

OWNER

MAP 6443 Z LOT 27
CIBOROWSKI ASSOCIATES, LLC.
18 NORTH MAIN STREET, SUITE 202
CONCORD, NH 03301

MAP 6443 Z LOT 28

PHENIX HALL, LLC
18 NORTH MAIN STREET, SUITE 202
CONCORD, NH 03301

ENGINEER

NORTHPOINT ENGINEERING, LLC
119 STORRS ST., STE 201
CONCORD, NH 03301

ABUTTERS

MAP 6443 Z LOT 10
107 STORRS STREET, LLC.
P.O. BOX 2703
CONCORD, NH 03302

MAP 6443 Z LOT 25

PHENIX LIVERY, LLC.
18 NORTH MAIN STREET, SUITE 202
CONCORD, NH 03301

MAP 6443 Z LOT 26

BERAT HOLDINGS, LLC.
64 NORTH MAIN STREET,
CONCORD, NH 03301

MAP 6443 Z LOT 29

HADGES PROPERTY HOLDINGS, LLC.
27 CONANT DRIVE
CONCORD, NH 03301

MAP 6443 Z LOT 30

JAMES ON DEPOT, LLC.
68 INDUSTRIAL WAY
WILMINGTON, MA 01887-3434

ARCHITECT

SHEERR McCRYSTAL PALSON
ARCHITECTURE, INC.
30 SOUTH MAIN STREET, BUILDING TWO
CONCORD, NH 03301

SURVEYOR

RICHARD D. BARTLETT & ASSOC. LLC.
214 NORTH STATE STREET
CONCORD, NH 03301

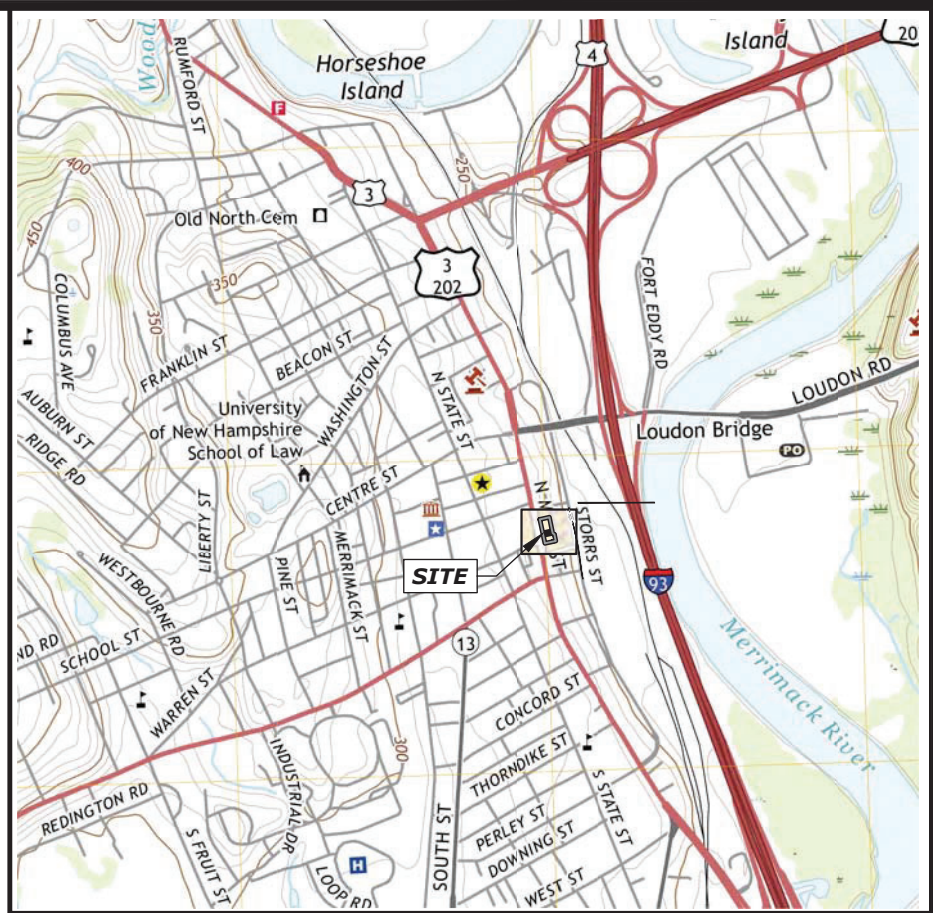
SITE IMPROVEMENT PLANS

PREPARED FOR:

PHENIX BLOCK REDEVELOPMENT
& PHENIX HALL RENOVATIONS

MAP 6443Z LOTS 27 & 28

34 TO 56 NORTH MAIN STREET
CONCORD, NEW HAMPSHIRE



VICINITY MAP

SCALE: 1"=2,000'±

SHEET INDEX

NO.	TITLE	LAST REVISED
--	COVER SHEET	01/21/26
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3	SITE PLAN	01/21/26
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L1 OF 2	SITE LIGHTING LAYOUT	01/21/26
L2 OF 2	LIGHTING FIXTURE SCHEDULE	01/21/26

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36

CITY PLANNING BOARD

CITY OF CONCORD, NEW HAMPSHIRE

In accordance with vote of the board dated:

Approval of this plat is limited to lots as shown.

Clerk Chair

PERMITTING PLANS

-NOT FOR CONSTRUCTION-

COVER SHEET

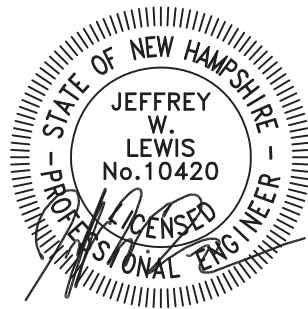
PREPARED FOR:

PHENIX BLOCK REDEVELOPMENT

MAP 6443Z LOTS 27 & 28

34 TO 56 NORTH MAIN STREET
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.
& CIBOROWSKI ASSOCIATES, LLC
18 NORTH MAIN STREET, SUITE 202
CONCORD, NH 03301



REVISIONS:

NO.	DATE	DESCRIPTION
1	01/21/26	REVISED TO ADDRESS CITY REVIEW COMMENTS



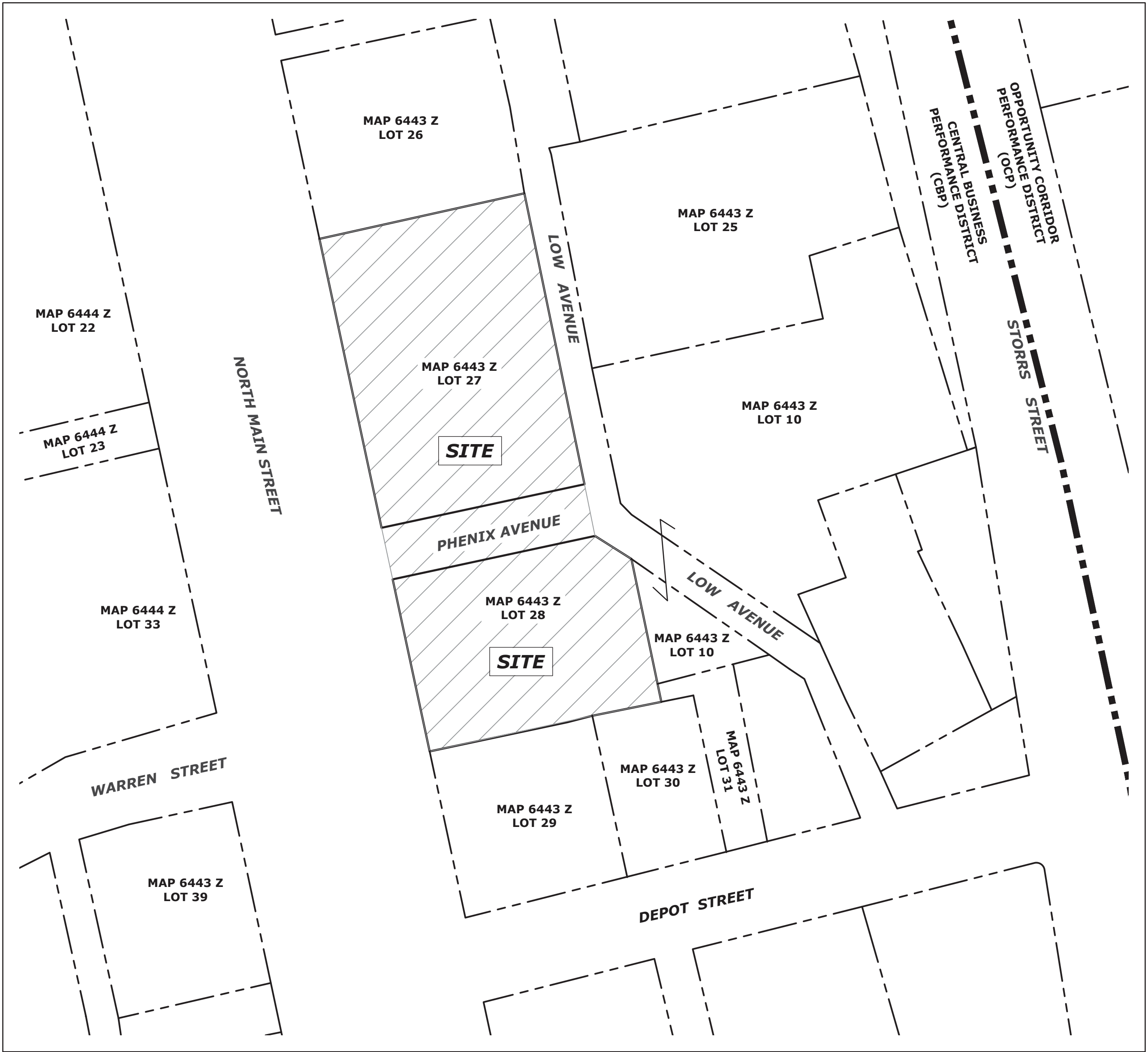
119 Storrs St, Ste 201
Concord, NH 03301
Tel 603-226-1166
Fax 603-226-1160
www.northpointeng.com

DATE: OCT. 2025

PROJ.: 19017.1

SCALE: AS SHOWN

SHEET: ----



AREA PLAN

SCALE: 1"=40'±

LEGEND

EXISTING	DESCRIPTION	PROPOSED
□	STONE BOUND	■
○	IRON PIPE/PIN	●
⊙	DRILL HOLE	⊙
▽	BENCHMARK	▽
⊕	CATCH BASIN	⊕
⊖	DRAIN MANHOLE	⊖
⊗	SEWER MANHOLE	⊗
○ CO	CLEANOUT	○ CO
○ MW	MONITORING WELL	○ MW
⊗	UTILITY VALVE	⊗
⊗	WATER SHUT-OFF VALVE	⊗
⊗	FIRE HYDRANT	⊗
⊗	WELL	⊗
⊗	SIGN	⊗
⊗	BOLLARD	⊗
⊗	UTILITY POLE	⊗
⊗	GUY WIRE	⊗
⊗	TREE	⊗
⊗	SHRUB	⊗
⊗	WETLAND SYMBOL	⊗
⊗	SPOT GRADE	⊗
⊗	WETLAND LIMITS	⊗
⊗	EDGE OF WATER	⊗
⊗	BOUNDARY	⊗
⊗	ABUTTER LINE	⊗
⊗	EASEMENT	⊗
⊗	EDGE OF PAVEMENT	⊗
⊗	CONTOUR (2-FT)	⊗
⊗	CONTOUR (10-FT)	⊗
⊗	WATER LINE	⊗
⊗	SEWER LINE	⊗
⊗	SEWER FORCE MAIN	⊗
⊗	GAS LINE	⊗
⊗	DRAINAGE LINE (<12")	⊗
⊗	DRAINAGE LINE (>12")	⊗
⊗	UNDERDRAIN	⊗
⊗	UNDERGROUND UTIL.	⊗
⊗	OVERHEAD UTIL.	⊗
⊗	STONEMALL	⊗
⊗	RETWALL	⊗
⊗	FENCE	⊗
⊗	SILT FENCE	⊗
⊗	TREELINE	⊗

LEGEND

--- PROPERTY LINE
 --- EDGE OF PAVEMENT
 --- EDGE OF GRAVEL
 --- OVERHEAD UTILITY LINES
 --- DRAINAGE LINE
 --- SEWER LINE
 --- GAS LINE
 --- TEL. LINE
 --- UNDERGROUND ELECT.
 --- DYL. DOUBLE YELLOW LINE
 --- SWL. SINGLE WHITE LINE
 --- VGC OR SGC. VERTICAL OR SLOPED GRANITE CURB
 --- EDGE OF WOODS
 --- CONCRETE

CONIFEROUS TREE
 SHRUB
 DECIDUOUS TREE
 ARTESIAN WELL
 IRON PIPE OR REBAR
 GRANITE OR CONCRETE BOUND (GB OR CB)
 UTILITY POLE
 LIGHT POLE
 SEWER MANHOLE
 DRAIN MANHOLE
 CATCH BASIN
 HYDRANT
 WATER SHUTOFF
 WATER VALVE
 IRRIGATION CONTROL VALVE
 GAS SHUTOFF

6443Z/22
 CAPITAL PLAZA COMMON LLC
 PO Box 1438
 Concord, NH 03301
 Vol. 3545, Page 2751
 57-61 North Main Street

6444Z/23
 VINO LLC
 75 South Main Street Unit 7
 Concord, NH 03301
 Vol. 2568, Page 599
 53-55 North Main Street

6444Z/33
 PRM HOLDINGS, LLC
 40 Stark Street
 Manchester, NH 03101
 Vol. 3453, Page 725
 41-51 North Main Street

6443Z/39
 HAROLD A ECKSTROM
 36 Warren Street, Ste 2
 Concord, NH 03301
 Vol. 2133, Page 177
 25-35 North Main Street

