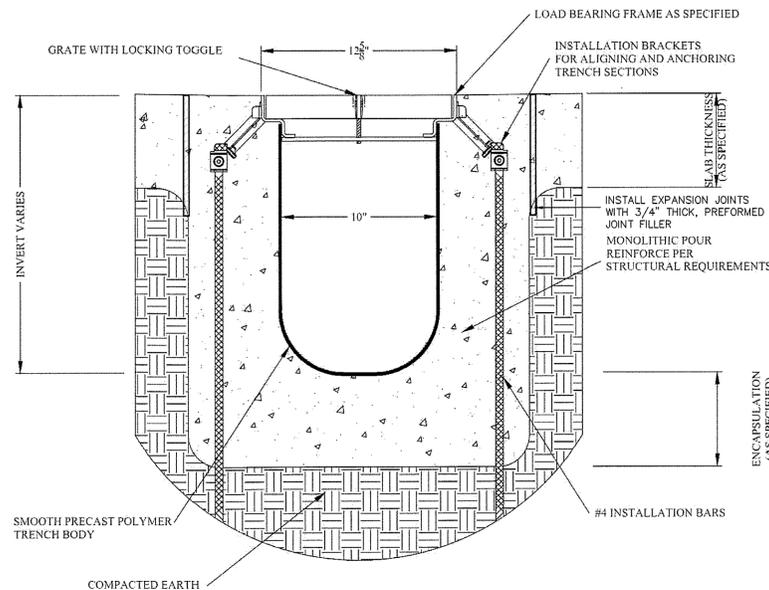
DECIDUOUS TREE PLANTING

NO SCALE



GRANITE CURB DETAIL (TYPICAL)

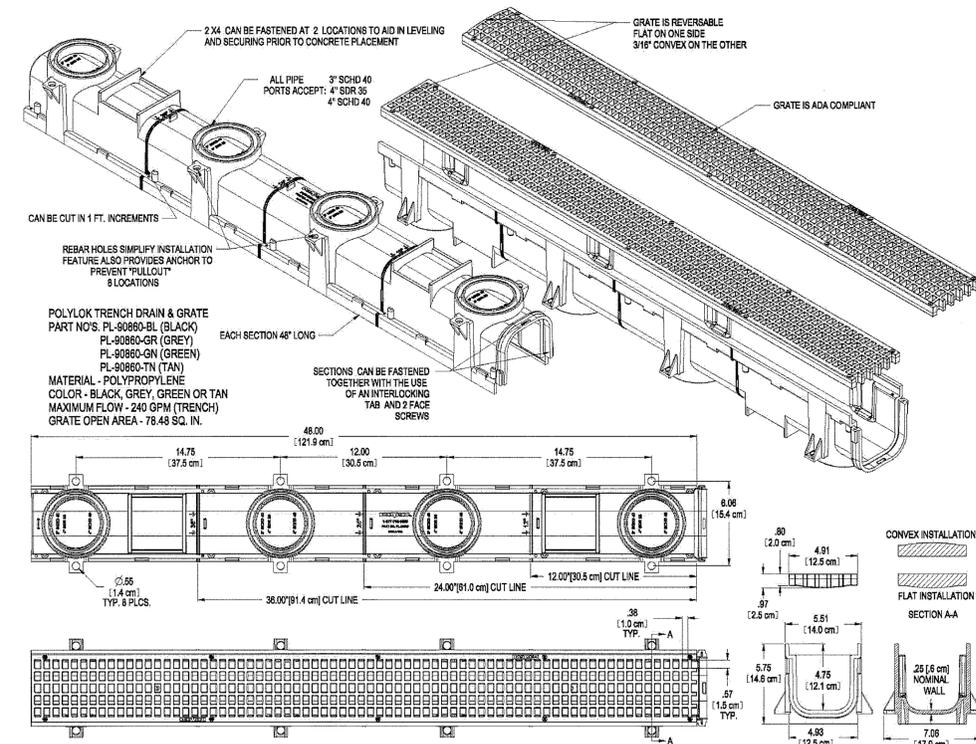
NOTE: RECEIVE LANDSCAPE ARCHITECT'S APPROVAL OF JOINTS & CURBING ALIGNMENT.  
NO CONCRETE OR MORTAR TO SHOW IN JOINTS ABOVE GRADE. MAX. WIDTH OF JOINTS  
TO BE 1/2" BETWEEN ADJACENT STONES. 1" = 1'-0"



