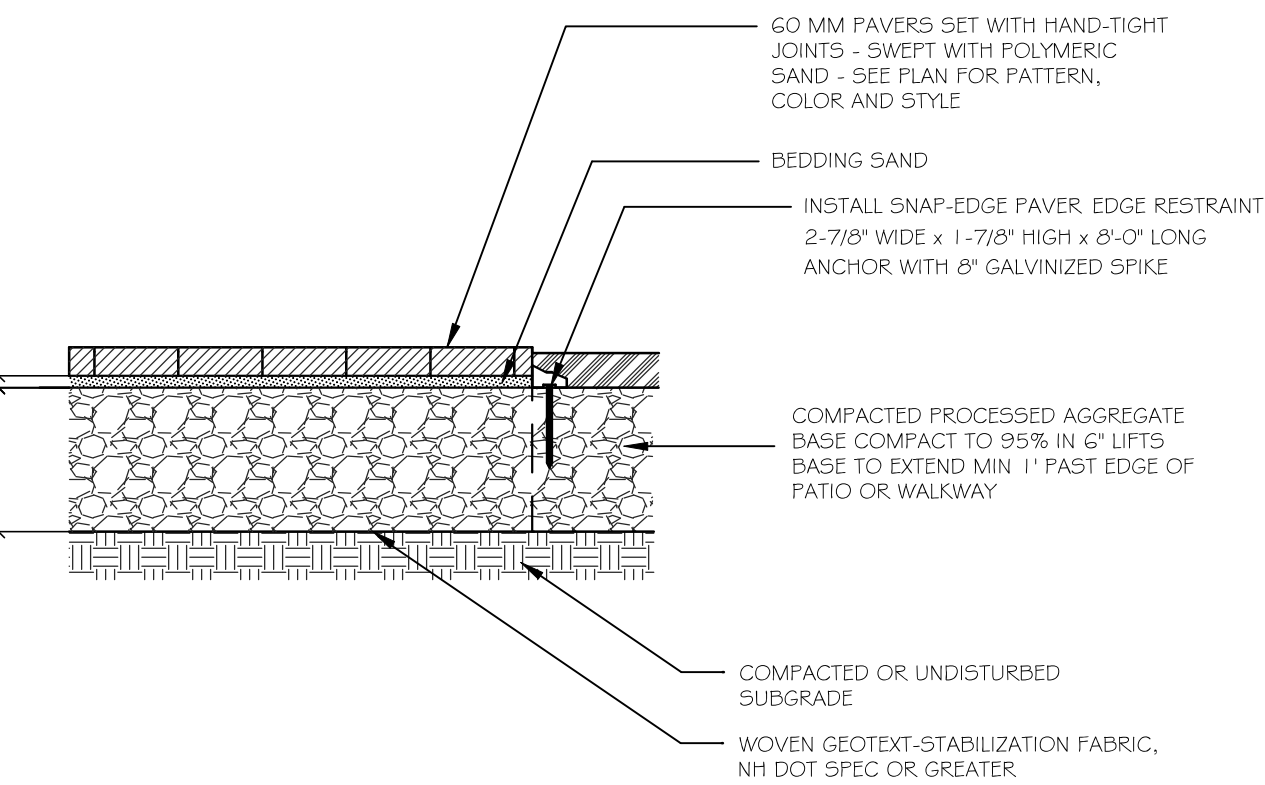