LOT SYNOPSIS

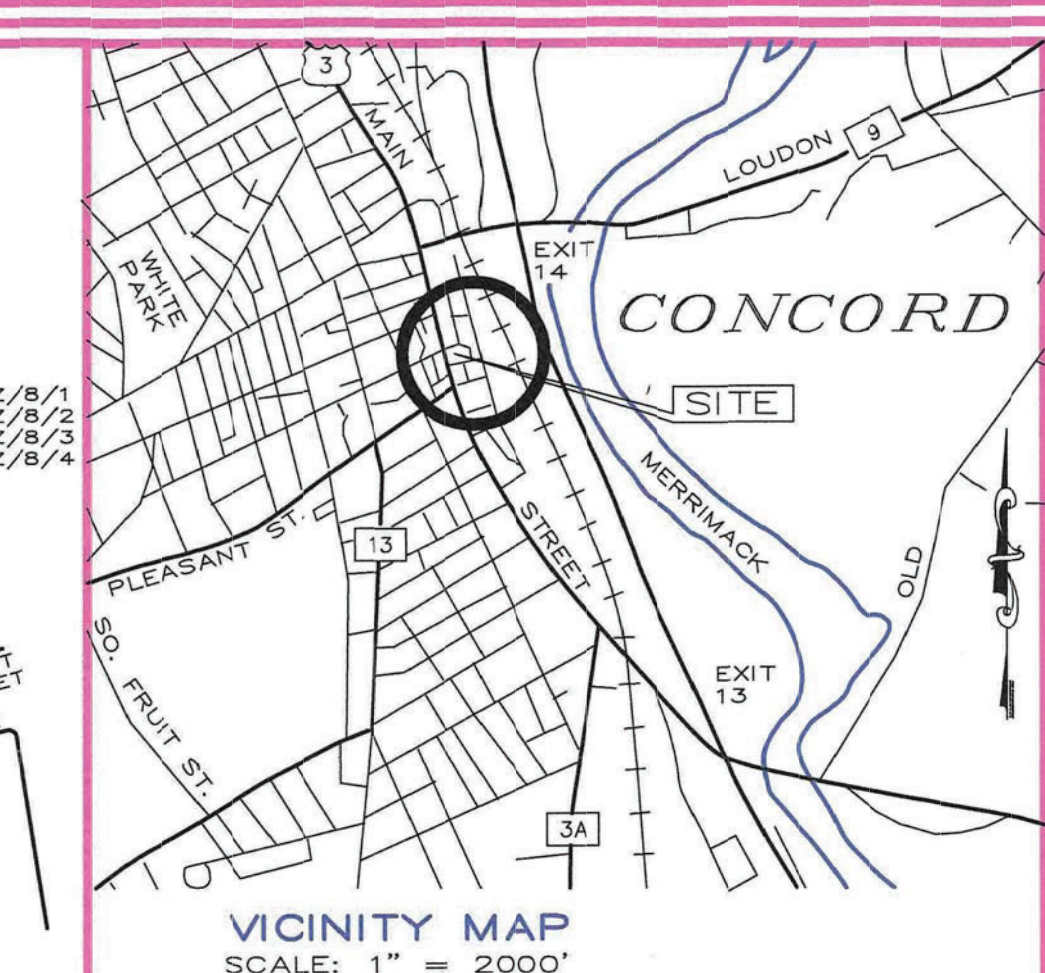
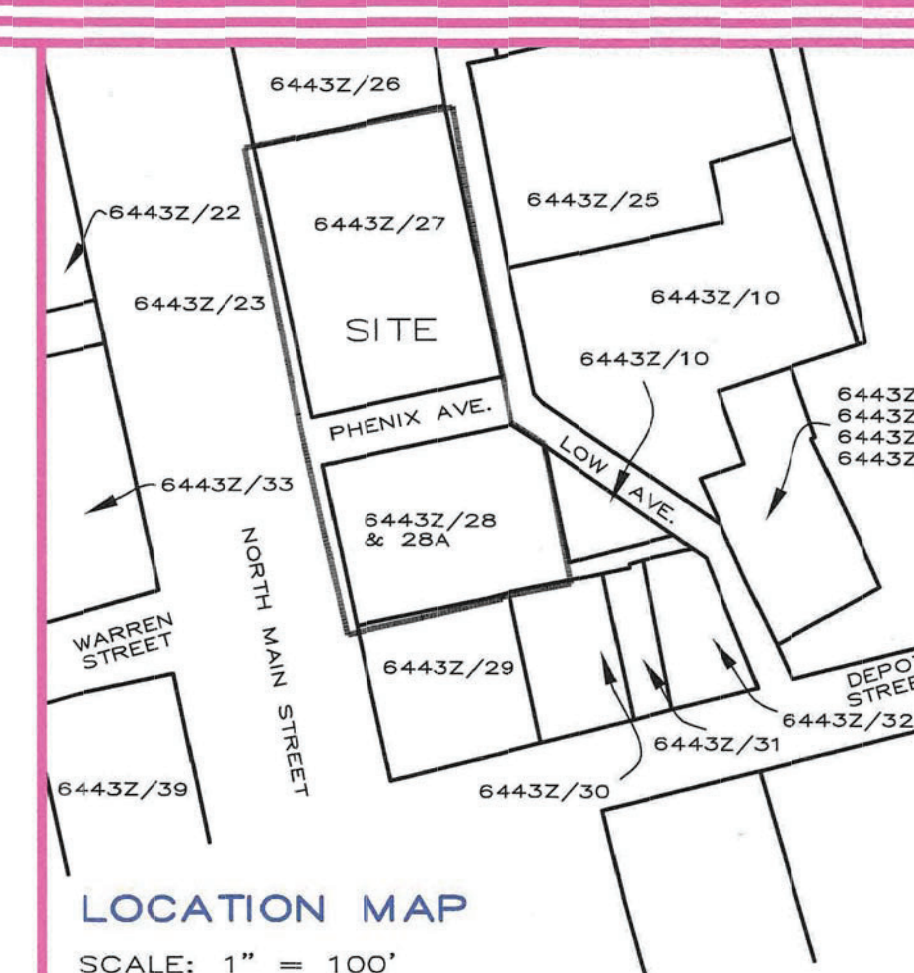
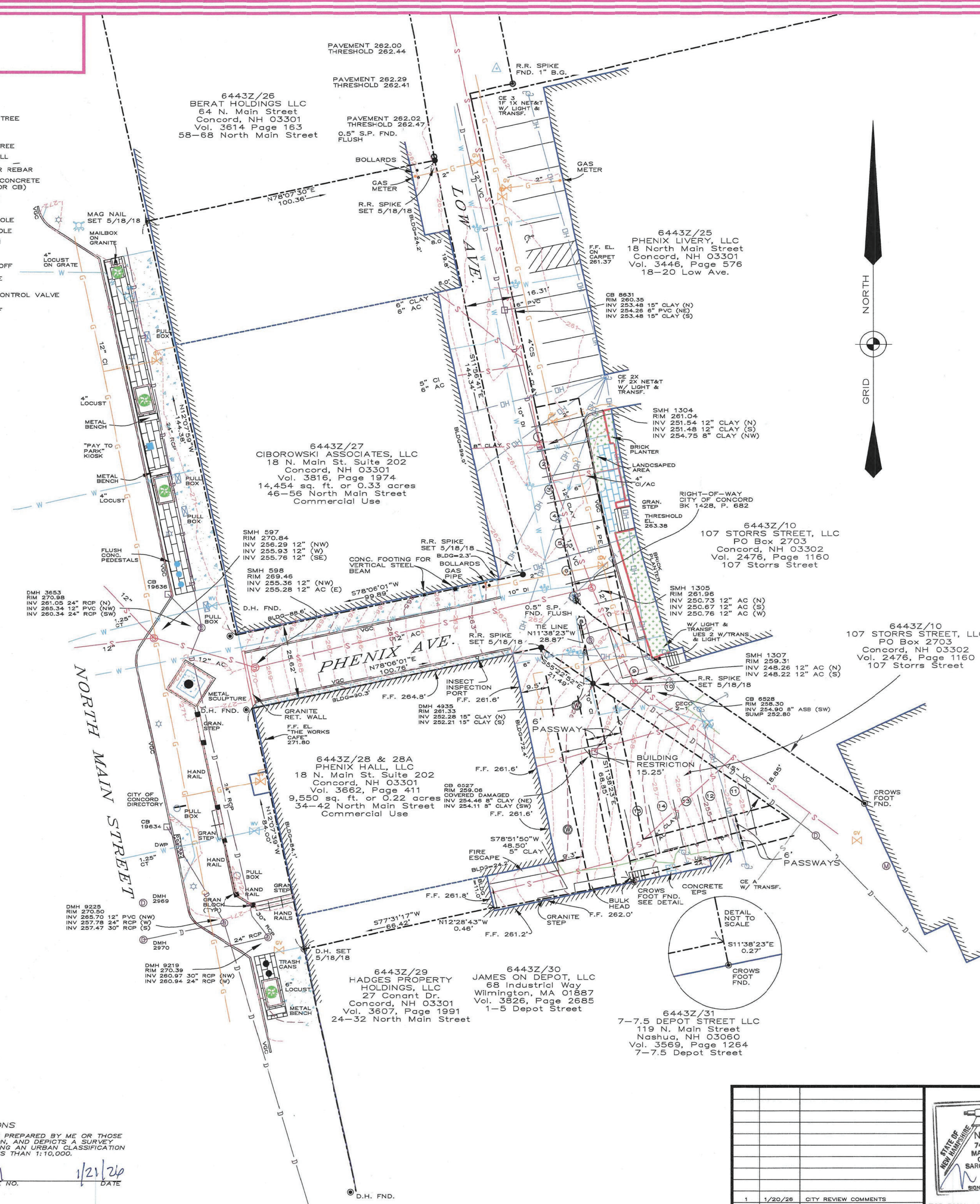
MAP 6443Z, LOTS 28 & 28A
 TOTAL AREA & USEABLE AREA
 9,550 SQ. FT. OR 0.22 ACRES
 EXISTING LOT COVERAGE
 BUILDING 7,279 SQ. FT.
 PAVEMENT 2,271 SQ. FT.
 EXISTING COVERAGE 9,550 SQ. FT.

EXISTING COVERAGE = 100%

MAP 6443Z, LOT 27
 TOTAL AREA & USEABLE AREA
 14,454 SQ. FT. OR 0.33 ACRES
 EXISTING LOT COVERAGE
 BUILDING 13,248 SQ. FT.
 PAVEMENT 1,206 SQ. FT.
 EXISTING COVERAGE = 100%

I, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

SIGNATURE: [Signature] LICENSE NO. 741 DATE 1/21/20



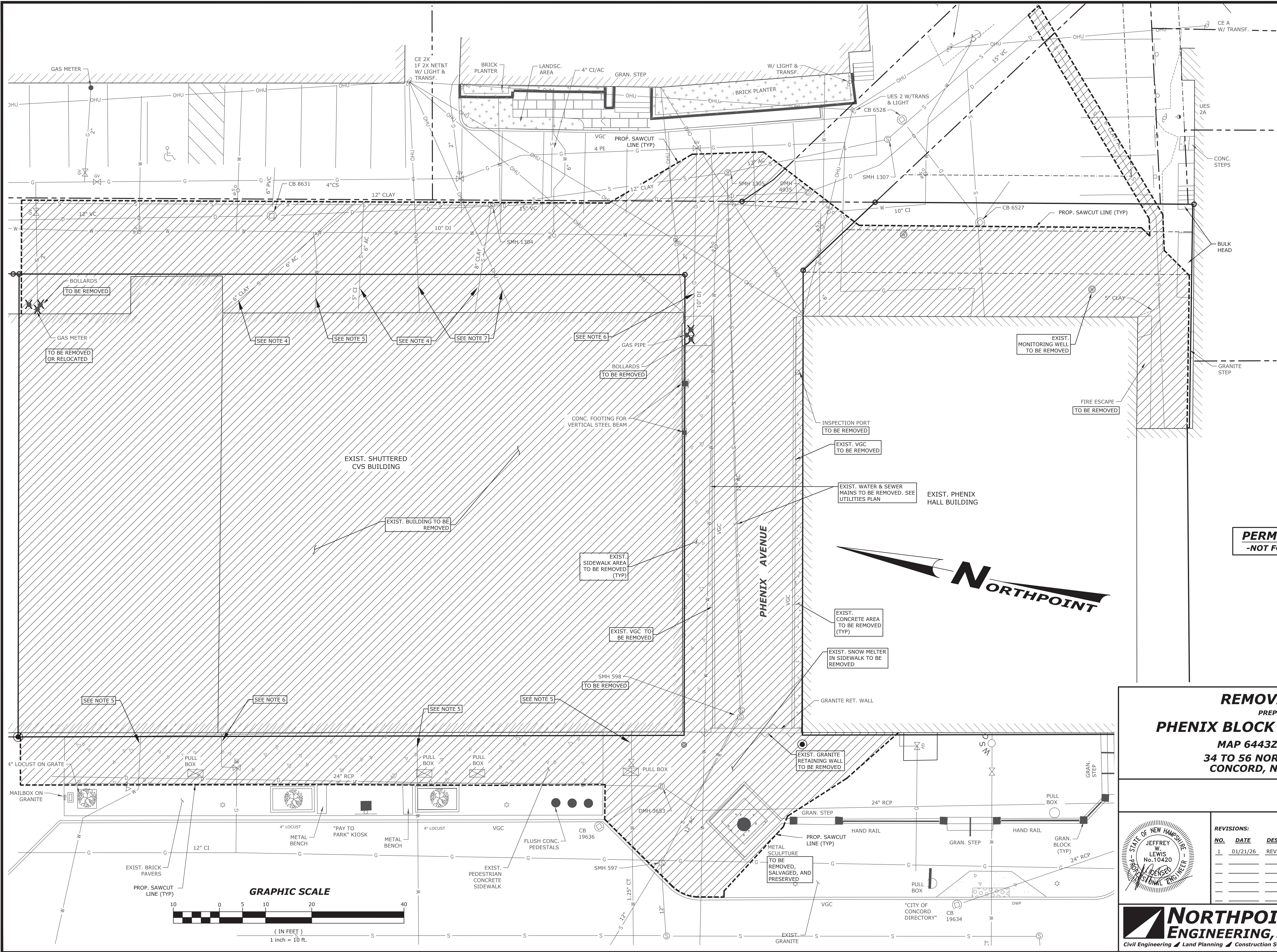
NOTES

- Survey by total station on April 5, 2018. Control traverse error of closure 1: 69,409. Supplemental survey conducted on November 11, 2023.
- Horizontal datum based on the NH State Plane Coordinate System, NAD 83.
- Vertical datum based on NAVD 88.
- The subject premises are within the Central Business Performance District, Minimum lot frontage = 22', Maximum building height = 80'.
- The intent of this plat is to depict boundary and detail in the vicinity of Map 6443Z, Lots 27 & 28 and a portion of Low Avenue.
- Owners of Record: Caborowski Associates, LLC - 18 N. Main St. Suite 202 Concord, NH 03301 Map 6443Z Lot 27 Vol. 3616, Page 1974
Phenix Hall, LLC - 18 N. Main St. Suite 202 Concord, NH 03301 Map 6443Z, Lot 28 Vol. 3662, Page 411
- The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 811.
- The subject premises is served by municipal water and sewer.
- The subject premises is within flood hazard zone "X" Areas determined to be outside of the 500 year flood plain as shown on the Flood Insurance Rate Map, City of Concord, N.H. Community No. 33013C5335 with a revised date of April 19, 2010. The site does not fall within any F1 or F2 Flood Hazard area or within the flood hazard overlay district.
- The site is not serviced by wells or septic systems, no state, or federal permits are required, there are no restrictions or existing easements, and the site does not contain any water protection areas.
- The intent of this plat is to depict the existing conditions of 34-56 North Main Street Concord, NH
- Soil Type: 699B Urban Land 0-8% slopes.
- The site does not fall within the AP or SP overlay districts.
- Both the structure located on Lot 27 and the structure located on Lot 28 are historic structures eligible for the National Register of Historic Places. On October 19, 2023 the City of Concord Heritage Commission approved a motion stating that the structure located on Lot 27 does not possess significant historical, cultural or architectural value.
- The City of Concord owns a strip of land, 6.81' in width, on both sides of Phenix Ave. reference book 898, page 344.

Tabulations
 Lot 27 Building
 Basement (Low Ave Level): 13,258 (Storage/Utility)
 First Floor (Main Street Level): 13,258-sf
 (Commercial/Retail)
 Upper floor: Unoccupied space
 Lot 28 Building (Phenix Hall)
 Basement (Low Ave Level): 8,516-sf (Storage/Utility)
 First Floor (Main Street Level): 6,871-sf (Restaurant/Retail)
 Second Floor: 8,407-sf (Office)
 Third Floor: 9,065-sf (Assembly)
 Fourth Floor: 4,994-sf (Assembly)

1 1/20/26 CITY REVIEW COMMENTS NO. DATE REVISION				RICHARD D. BARTLETT & ASSOCIATES, LLC 214 North State Street Concord, N.H. 03301 Tel.: (603) 225-6770 info@richarddbartlett.com www.richarddbartlett.com LICENSED LAND SURVEYORS	EXISTING CONDITIONS PLAT prepared for: CIBOROWSKI ASSOCIATES, LLC & PHENIX HALL, LLC PROJECT: MAP 6443Z, LOTS 27 & 28 LOCATION: 34-56 N. MAIN ST. CONCORD, NH GRAPHIC SCALE 0' 20' 40' 1" = 20' DATE: OCTOBER, 2025 JOB NO.: 318.116 SHEET 1 OF 1
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FILE: G:\projects\19017\19017_1\DESIGN.dwg BY: Jamie DATE: 21 Jun 2026 - 2:02pm



LEGEND

- DEMO AREA TO BE REMOVED
- ITEM TO BE REMOVED
- SAWCUT LINE

CONSTRUCTION NOTES:

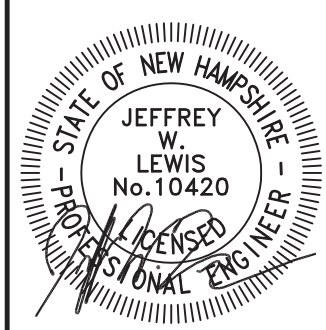
- PRIOR TO CONSTRUCTION, CONTACT DIG SAFE CENTER, TOLL FREE 1-888-344-7233, NEW HAMPSHIRE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE DIGGING OPERATIONS START. IN AN EMERGENCY, CALL IMMEDIATELY.
- LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THIS PLAN SET ARE BASED ON PREVIOUS PLANS AND WHERE POSSIBLE VERIFIED IN THE FIELD. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION, DEPTH AND EXISTENCE OF ALL EXISTING UNDERGROUND UTILITIES THAT ARE TO BE ACCESSED OR CROSSED DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING IF ANY UTILITIES ARE FOUND TO BE INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL CONFORM TO THE NHDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE CITY OF CONCORD 2016 CONSTRUCTION STANDARDS AND DETAILS, AND THE CITY OF CONCORD SITE PLAN REGULATIONS, AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- EXISTING SEWER SERVICES SHALL BE CUT & CAPPED OUTSIDE OF TRENCH LIMITS OF NEW FOUNDATION AND THEN ABANDONED IN PLACE.
- EXISTING WATER SERVICES SHALL BE CUT AND CAPPED AT THE WATER MAIN.
- EXISTING GAS SERVICES TO BE REMOVED. COORDINATE WITH GAS COMPANY.
- EXISTING OVERHAUL UTILITIES TO BE REMOVED. COORDINATE WITH OWNING UTILITY COMPANY.