NOTES:  
1. TRENCH DRAIN AS MANUFACTURED BY POLYLOK, OR APPROVED EQUAL.  
2. TRENCH DRAIN TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

TYPICAL TRENCH DRAIN SECTION

NOT TO SCALE



POLYLOK TRENCH DRAIN & GRATE  
PART NOS. PL-90860-BL (BLACK)  
PL-90860-GR (GREY)  
PL-90860-GN (GREEN)  
PL-90860-TN (TAN)  
MATERIAL - POLYPROPYLENE  
COLOR - BLACK, GREY, GREEN OR TAN  
MAXIMUM FLOW - 240 GPM (TRENCH)  
GRATE OPEN AREA - 78.48 SQ. IN.

CONVEX INSTALLATION  
FLAT INSTALLATION  
SECTION A-A



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ARTS ALLEY

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Wilcox & Barton Inc.  
2 Capital Plaza, Suite 305  
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LANDSCAPE  
DETAILS

DATE: 06 - 30 - 22

SCALE: AS NOTED

PROJECT #: 2254

Drawn By: ID

Checked By: ERB

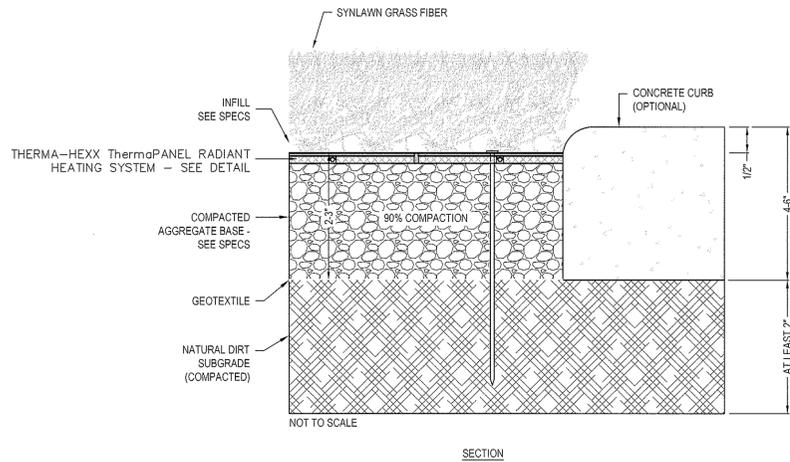
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L - 03

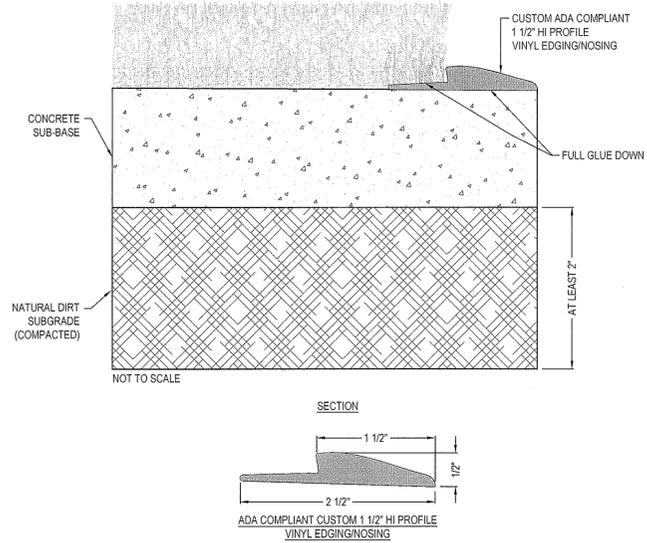


4321-17



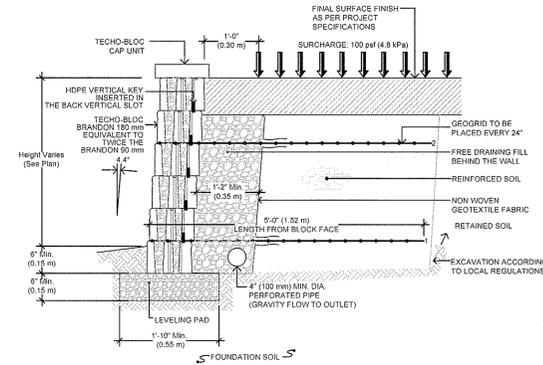
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER

**SYNLAWN ARTIFICIAL GRASS SYSTEM**  
SYNLAWN GRASS INSTALLED OVER AGGREGATE BASE



- MANUFACTURER NOTES:
1. CONCRETE SLAB MUST BE FULLY CURED, CLEAN & DRY PRIOR TO INSTALLATION.
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADdetails.com/info](http://www.CADdetails.com/info) AND ENTER REFERENCE NUMBER

**SYNLAWN INSTALLATION WITH ADA COMPLIANT CUSTOM EDGING**  
SYNLAWN INSTALLATION WITH ADA COMPLIANT CUSTOM EDGING



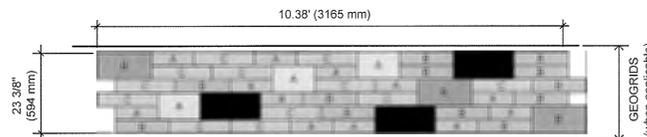
- NOTES:
1. THIS IS A TYPICAL NON-SITE-SPECIFIC DESIGN PROVIDED FOR PRELIMINARY PURPOSES ONLY. THIS DRAWING IS NOT FOR CONSTRUCTION. FINAL DESIGN MUST BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER USING THE ACTUAL CONDITIONS OF THE PROPOSED SITE, PRIOR TO CONSTRUCTION.
  2. THE ANALYSIS WAS PERFORMED TO SATISFY THE DESIGN REQUIREMENTS OF THE NCHRP DESIGN MANUAL FOR SEGMENTAL RETAINING WALLS, 3RD EDITION.
  3. NO ANALYSIS HAS BEEN PERFORMED ON GLOBAL STABILITY, TOTAL OR DIFFERENTIAL SETTLEMENT OR SEISMIC DESIGN.
  4. FINAL WALL DESIGN MUST ADDRESS BOTH INTERNAL/EXTERNAL DRAINAGE AND ALL MODES OF WALL STABILITY. HYDROSTATIC PRESSURE HAS NOT BEEN CONSIDERED IN THE ANALYSIS.
  5. STRUCTURES SUCH AS HANDRAILS, GUARDRAILS, AND SITE CONDITIONS SUCH AS WATER DRAINAGE, AND SOIL CONDITIONS HAVE SIGNIFICANT EFFECTS ON THE WALL DESIGN AND WERE NOT CONSIDERED IN THE ANALYSIS. WHEN ACCOUNTED IN THE FINAL DESIGN, THESE CONDITIONS MAY RESULT IN ADDITIONAL DESIGN MEASURES (REINFORCEMENT, DRAINAGE, ETC.).
  6. TECO-BLOC AND ITS PREDECESSORS, SUCCESSORS, BENEFICIARIES, EMPLOYEES, ASSOCIATES, ADMINISTRATORS, AND INSURERS ACCEPT NO LIABILITY FOR THE INCORRECT USE OF THE INFORMATION CONTAINED IN THIS TYPICAL CROSS SECTION DRAWING.
  7. FOR FURTHER INFORMATION, PLEASE CONTACT OUR TECHNICAL SERVICE DEPARTMENT.

GEOGRID DATA - MIRAGRID 3XT BY TENCATE				
REDUCTION FACTORS	ULTIMATE TENSILE STRENGTH (T <sub>u</sub> )	3500 kPa	(81.1 kN/m <sup>2</sup> )	
	CHEMICAL DURABILITY (RF <sub>2</sub> )	1.10		
	CREEP RUPTURE (RF <sub>3</sub> )	1.45		
	INSTALLATION DAMAGE (RF <sub>4</sub> )	1.05		
	LONG TERM DESIGN STRENGTH (LTDS)	2050 kPa	(45.5 kN/m <sup>2</sup> )	
INTERACTION COEFFICIENTS	COEFFICIENT OF DIRECT SHEAR STRESS INTERACTION (C <sub>1</sub> )	0.70		
SOIL DATA				
SOIL REGION	REINFORCED	RETAINED	FOUNDATION	LEVELING PAD
DESCRIPTION	LOW PLASTICITY SILTS AND CLAYS	LOW PLASTICITY SILTS AND CLAYS	WELL GRADED SILTS AND CLAYS	ASTM NO 57 STONE 3/4\"/>
INTERNAL FRICTION ANGLE	28°	28°	29°	35°
MOIST UNIT WEIGHT	120 psf (18.85 kN/m <sup>2</sup> )	120 psf (18.85 kN/m <sup>2</sup> )	140 psf (21.99 kN/m <sup>2</sup> )	100 psf (15.71 kN/m <sup>2</sup> )
EFFECTIVE COHESION				
SPECIFICATION	PLACED IN LIFTS OF 7\"/>			