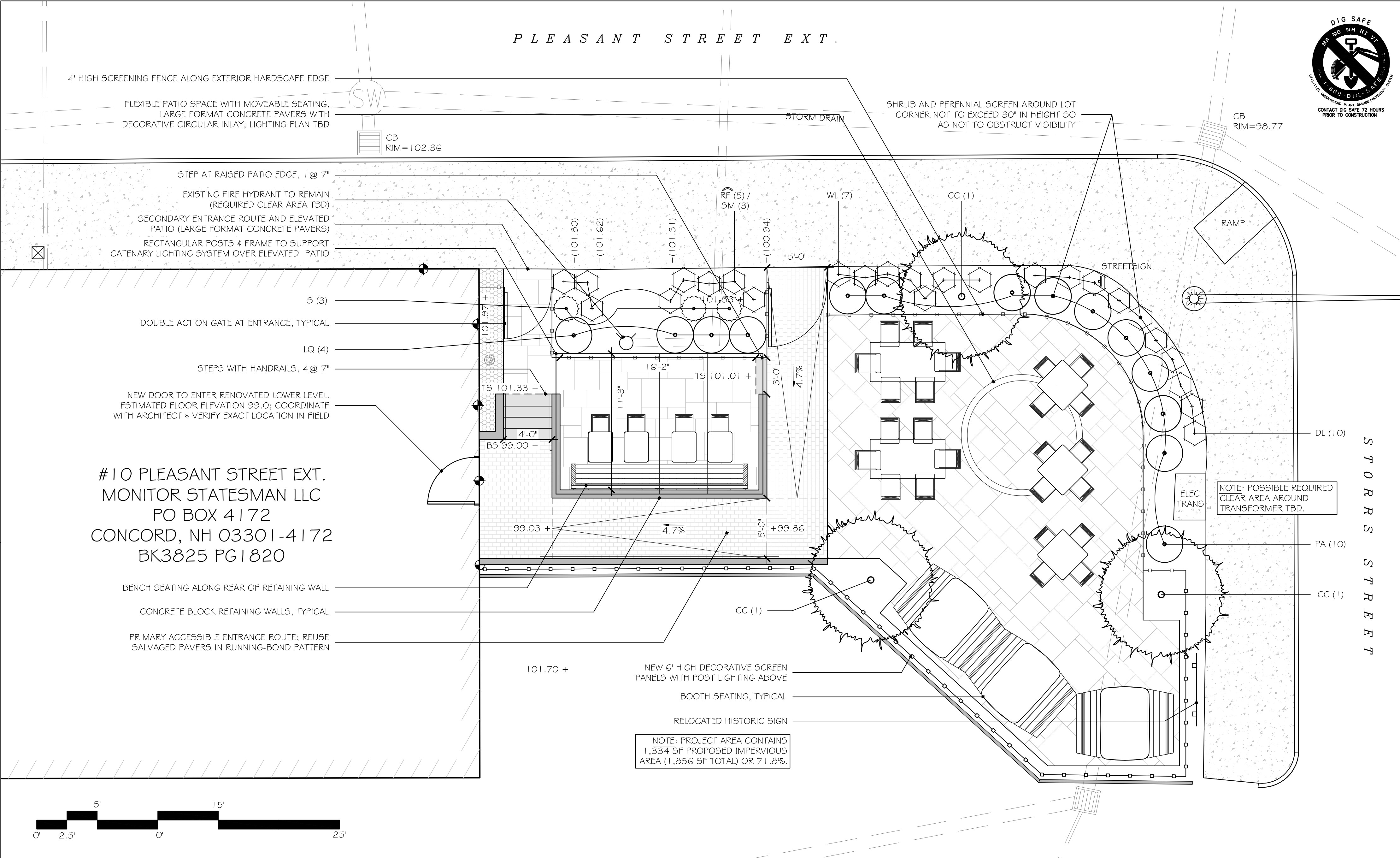