PERMITTING PLANS -NOT FOR CONSTRUCTION-



REMOVALS PLAN PREPARED FOR: PHENIX BLOCK REDEVELOPMENT MAP 6443Z LOTS 27 & 28 34 TO 56 NORTH MAIN STREET CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.
& GIBROWSKI ASSOCIATES, LLC
18 NORTH MAIN STREET, SUITE 202
CONCORD, NH 03301



REVISIONS:

NO.	DATE	DESCRIPTION
1	01/21/26	REVISED TO ADDRESS CITY REVIEW COMMENTS

**NORTHPOINT
ENGINEERING, LLC**
Civil Engineering Land Planning Construction Services

119 Storrs St, Ste 201
Concord, NH 03301
Tel 603-226-1166
Fax 603-226-1160
www.northpointeng.com

DATE: OCT. 2025
PROJ.: 19017.1
SCALE: 1"=10'
SHEET: 2 OF 11

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF A NEW 8-STORY BUILDING ON LOT 27, KNOWN AS THE PHENIX BLOCK, ALONG WITH A BUILDING ADDITION AND RENOVATIONS TO THE EXISTING BUILDING ON LOT 28, KNOWN AS PHENIX HALL. THE BUILDING ADDITION ON LOT 28 WILL BE LOCATED WITHIN THAT PORTION OF EXISTING PHENIX AVENUE WHICH IS PROPOSED TO BE DISCONTINUED.
- REFERENCE THE SUBJECT PARCELS OF LAND AS CITY OF CONCORD TAX MAP 6443Z LOTS 27 AND 28, ALONG WITH PHENIX AVE WHICH IS A MUNICIPALLY-OWNED STREET.
- THIS PROJECT IS ASSOCIATED WITH A CONCURRENT APPLICATION TO RESUBDIVIDE EXISTING LOTS 27 AND 28. THE ASSOCIATED RESUBMISSION PLAN PROPOSES TO DISCONTINUE EXISTING PHENIX AVE AND REAPPORTION THE DISCONTINUED RIGHT-OF-WAY BETWEEN THE TWO LOTS, AS SHOWN ON THIS PLAN SET.
- OWNER OF RECORD: PARCEL 6443Z-28 PHENIX HALL, LLC.
18 N. MAIN STREET
CONCORD, NH 03301
V.3662 PG 411 MCRD

PARCEL 6443Z-27 CIBOROWSKI ASSOCIATES, LLC
18 N. MAIN STREET
CONCORD, NH 03301
V.3816 PG 1974 MCRD
- THE SUBJECT PARCELS ARE ZONED 'CBP' CENTRAL BUSINESS PERFORMANCE DISTRICT AND ARE SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS OF THE CITY OF CONCORD ZONING ORDINANCE:

	REQUIRED (CBP)	EXISTING (LOT 27)	PROPOSED (LOT 27)
MIN. LOT AREA:	N/A	14,454 SF	14,711 SF
MIN. BUILDABLE AREA:	N/A	14,454 SF	14,711 SF
MIN. LOT FRONTAGE:	22 FT	144.38 FT	144.38
MIN. FRONT SETBACK:	N/A	0 FT	0 FT
MIN. REAR SETBACK:	N/A	0 FT	0 FT
MIN. SIDE SETBACK:	N/A	0 FT	0 FT
MAX. LOT COVERAGE:	N/A	100%	100%
MAX. BUILDING HEIGHT:	80 FT	< 80 FT	*89.5 FT

	REQUIRED (CBP)	EXISTING (LOT 28)	PROPOSED (LOT 28)
MIN. LOT AREA:	N/A	9,550 SF	11,863 SF
MIN. BUILDABLE AREA:	N/A	8,380 SF	8,380 SF
MIN. LOT FRONTAGE:	22 FT	84.00 FT	84.0 SF
MIN. FRONT SETBACK:	N/A	0 FT	0 FT
MIN. REAR SETBACK:	N/A	9.5 FT	0 FT
MIN. SIDE SETBACK:	N/A	0 FT	0 FT
MAX. LOT COVERAGE:	N/A	100%	100%
MAX. BUILDING HEIGHT:	80 FT	< 80 FT	< 80 FT

* CONDITIONAL USE PERMIT REQUIRED TO ALLOW MAX. BUILDING HEIGHT TO EXCEED 80 FEET.

- THE EXISTING BUILDING ON LOT 27 CONTAINS STORAGE & UTILITY SPACE IN THE BASEMENT. RETAIL ON THE FIRST FLOOR AND UNOCCUPIED SPACE ON THE UPPER FLOOR. THE PROPOSED BUILDING ON LOT 27 WILL BE AN 8-STORY MULTI-USE BUILDING THAT INCLUDES: A PARKING GARAGE AND RETAIL SPACE ON THE BASEMENT FLOOR WITH ACCESS FROM LOW AVE; RETAIL SPACE ON THE FIRST FLOOR WITH ACCESS FROM MAIN STREET; OFFICE SPACE ON THE SECOND FLOOR; 36 RESIDENTIAL APARTMENT UNITS ON THE THIRD THROUGH SIXTH FLOORS (9 UNITS PER FLOOR) RANGING FROM ONE TO THREE-BEDROOM UNITS; AND A RESTAURANT VENUE ON THE SEVENTH FLOOR WITH OUTDOOR SEATING ON THE ROOF DECK. THE GROSS FLOOR AREA OF THE BUILDING IS 107,156-SF WITH THE FOLLOWING BREAKDOWN OF PROPOSED USES:

LOT 27	AREA	F.A.R.
RESIDENTIAL APARTMENTS:	44,132-SF	3.00
RETAIL SPACE:	12,378 SF	0.84
OFFICE SPACE:	12,124 SF	0.82
ASSEMBLY/RESTAURANT:	9,508 SF	0.65
STORAGE/UTILITY:	29,014 SF	1.97
TOTAL GFA:	107,156 SF	7.28

- THE EXISTING PHENIX HALL BUILDING ON LOT 28 CONTAINS STORAGE/UTILITY SPACE IN THE BASEMENT, RETAIL & RESTAURANT SPACE ON THE FIRST FLOOR, OFFICE SPACE ON THE SECOND FLOOR, AND ASSEMBLY SPACE ON THE UPPER FLOORS. THE BUILDING WILL BE RENOVATED AS PART OF THIS PROJECT AND WILL INCLUDE A NEW BUILDING ADDITION THAT CONNECTS TO THE NEW BUILDING ON LOT 27. IT IS A 5-STORY BUILDING THAT INCLUDES: STORAGE AND UTILITY SPACE ON THE BASEMENT FLOOR WITH ACCESS FROM LOW AVE; RETAIL SPACE ON THE FIRST FLOOR WITH ACCESS FROM MAIN STREET; OFFICE SPACE ON THE SECOND FLOOR; AND ASSEMBLY SPACE ON THE THIRD AND FOURTH FLOORS. THE GROSS FLOOR AREA OF THE BUILDING IS 37,853-SF WITH THE FOLLOWING BREAKDOWN OF PROPOSED USES:

LOT 28	AREA	F.A.R.
RETAIL SPACE:	6,871 SF	0.60
OFFICE SPACE:	6,962 SF	0.59
ASSEMBLY SPACE:	11,971 SF	1.01
STORAGE/UTILITY:	12,049 SF	1.02
TOTAL GFA:	37,853 SF	3.19

- PARKING CALCULATIONS:

REQUIRED PARKING: NO ONSITE PARKING REQUIRED IN THE CBP DISTRICT.

PARKING PROVIDED: 20 PARKING SPACES PROVIDED IN THE BASEMENT LEVEL WITH ACCESS FROM LOW AVE.

- A DUMPSTER WILL NOT BE REQUIRED OR PROVIDED ON THIS SITE.

- THE NEW BUILDING WILL BE EQUIPPED WITH A FIRE SUPPRESSION SYSTEM, INCLUDING AN ALARM SYSTEM, AND SHALL BE REVIEWED AND APPROVED BY THE FIRE DEPARTMENT AND LIFE SAFETY.

- THIS PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE.

- THE AREA OF LAND DISTURBANCE PROPOSED BY THIS PROJECT IS APPROXIMATELY 25,000-SF.

- THE SUBJECT PARCELS DO NOT LIE WITHIN THE SHORELAND PROTECTION DISTRICT (SP). THE PARCELS DO NOT CONTAIN ANY JURISDICTIONAL WETLANDS, BLUFFS, OR STEEP SLOPES GREATER THAN 15% OR GREATER THAN 25%.

- THE SUBJECT PARCELS ARE NOT LOCATED IN ANY SPECIAL FLOOD HAZARD AREAS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR CONCORD, NH, NUMBER 33013C533E HAVING AN EFFECTIVE DATE OF APRIL 19, 2010.

- ALL WORK ALONG NORTH MAIN STREET SHALL CONFORM TO THE CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS AS WELL AS THE PROPOSED, AND AS CONSTRUCTED, CONSTRUCTION STANDARDS AND DETAILS ASSOCIATED WITH THE CITY'S CIP 460 DOWNTOWN STREETScape IMPROVEMENT PROJECT. IF THERE IS A DISCREPANCY BETWEEN STANDARDS, THE STRICTEST STANDARD SHALL APPLY UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 25.02(1) OF THE SITE PLAN REGULATIONS.

- PER SITE PLAN REGULATION 12.09, UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. DURING PROJECT CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AS-BUILT SKETCHES OF ALL UNDERGROUND UTILITIES PRIOR TO BACKFILL AND PROVIDE TO ENGINEER OF RECORD. ALL INVERTS AND ELEVATIONS SHALL BE BASED ON A SURVEYED BENCHMARK PROVIDED BY THE SURVEYOR OF RECORD. THE SURVEYOR SHALL PROVIDE AN AS- BUILT OF THE SITE UTILIZING NH STATE PLANE GRID COORDINATES AND N.A.V.D. 88 DATUM AND SUBMIT TO THE ENGINEERING SERVICES DIVISION IN ELECTRONIC FORMAT FOR INCLUSION IN THE CITY GIS DATABASE.

- PRIOR TO START OF ANY CONSTRUCTION THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.

- THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE RIGHT-OF-WAY.

- A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) WILL BE REQUIRED FOR ALL WORK IN AND ADJACENT TO THE CITY RIGHT-OF-WAY THAT WILL REQUIRE LANE CLOSURES. THE TTCP SHALL BE SUBMITTED TO THE ENGINEERING SERVICES DIVISION FOR REVIEW AND APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE CONSTRUCTION ACTIVITIES THAT REQUIRE LANE CLOSURE(S).

- THIS PROJECT REQUIRES THE FOLLOWING STATE AND/OR FEDERAL PERMIT(S) ASSOCIATED WITH THE SITE DESIGN:

NHDES SEWER CONNECTION PERMIT:

- ON XXXXX THE CONCORD PLANNING BOARD GRANTED THE FOLLOWING WAIVERS FROM THE SITE PLAN REGULATIONS:

- ON XXXXX THE CONCORD PLANNING BOARD GRANTED THE FOLLOWING CONDITIONAL USE PERMITS:

MATERIALS LEGEND

	EXPOSED AGGREGATE CONCRETE SIDEWALK
	PEDESTRIAN CONCRETE SIDEWALK
	12" x 18" GRANITE PAVERS
	BRICK PAVERS

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36

CITY PLANNING BOARD

CITY OF CONCORD, NEW HAMPSHIRE

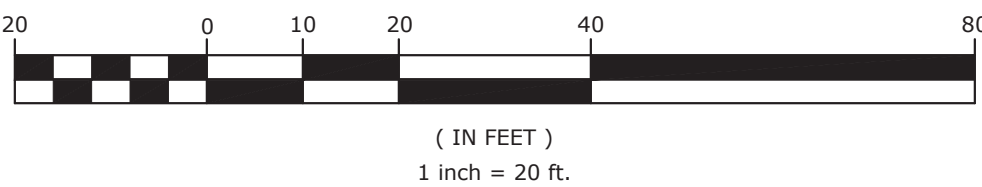
In accordance with vote of the board dated:

Approval of this plat is limited to lots as shown.

Clerk

Chair

GRAPHIC SCALE



**PERMITTING PLANS
-NOT FOR CONSTRUCTION-**

SITE PLAN

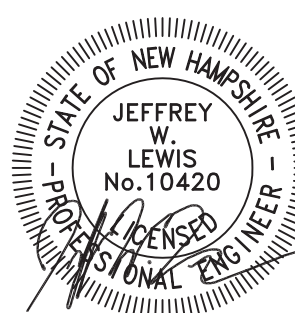
PREPARED FOR:

PHENIX BLOCK REDEVELOPMENT

MAP 6443Z LOTS 27 & 28

**34 TO 56 NORTH MAIN STREET
CONCORD, NEW HAMPSHIRE**

OWNER: PHENIX HALL, LLC.
& CIBOROWSKI ASSOCIATES, LLC
18 NORTH MAIN STREET, SUITE 202
CONCORD, NH 03301



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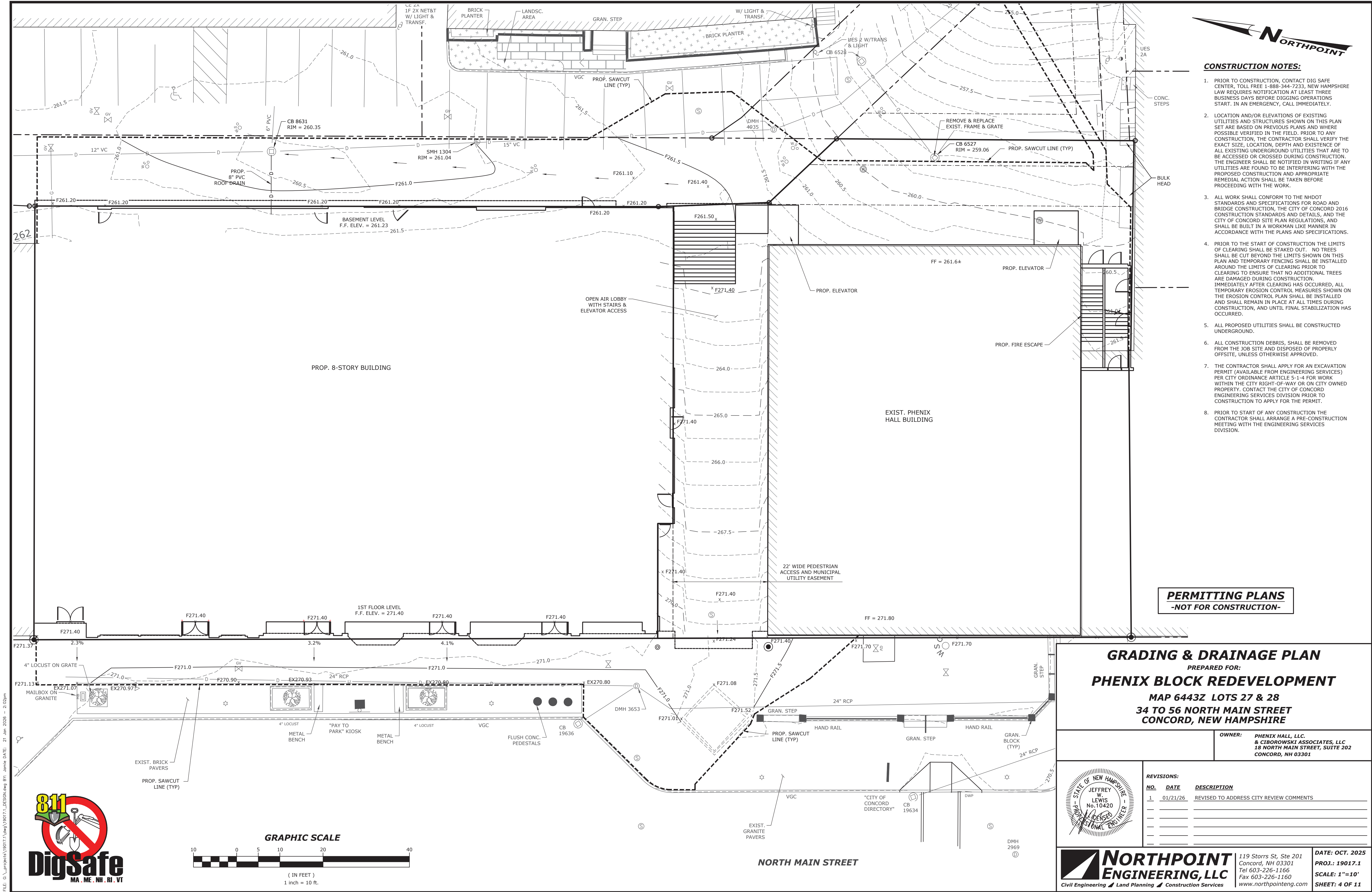
119 Storrs St, Ste 201
Concord, NH 03301
Tel 603-226-1166
Fax 603-226-1160
www.northpointeng.com