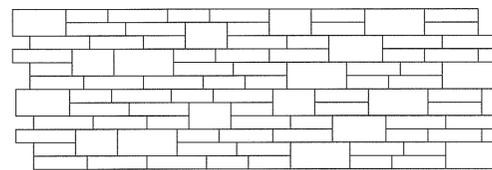
**TECO-BLOC BRANDON RETAINING WALL SYSTEM**  
NOT TO SCALE

### 3-Row Pattern | Laying Patterns

The 3-row pattern is 10.38' (3.165 m) long and 21 1/4" (540 mm) high. This pattern allows a continuous leveled surface every 21 1/4" (540 mm), which corresponds to the recommended maximum spacing between the layers of geogrid in a Brandon wall. **This pattern is recommended when using the geogrid.**

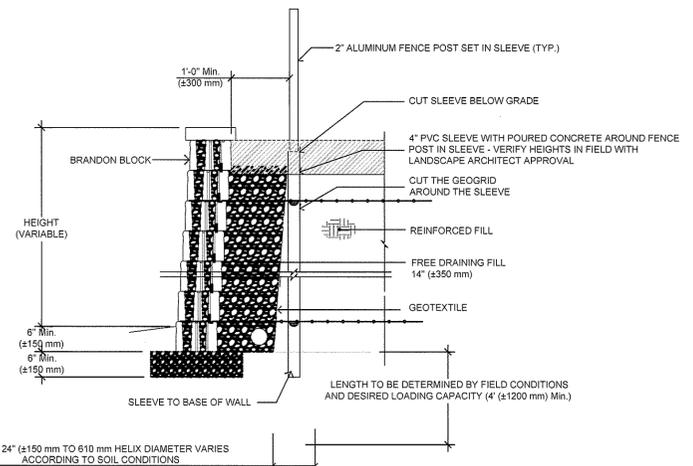


NUMBER OF BLOCKS REQUIRED	MODULE		
	A	B	C
<b>BRANDON</b>			
<b>67% of the surface - Brandon 90 mm</b>	12	12	12
<b>33% of the surface - Brandon 180 mm</b>	3	3	3



**TECO-BLOC BRANDON 90 & 180 MM RETAINING WALL 3-ROW PATTERN**

NOT TO SCALE



**TECO-BLOC BRANDON BLOCK FENCE DETAIL**  
NOT TO SCALE



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### LANDSCAPE DETAILS

DATE: 06 - 30 - 22

SCALE: AS NOTED

PROJECT #: 2254

Drawn By: ID

Checked By: ERB

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# L - 04



4321-18



Symbol	Qty	Label	Arrangement	Description	[MANUFAC]
	10	B	Single	VA-10021-W30	LIGMAN
	11	C	Single	ADL-FS1-UNV-4R-HAZ (1200lm-30K)	LSI INDUSTRIES, INC.
	4	EX	Single	EXISTING DINER FIXTURE	FLOS
	23	L	Single	KBM-F-H-RGBW30K-IEPF-IEC-23_9	LUMINII
	1	L2	Single	KBM-F-H-RGBW30K-IEPF-IEC-23_9	LUMINII
	2	S	Single	35889-014	EUROFASE
	4	S1	Single	FO12J00C0XX-3000K	FLOS
	5	W	Single	EOF1MV3KBZ	NICOR, Inc.

# EXPOSURE

Exposure Lighting  
801 ISLINGTON ST 1A  
PORTSMOUTH NH  
603-801-8080

#	Date	Comments

Drawn By:  
Checked By:  
Date: 2/16/2024  
Scale:

ARTS ALLEY  
20 SOUTH MAIN ST  
CONCORD NH

L01

4321-19