PLANTING SCHEDULE			
TREES	SIZE	QTY	SYMBOL
<i>Carpinus caroliniana</i> 'Palisade' / Palisade American Hornbeam	3-3.5" CAL.	3	CC
SHRUBS			
<i>Hydrangea paniculata</i> 'Little Quick Fire' / Little Quick Fire Panicle Hydrangea	2.5-3" B&B	4	LQ
GRASSES			
<i>Pennisetum alopecuroides</i> 'Hameln' / Hameln Dwarf Fountain Grass	#1	10	PA
PERENNIALS			
<i>Hemerocallis</i> 'Happy Returns' / Happy Returns Daylily	#1	10	DL
<i>Iris siberica</i> 'Concord Crush' / Concord Crush Siberian Iris	#1	3	IS
<i>Nepeta</i> 'Walker's Low' / Walker's Low Catmint	#1	7	WL
<i>Rudbeckia flugida</i> 'Little Goldstar' / Little Goldstar Black-Eyed Susan	#1	5	RF
<i>Salvia</i> 'Marcus' / Marcus Sage	#1	SM	3

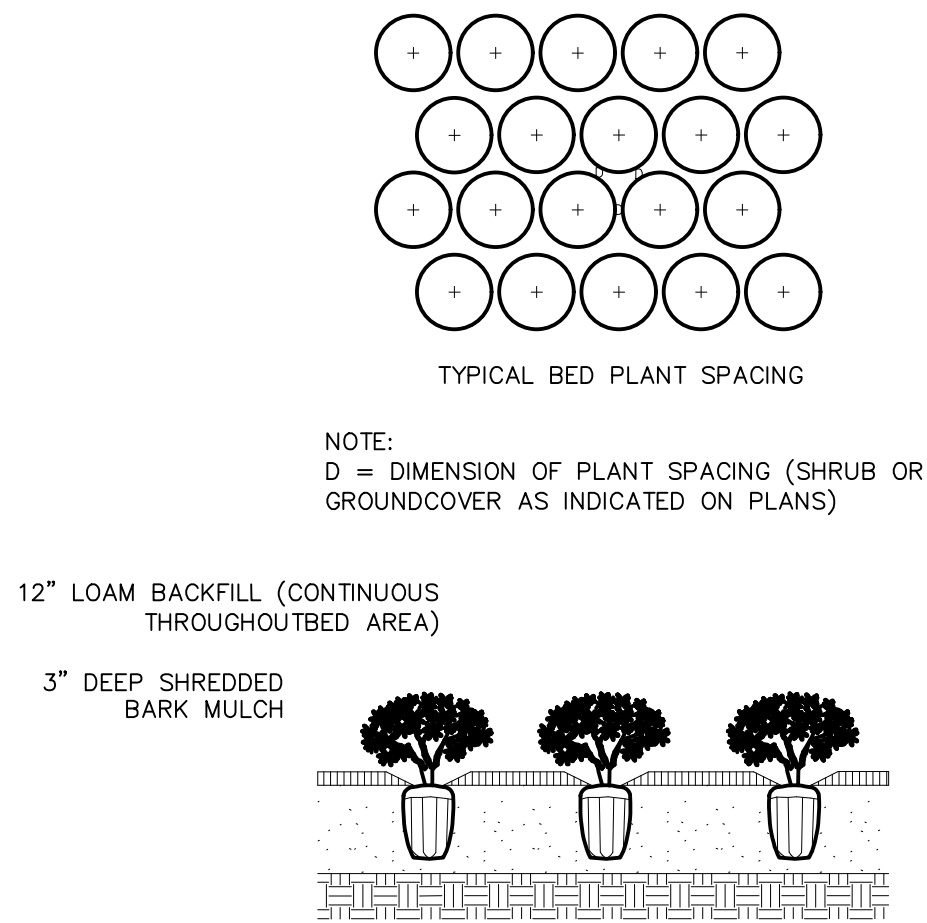
- PLANTING NOTES
1. CONTRACTOR SHALL OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PURCHASING AND/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
 2. CONSTRUCTION ACCESS WILL BE AS DIRECTED BY LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
 3. LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY LANDSCAPE ARCHITECT ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
 4. CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
 5. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE LANDSCAPE ARCHITECT. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY LANDSCAPE ARCHITECT.
 6. ALL BEDS TO BE MULCHED WITH 4" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
 7. CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

EXISTING IMPERVIOUS CALCULATIONS		PROPOSED IMPERVIOUS CALCULATIONS	
BRICK PATIO	: 356 SF	LOWER PATIO	: 818 SF
CONCRETE WALKWAY	: 360 SF	ACCESSIBLE RAMP	: 268 SF
CONC. FENCE BASE	: 16 SF	RETAINING WALL	: 40 SF
		STEPS	: 18 SF
		UPPER PATIO	: 190 SF
TOTAL EXISTING IMPERVIOUS		TOTAL PROPOSED IMPERVIOUS	
	: 732 SF		: 1,334 SF