DATE: OCT. 2025

PROJ.: 19017.1

SCALE: 1"=20'

SHEET: 3 OF 11

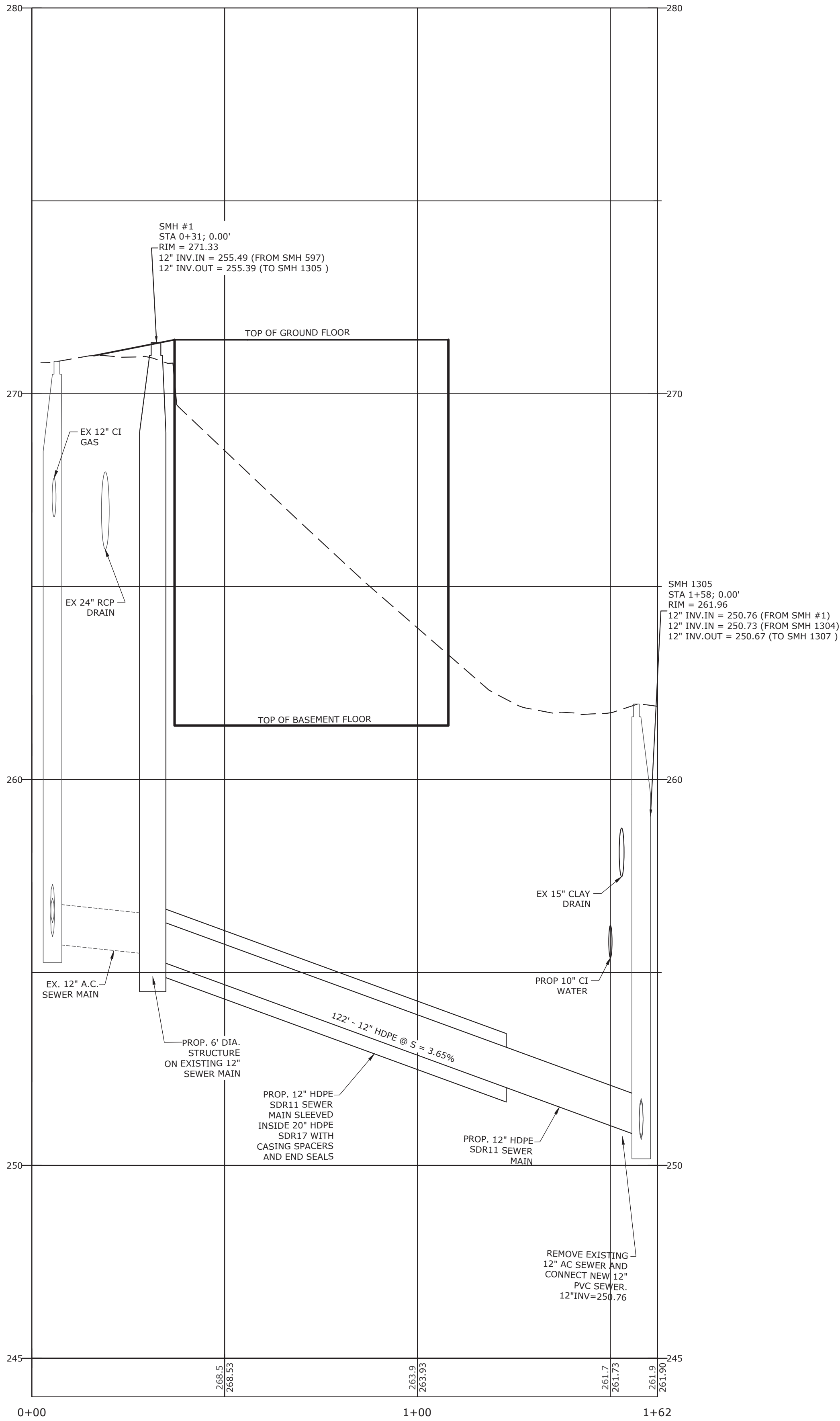


CONSTRUCTION NOTES:

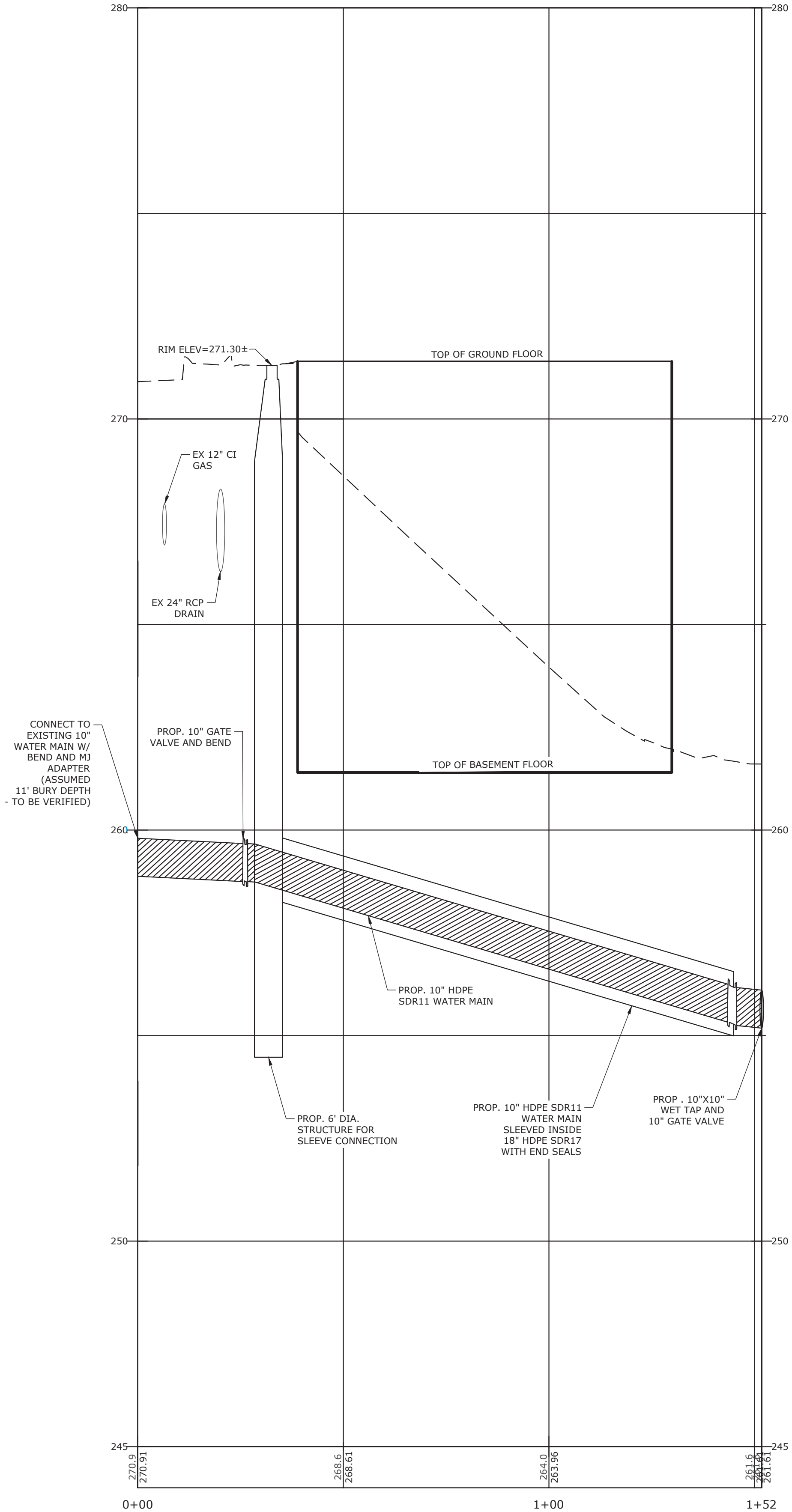
1. PRIOR TO CONSTRUCTION, CONTACT DIG SAFE CENTER, TOLL FREE 1-888-344-7233, NEW HAMPSHIRE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE DIGGING OPERATIONS START. IN AN EMERGENCY, CALL IMMEDIATELY.
2. LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THIS PLAN SET ARE BASED ON PREVIOUS PLANS AND WHERE POSSIBLE VERIFIED IN THE FIELD. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION, DEPTH AND EXISTENCE OF ALL EXISTING UNDERGROUND UTILITIES THAT ARE TO BE ACCESSED OR CROSSED DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING IF ANY UTILITIES ARE FOUND TO BE INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. ALL WORK SHALL CONFORM TO THE NHDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE CITY OF CONCORD 2016 CONSTRUCTION STANDARDS AND DETAILS, AND THE CITY OF CONCORD SITE PLAN REGULATIONS, AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. PRIOR TO THE START OF CONSTRUCTION THE LIMITS OF CLEARING SHALL BE STAKED OUT. NO TREES SHALL BE CUT BEYOND THE LIMITS SHOWN ON THIS PLAN AND TEMPORARY FENCING SHALL BE INSTALLED AROUND THE LIMITS OF CLEARING PRIOR TO CLEARING TO ENSURE THAT NO ADDITIONAL TREES ARE DAMAGED DURING CONSTRUCTION. IMMEDIATELY AFTER CLEARING HAS OCCURRED, ALL TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN SHALL BE INSTALLED AND SHALL REMAIN IN PLACE AT ALL TIMES DURING CONSTRUCTION, AND UNTIL FINAL STABILIZATION HAS OCCURRED.
5. ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED UNDERGROUND.
6. ALL CONSTRUCTION DEBRIS, SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF PROPERLY OFFSITE, UNLESS OTHERWISE APPROVED.
7. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR THE PERMIT.
8. PRIOR TO START OF ANY CONSTRUCTION THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION.

PERMITTING PLANS
-NOT FOR CONSTRUCTION-

FILE: C:\projects\19017\19017_1_profiles.dwg BY: Jemie DATE: 21 Jan 2026 = 2:03pm



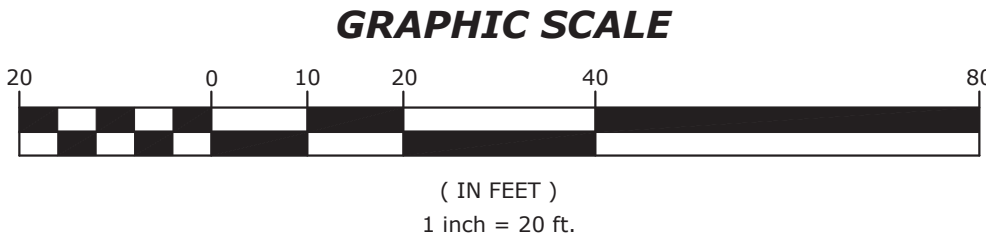
SEWER PROFILE
SCALE: 1"=20' (HORZ.)
1"=2' (VERT.)



WATER PROFILE
SCALE: 1"=20' (HORZ.)
1"=2' (VERT.)

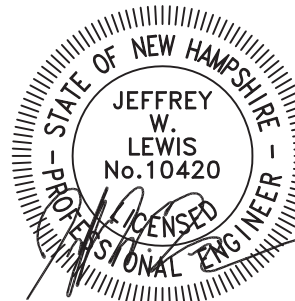


PERMITTING PLANS
-NOT FOR CONSTRUCTION-



UTILITIES PROFILES
PREPARED FOR:
PHENIX BLOCK REDEVELOPMENT
MAP 6443Z LOTS 27 & 28
34 TO 56 NORTH MAIN STREET
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.
& CIBOROWSKI ASSOCIATES, LLC
18 NORTH MAIN STREET, SUITE 202
CONCORD, NH 03301

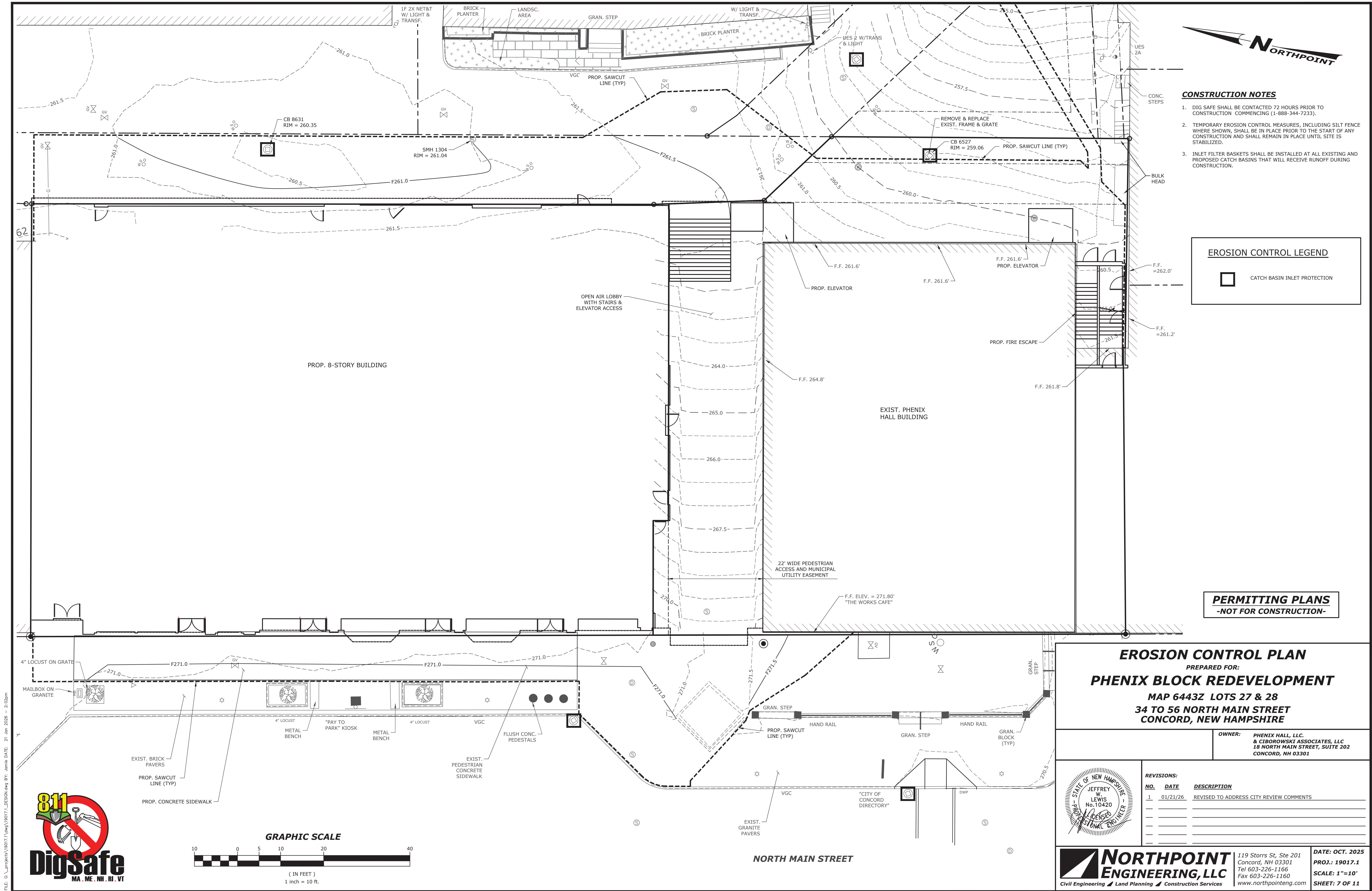


REVISIONS:		
NO.	DATE	DESCRIPTION
1	01/21/26	REVISED TO ADDRESS CITY REVIEW COMMENTS

NORTHPOINT
ENGINEERING, LLC
Civil Engineering Land Planning Construction Services

119 Storrs St, Ste 201
Concord, NH 03301
Tel 603-226-1166
Fax 603-226-1160
www.northpointeng.com

DATE: OCT. 2025
PROJ.: 19017.1
SCALE: 1"=##'
SHEET: 6 OF 11



CONSTRUCTION NOTES

- 1. DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO CONSTRUCTION COMMENCING (1-888-344-7233).
- 2. TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCE WHERE SHOWN, SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED.
- 3. INLET FILTER BASKETS SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED CATCH BASINS THAT WILL RECEIVE RUNOFF DURING CONSTRUCTION.

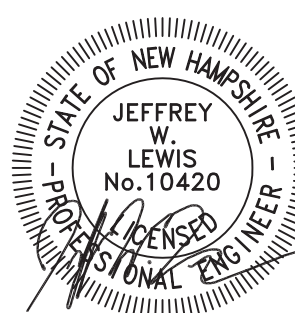
EROSION CONTROL LEGEND

-  CATCH BASIN INLET PROTECTION

PERMITTING PLANS
-NOT FOR CONSTRUCTION-

EROSION CONTROL PLAN
PREPARED FOR:
PHENIX BLOCK REDEVELOPMENT
MAP 6443Z LOTS 27 & 28
34 TO 56 NORTH MAIN STREET
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.
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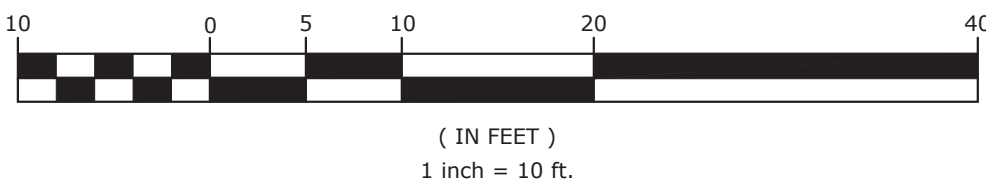


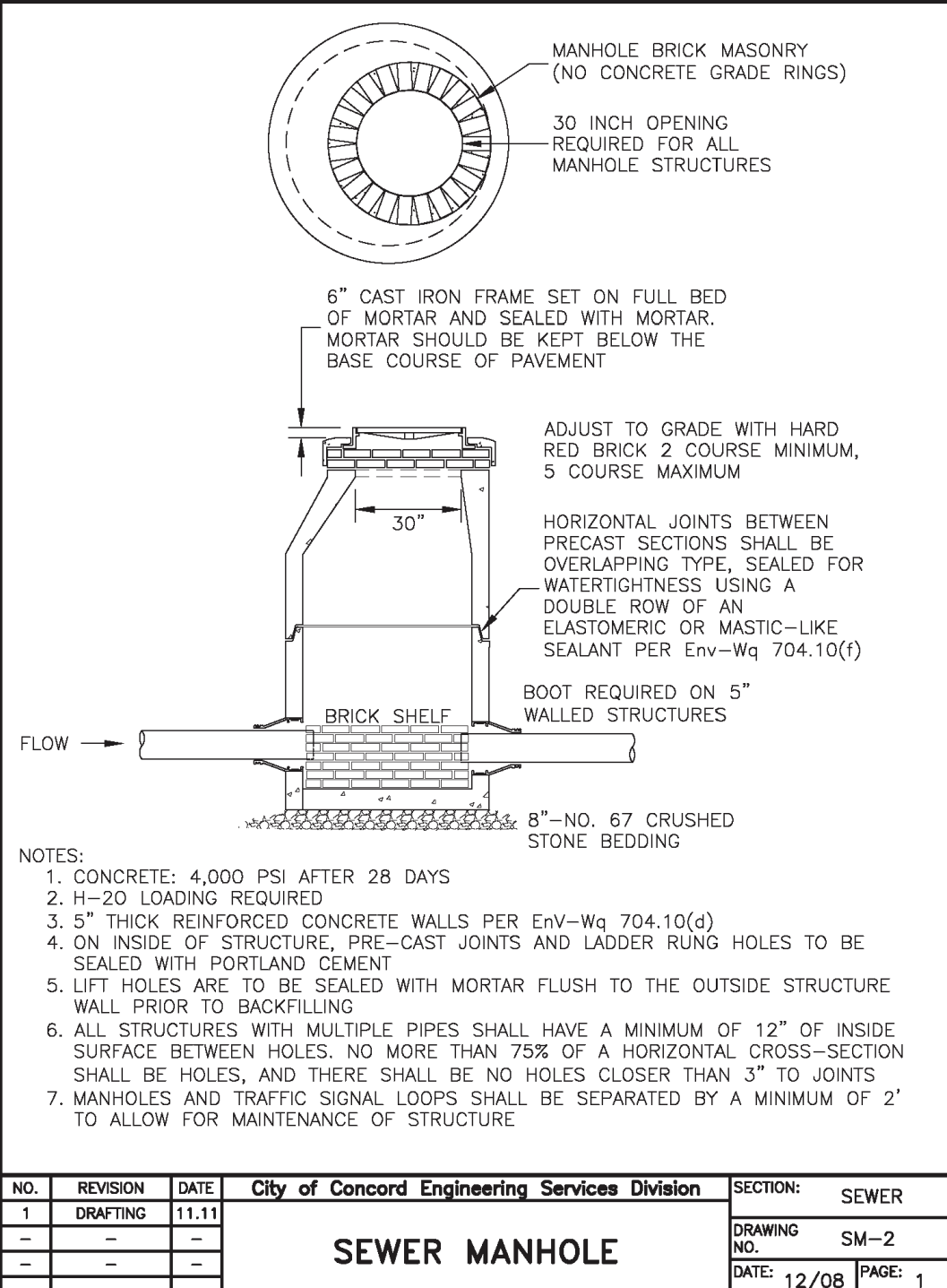
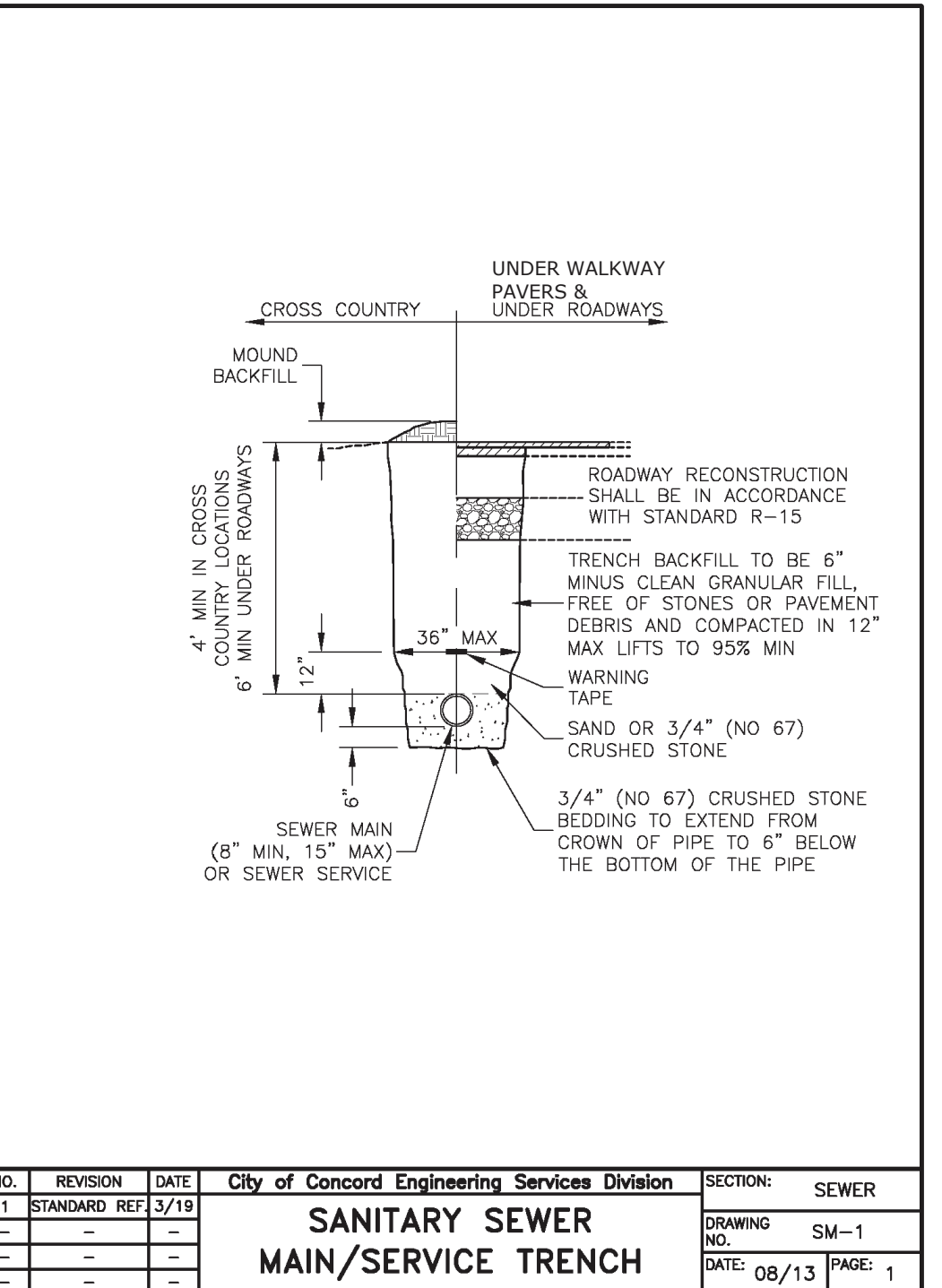
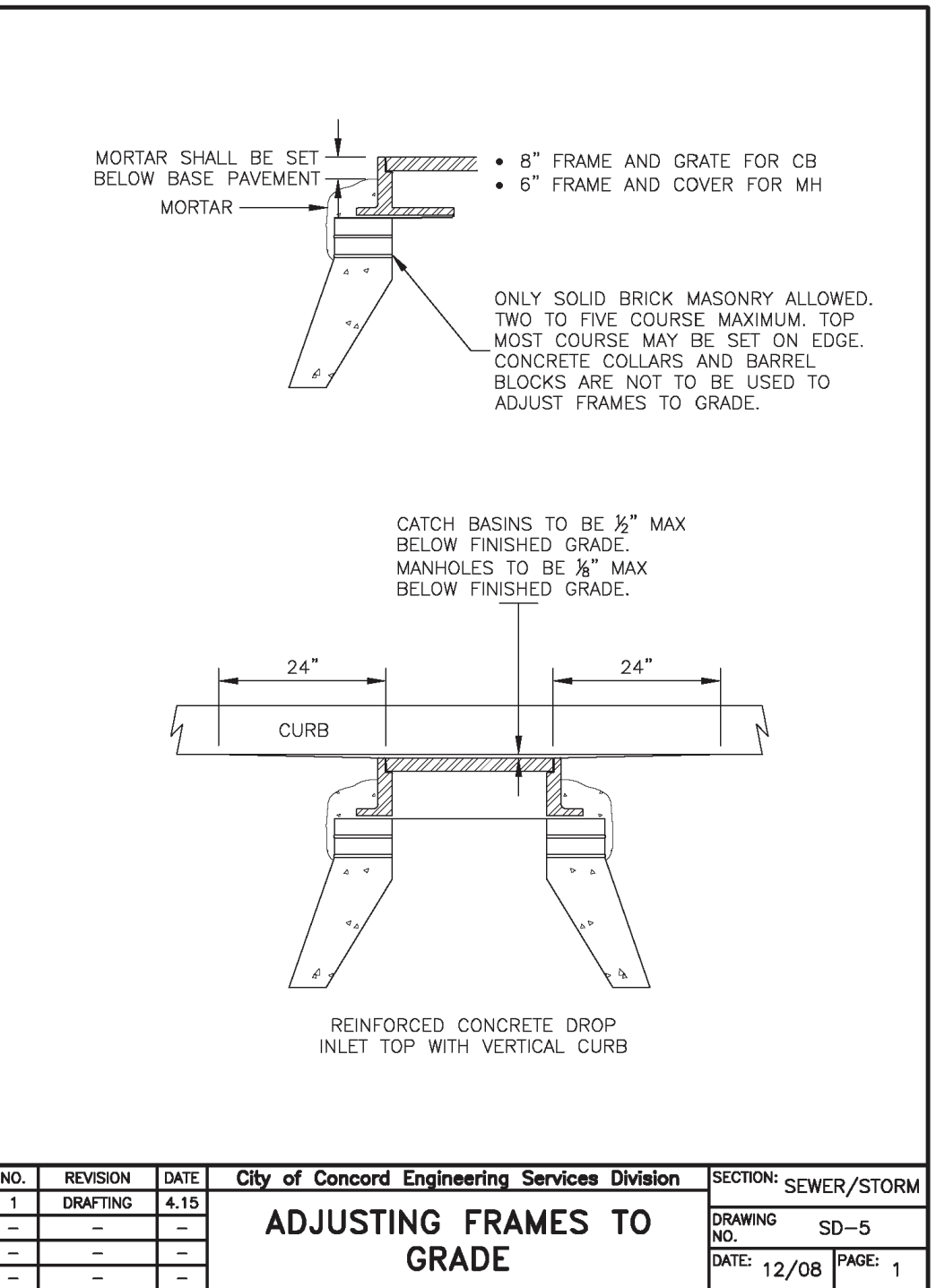
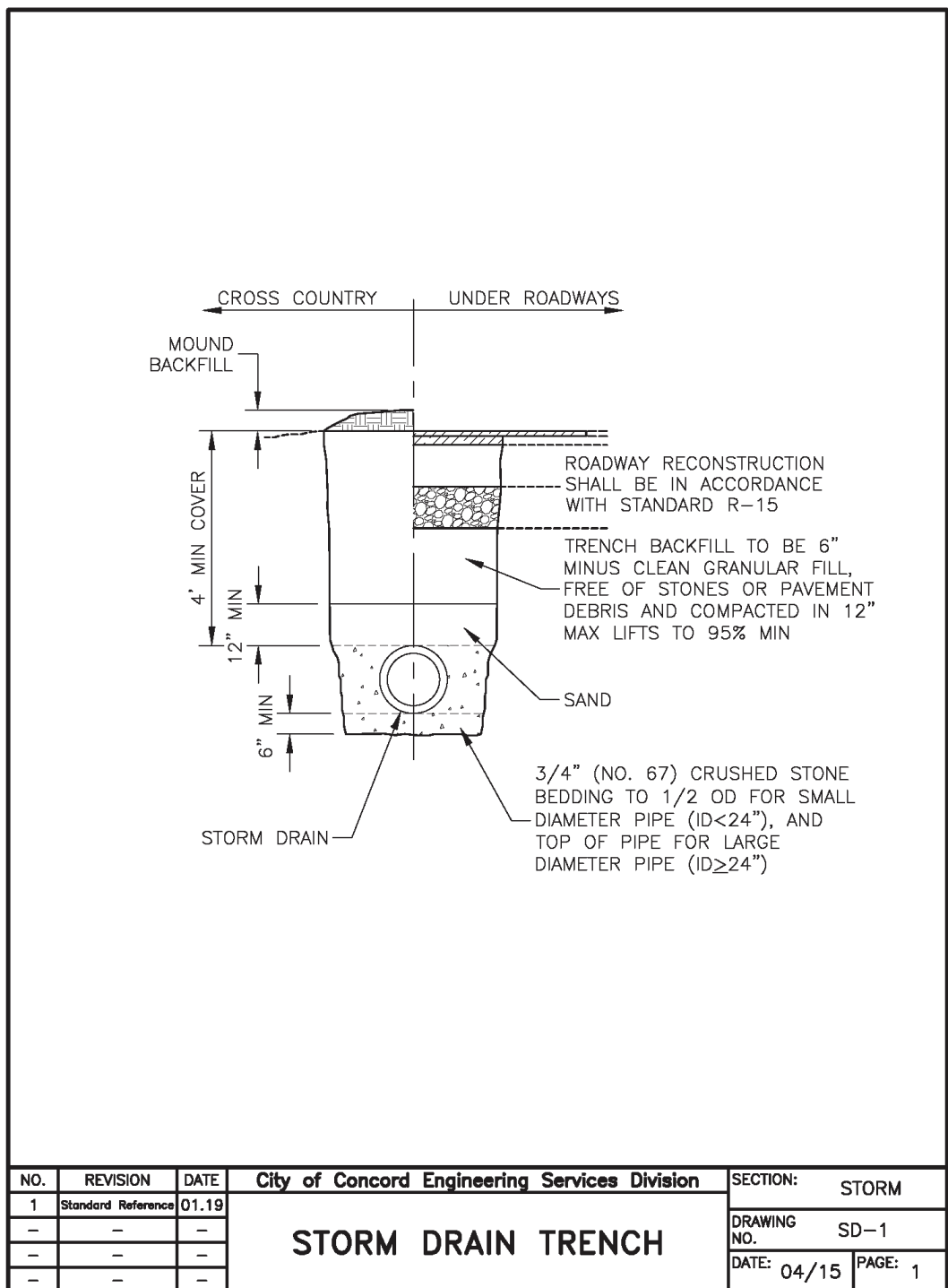
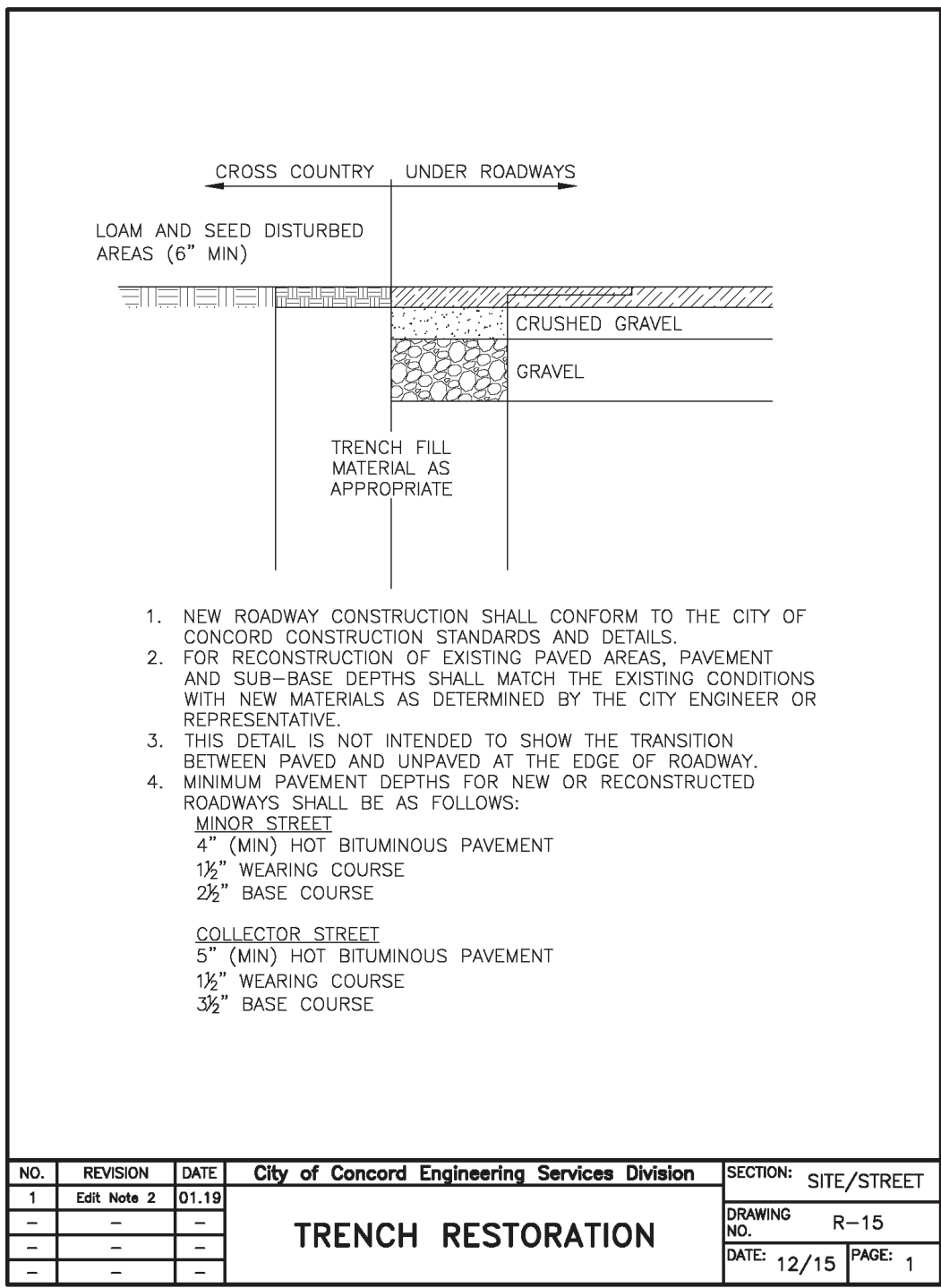
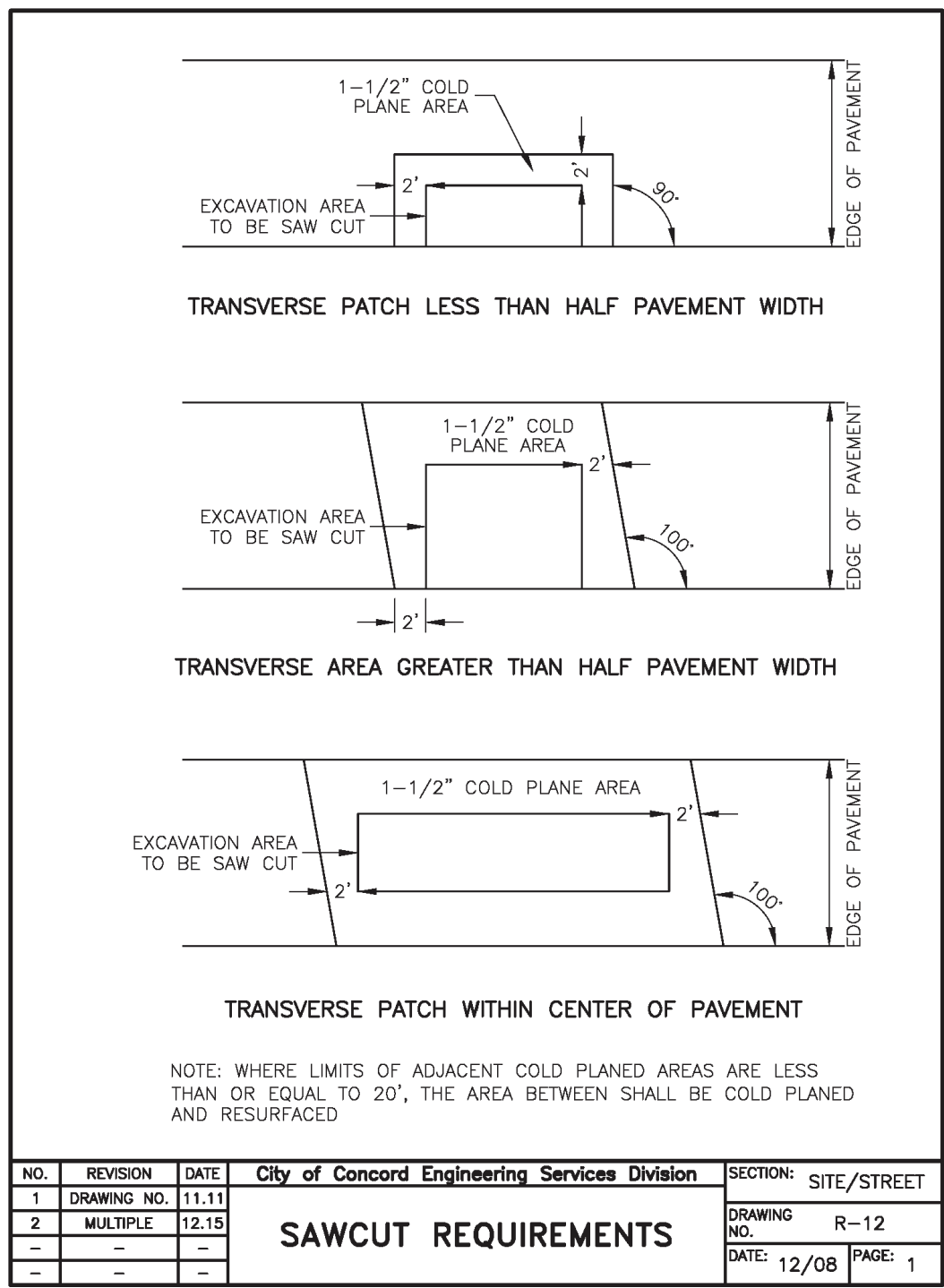
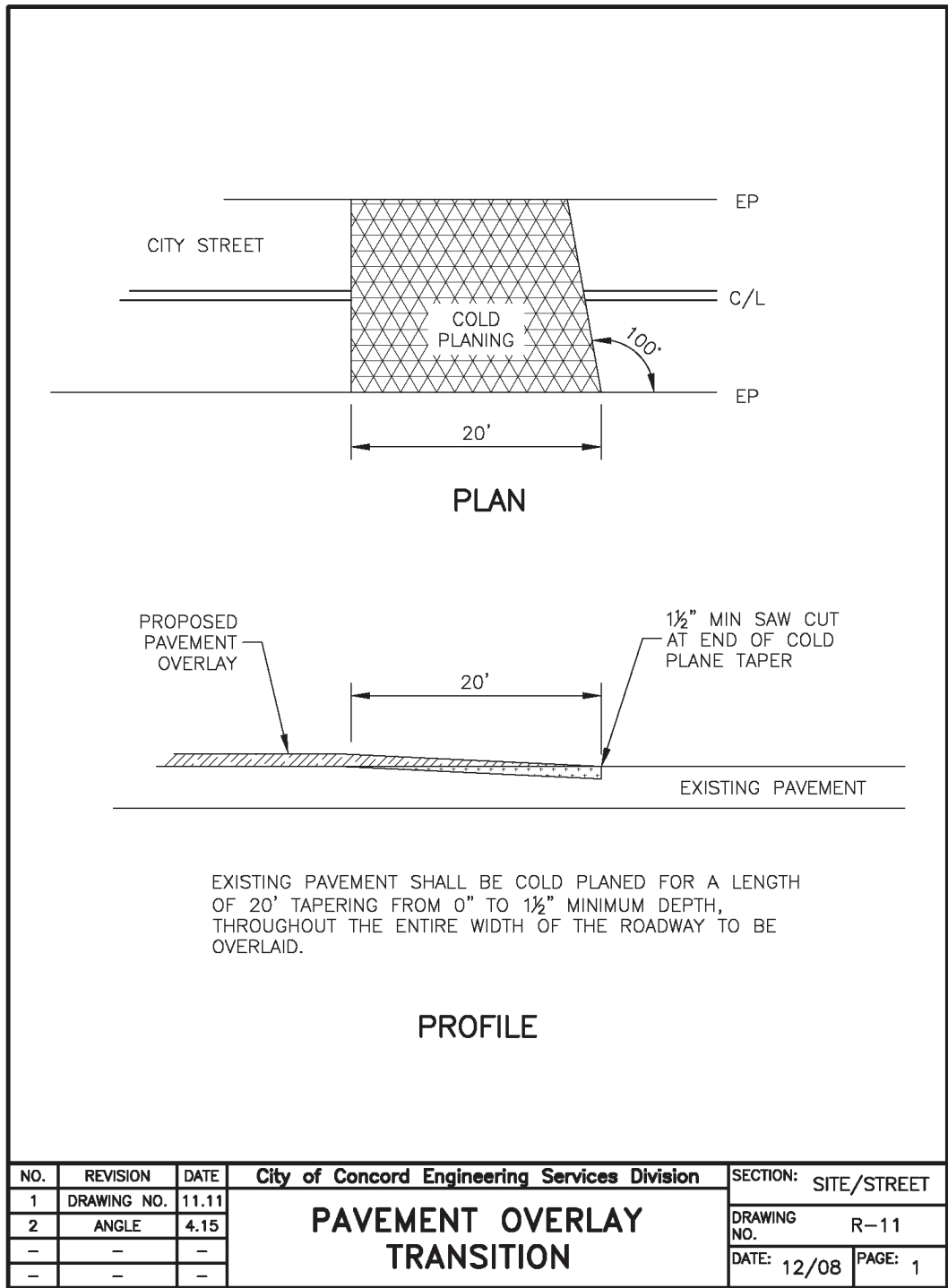
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DATE: OCT. 2025
PROJ.: 19017.1
SCALE: 1"=10'
SHEET: 7 OF 11