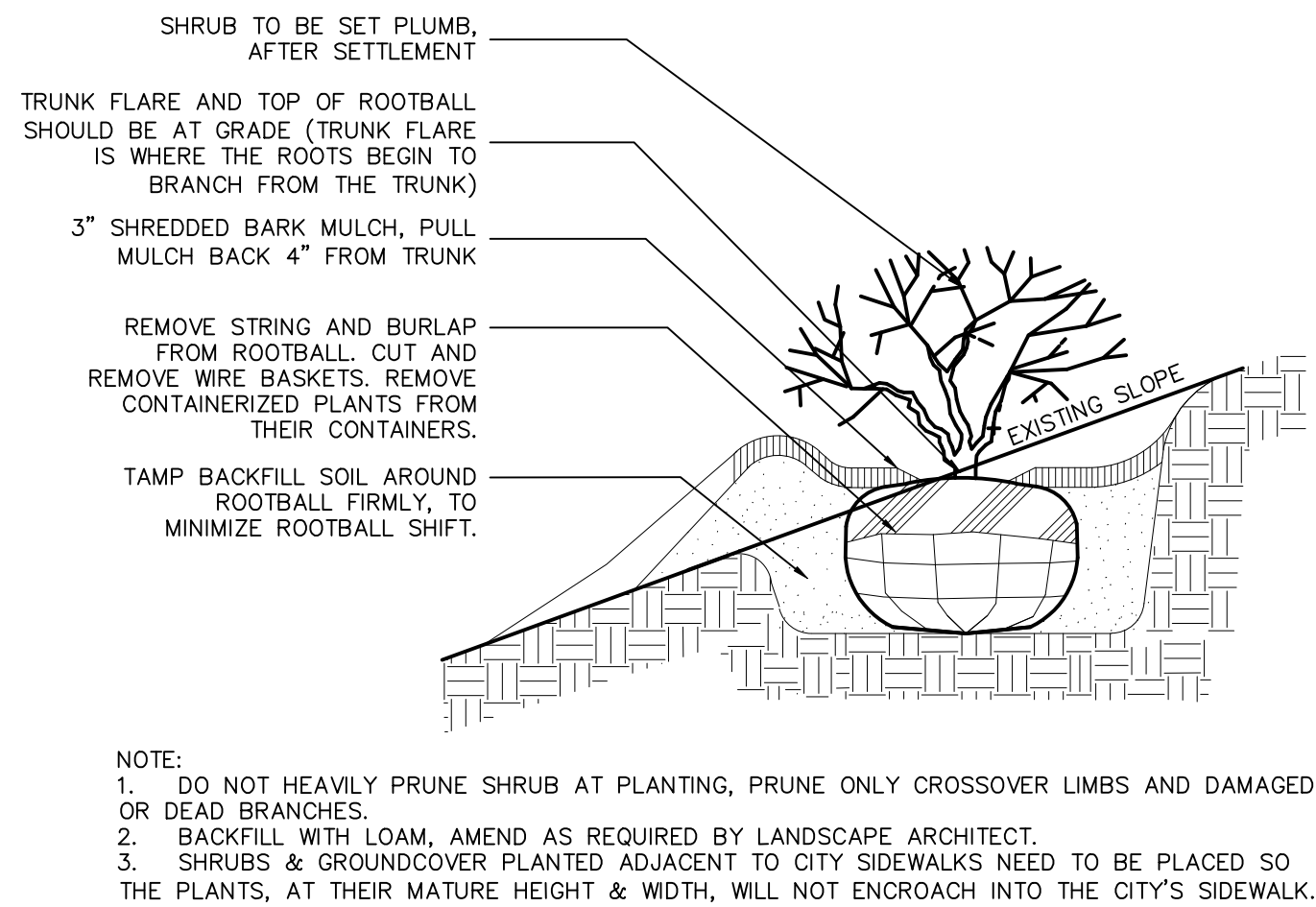
1 CONCRETE PAVER PATIO (TYPICAL)

NO SCALE



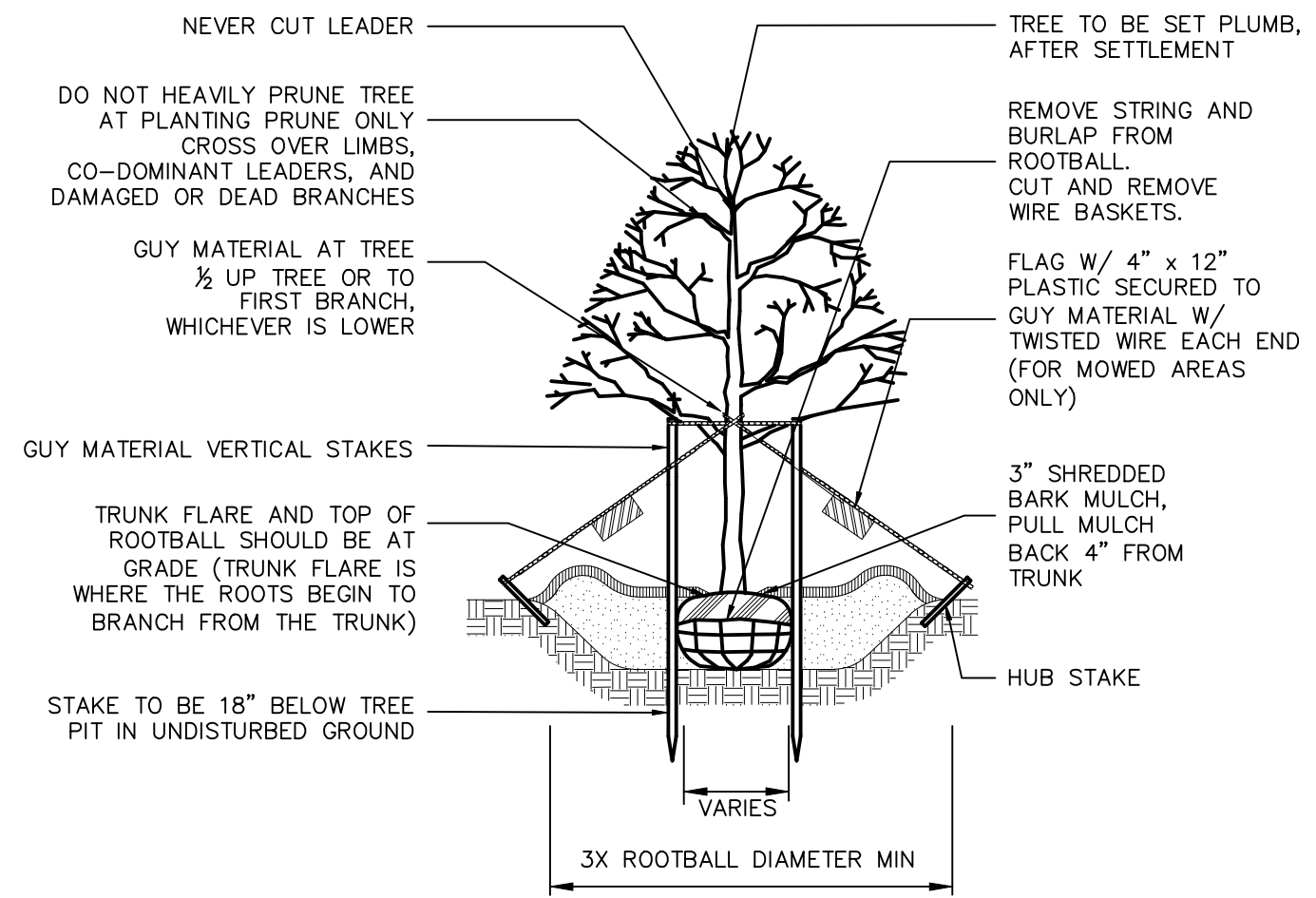
2 TYPICAL PERENNIAL PLANTING

NO SCALE



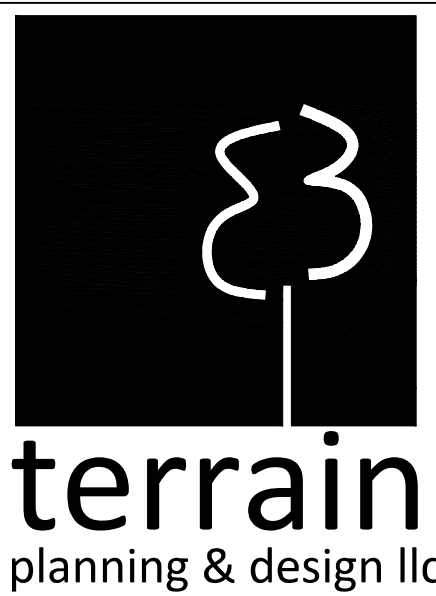
3 TYPICAL SHRUB PLANTING

NO SCALE



4 DECIDUOUS TREE PLANTING

NO SCALE



311 kast hill road
hopkinton nh 03229
603. 746. 3512
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REVELSTOKE COFFEE

Site Location:
10 Pleasant Street Ext.
Concord, NH 03301
Tax Map: 74
Block: 12
Lot #: 15

Prepared For:
Alex Stoyle
Revelstoke Coffee
10 Pleasent Street Ext.
Concord, NH 03301

PROPOSED SITE PLAN

DATE: 02-07-2024

SCALE: 1" = 5'

PROJECT #: 24002

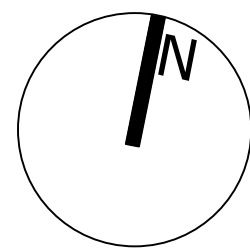
Drawn By: BDW

Checked By: ERB

REVISIONS: DATE:
Revised Concept 03-27-2025
Issued for Architectural Design Review 10-13-2025

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10 Pleasant Street Ext, Concord, NH
Revised Conceptual Landscape Visualizations
April 4, 2024