GRAPHIC SCALE





CONCRETE SIDEWALK FINISH
-NOT TO SCALE-

PERMITTING PLANS
-NOT FOR CONSTRUCTION-

CONSTRUCTION DETAILS
PREPARED FOR:
PHENIX BLOCK REDEVELOPMENT
MAP 6443Z LOTS 27 & 28
34 TO 56 NORTH MAIN STREET
CONCORD, NEW HAMPSHIRE

OWNER: **PHENIX HALL, LLC.**
& **CIBOROWSKI ASSOCIATES, LLC**
18 NORTH MAIN STREET, SUITE 202
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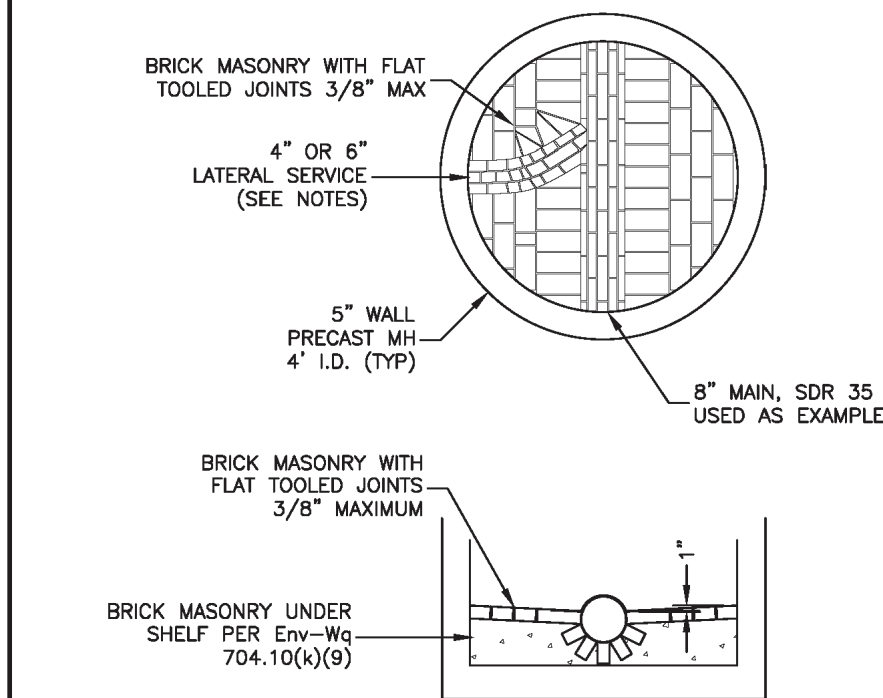
REVISIONS:

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NORTHPOINT ENGINEERING, LLC
Civil Engineering Land Planning Construction Services

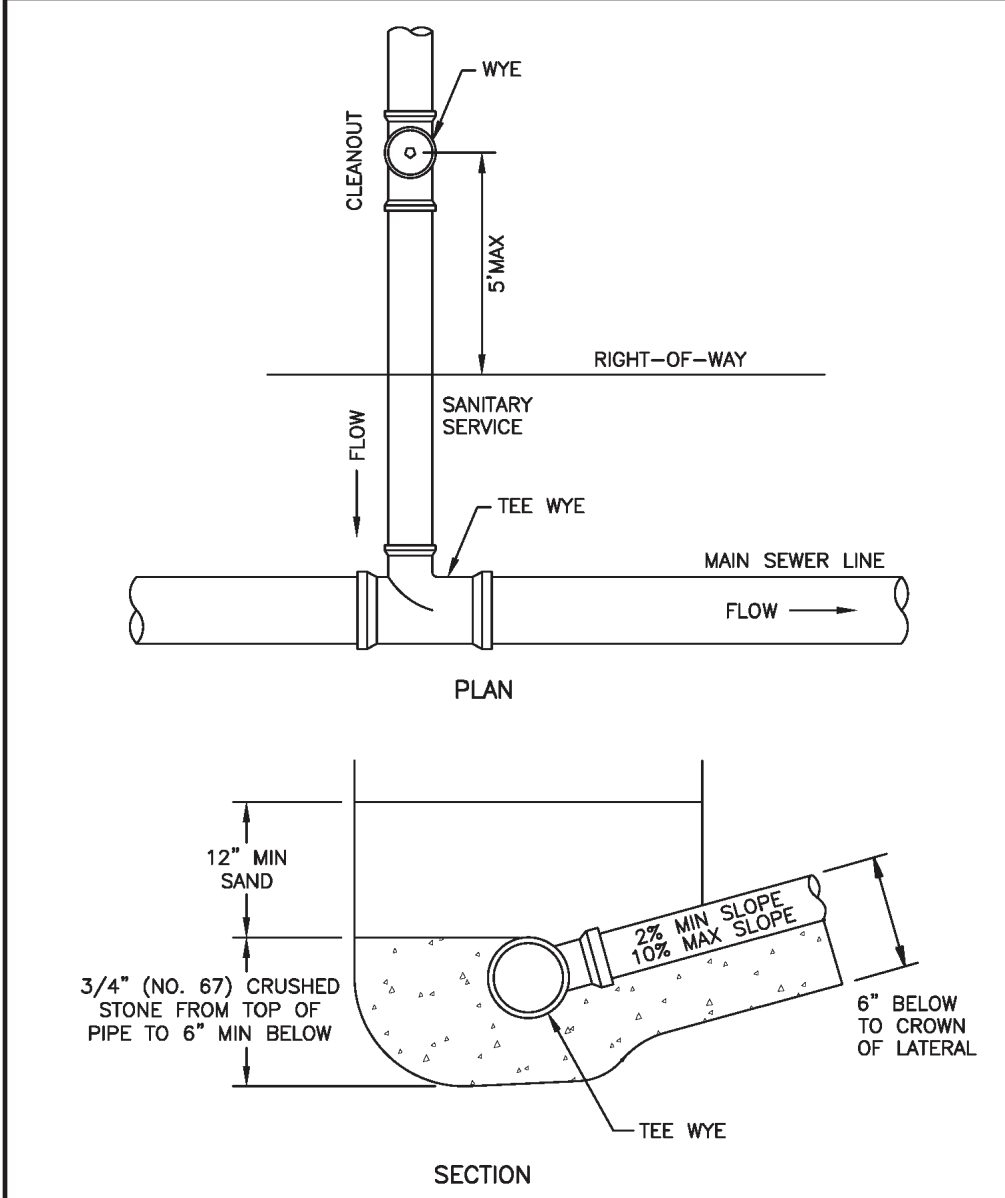
119 Storrs St, Ste 201
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Fax 603-226-1160
www.northpointeng.com

DATE: OCT. 2025
PROJ.: 19017.1
SCALE: AS SHOWN
SHEET: 8 OF 11

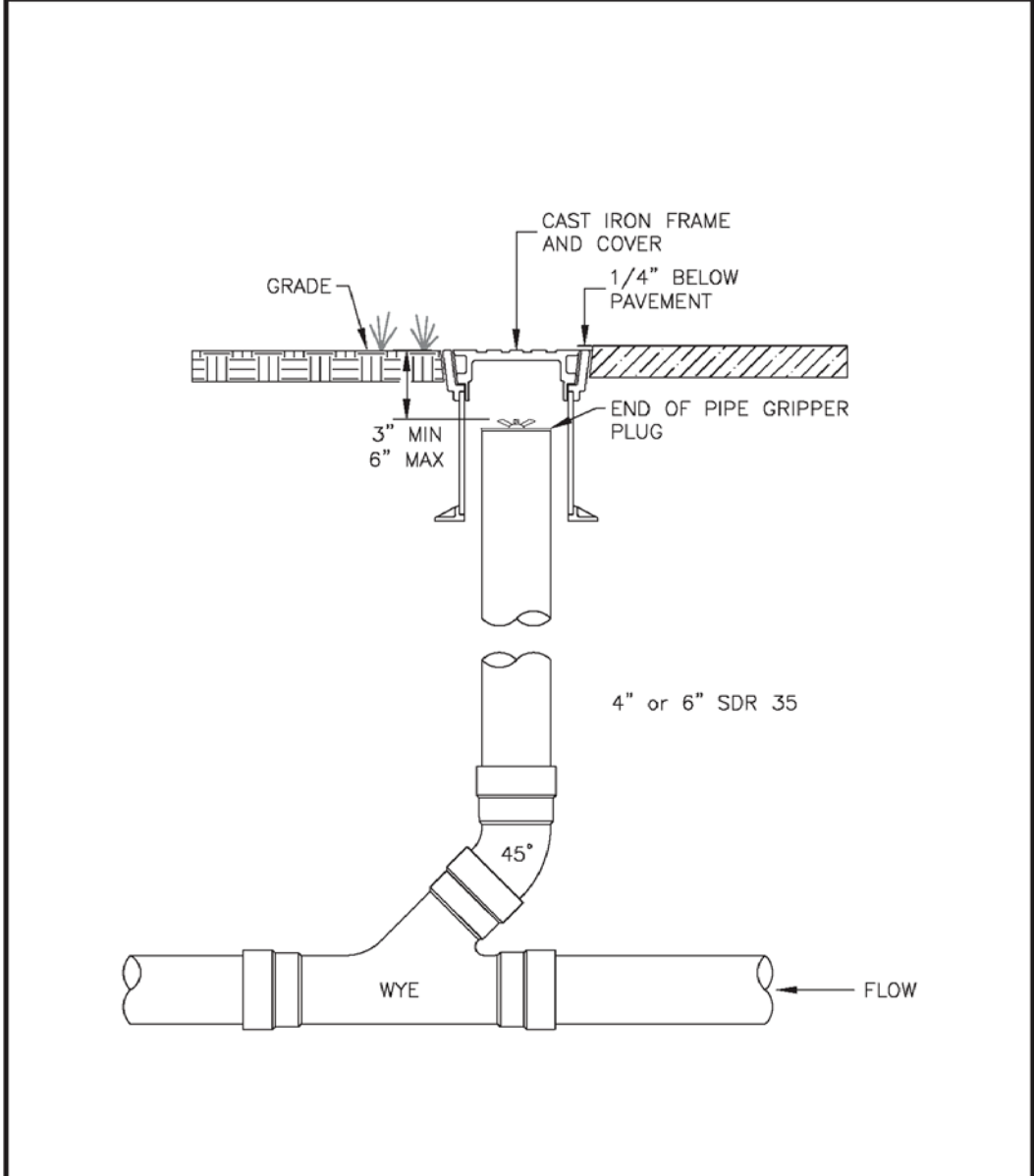


- NOTES:
1. FOR MAINS 8" TO 15", CONSTRUCT INVERT THROUGH THE LOWER HALF OF THE PIPE (MINIMUM)
8" PIPE - 7 BRICK MINIMUM (JUST ABOVE THE MIDPOINT)
10" PIPE - 7 BRICK MINIMUM
12" PIPE - 9 BRICK MINIMUM
15" PIPE - 11 BRICK MINIMUM
 2. FOR MAINS GREATER THAN 15", CONSTRUCT BRICK INVERT TO TOP OF PIPE
 3. MAINTAIN TROUGH WIDTH THROUGH STRUCTURE
 4. TYPICAL BRICK, ASTM DESIGNATION: C321-93
 5. SERVICE CONNECTIONS SHOULD BE PER THE "SEWER SERVICE CONNECTION/ INSIDE DROP MANHOLE" DETAIL. WHERE GRADES PROHIBIT SUCH A CONNECTION THE CONNECTION SHOULD BE AS SHOWN WITH THE SERVICE INVERT 2" ABOVE THE INVERT OF THE MAIN WHERE IT ENTERS THE MANHOLE.

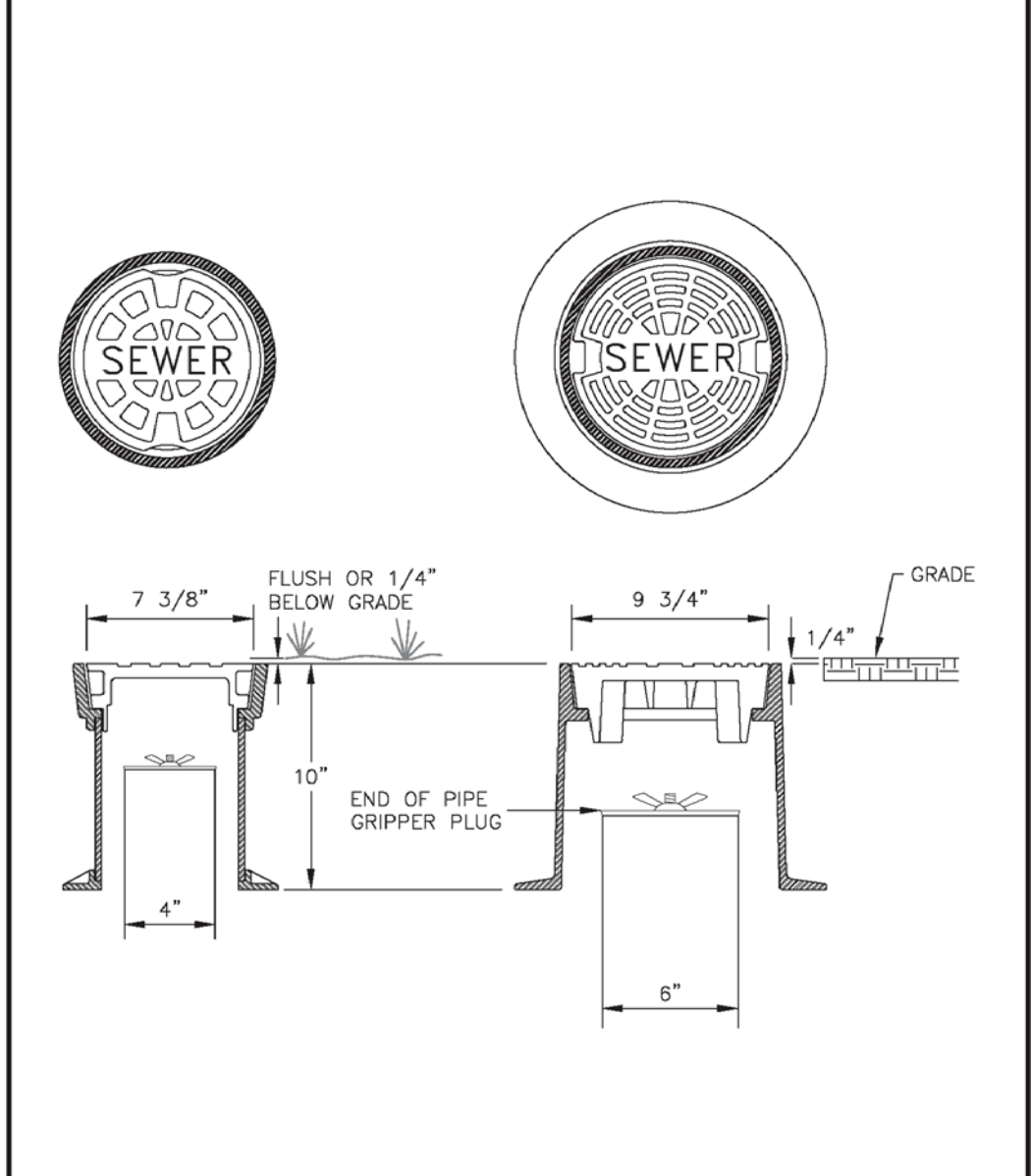
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1	NEW FORMAT	4.15		DRAWING NO.	SM-3
2	STANDARD REFERENCE	01.19		DATE:	03/15
				PAGE:	1



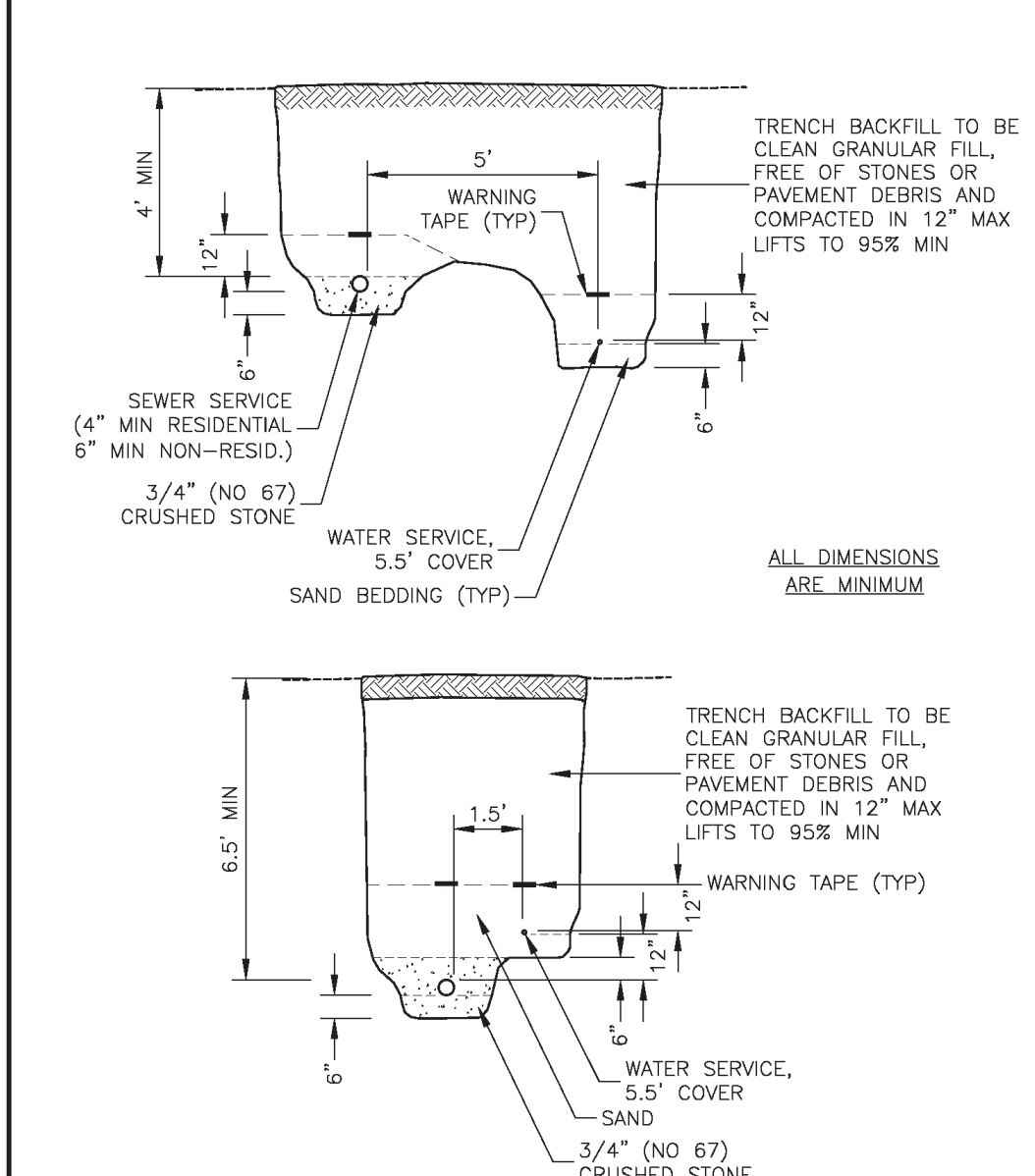
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1	STONE & DIMS	3/19		DRAWING NO.	SS-1
				DATE:	12/08
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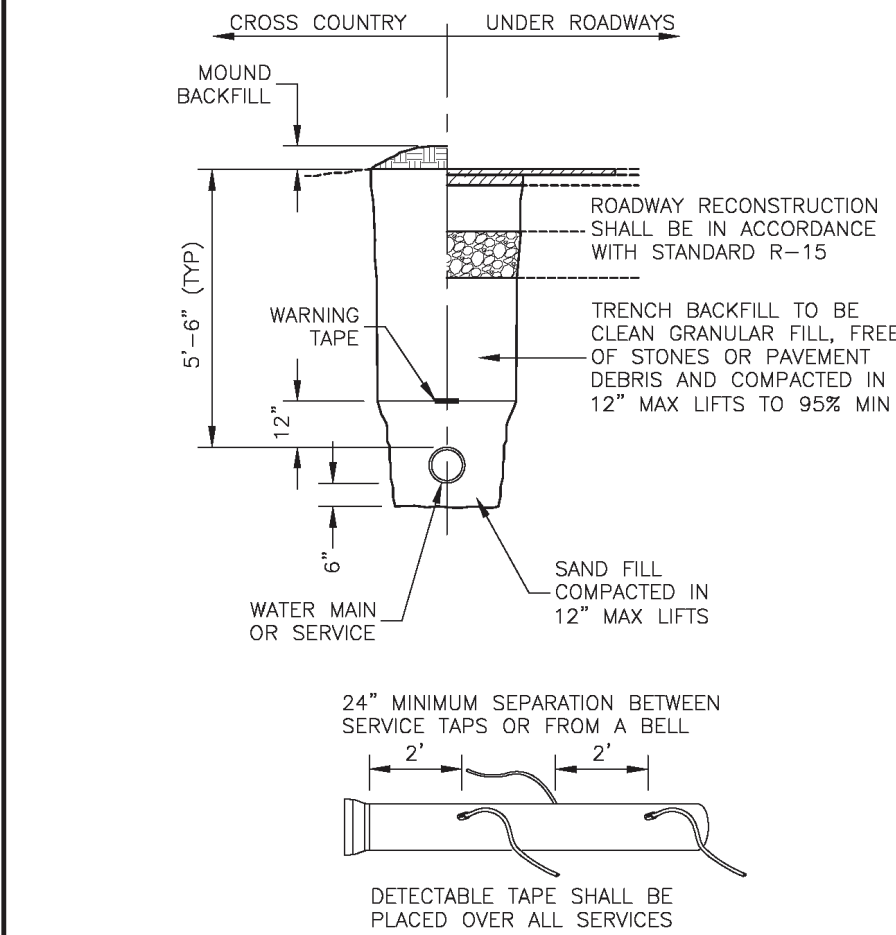
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				DATE:	12/08
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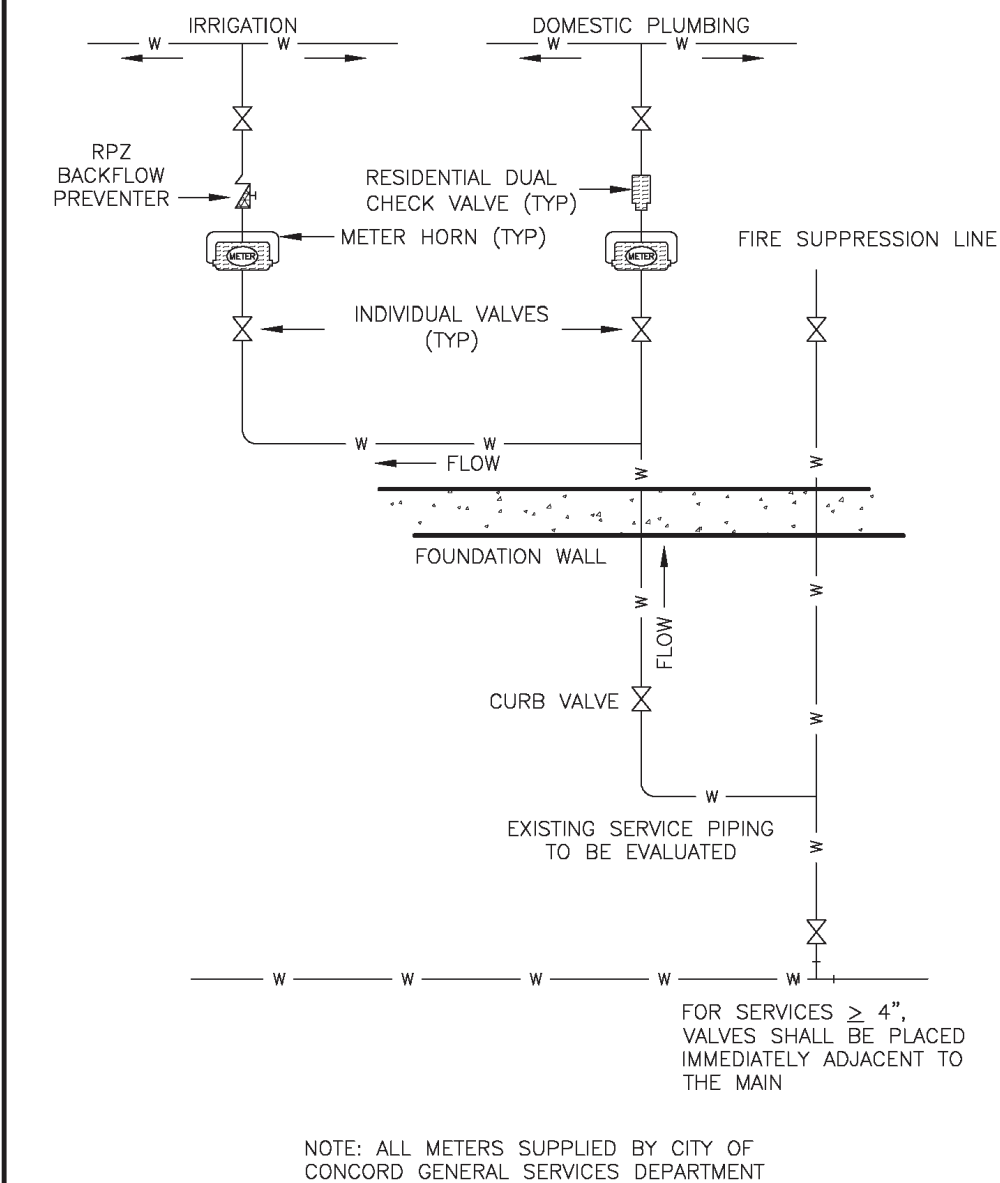
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				DATE:	12/08
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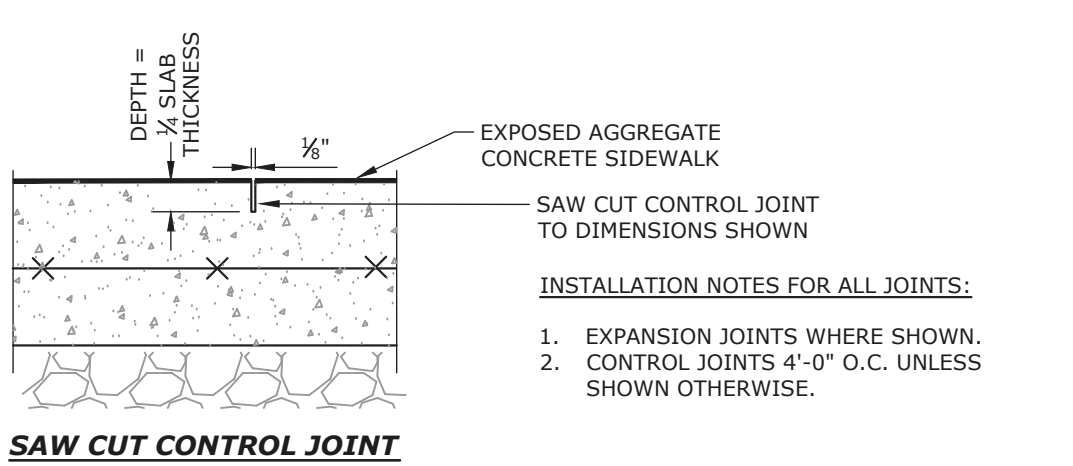
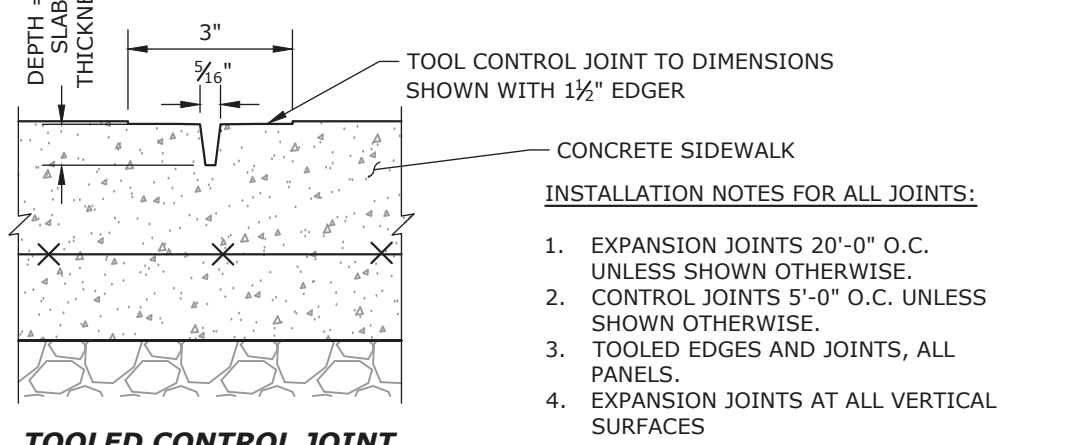
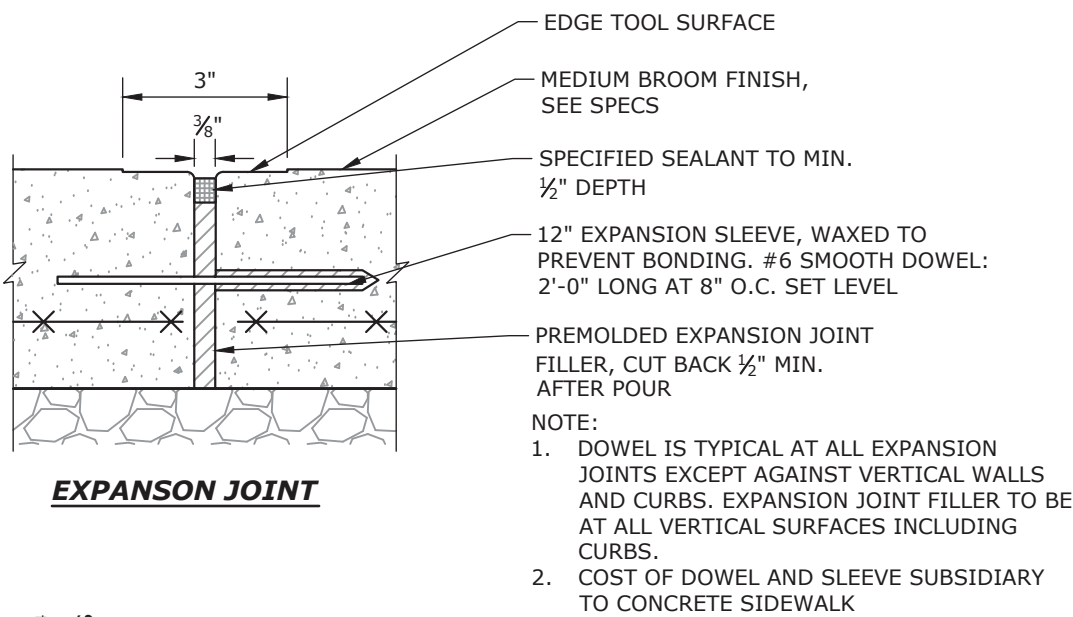
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER-WATR
				DRAWING NO.	SS-7
				DATE:	03/15
				PAGE:	1



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	WATER
1	NEW FORMAT	4.15		DRAWING NO.	W-1
2	STANDARD REFERENCE	01.19		DATE:	12/08
				PAGE:	1

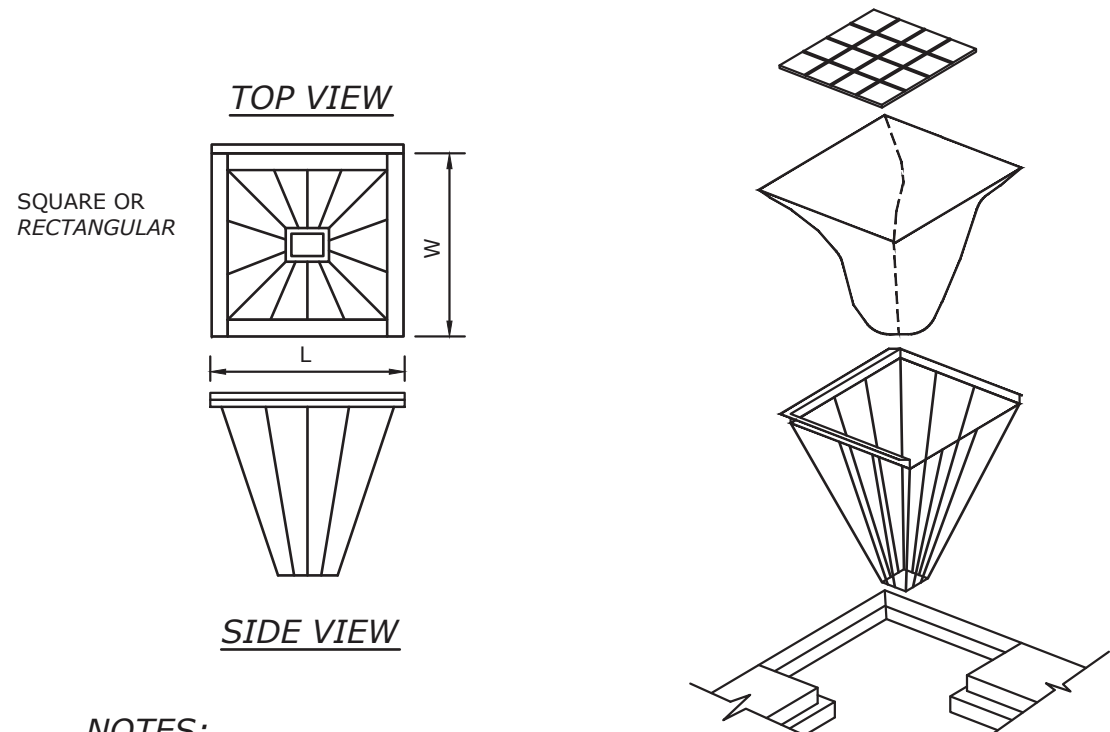


NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	WATER
1	R FIRE VALVE	4.15		DRAWING NO.	W-6
				DATE:	12/08
				PAGE:	1



JOINT DETAILS

-NOT TO SCALE-



NOTES:

1. INLET BASKETS SHALL BE USED AS APPLICABLE OR AS DIRECTED.
2. FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND EXTEND AT LEAST 6 INCHES PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
3. THE FILTER FABRIC SHALL BE A GEO-TEXTILE FABRIC: POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
GRAB STRENGTH: 45 lb. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682).
MULLEN BURST STRENGTH: MINIMUM 60 psi (ASTM D774).
4. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND MINIMUM PERMEABILITY OF 120 gpm/sq. ft.
5. THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING THE DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE FLOODING.
6. INLET BASKET SHALL BE MAINTAINED IN PLACE UNTIL ALL PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN STABILIZED WITH VEGETATION.

INLET FILTER BASKET

-NOT TO SCALE-

PERMITTING PLANS

-NOT FOR CONSTRUCTION-

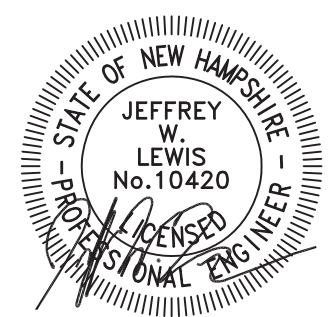
CONSTRUCTION DETAILS

PREPARED FOR:

PHENIX BLOCK REDEVELOPMENT

MAP 6443Z LOTS 27 & 28
34 TO 56 NORTH MAIN STREET
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.
& CIBOROWSKI ASSOCIATES, LLC
18 NORTH MAIN STREET, SUITE 202
CONCORD, NH 03301

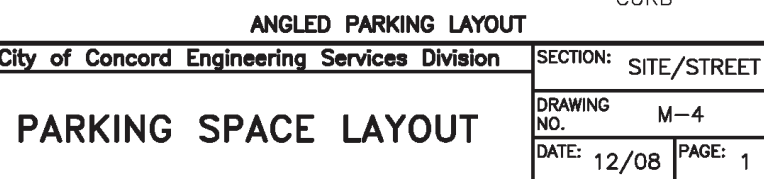


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NORTHPOINT
ENGINEERING, LLC
Civil Engineering Land Planning Construction Services

119 Storrs St, Ste 201
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Tel 603-226-1166
Fax 603-226-1160
www.northpointeng.com

DATE: OCT. 2025
PROJ.: 19017.1
SCALE: AS SHOWN
SHEET: 9 OF 11



PERMITTING PLANS
-NOT FOR CONSTRUCTION-

CONSTRUCTION DETAILS

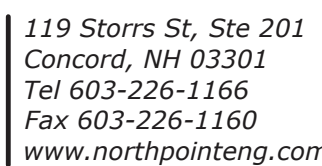
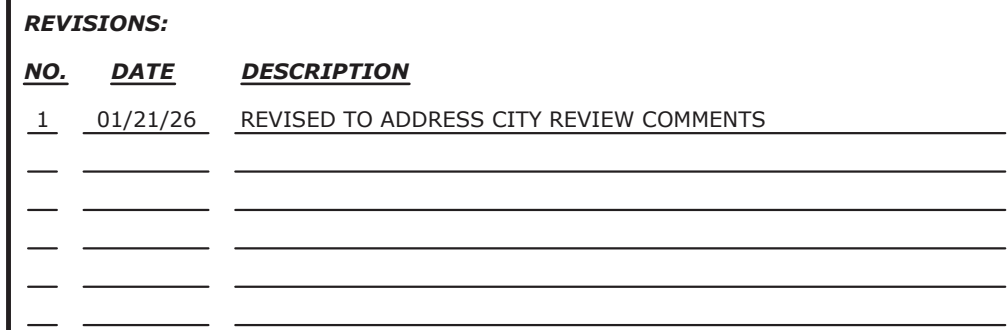
PREPARED FOR:

PHENIX BLOCK REDEVELOPMENT

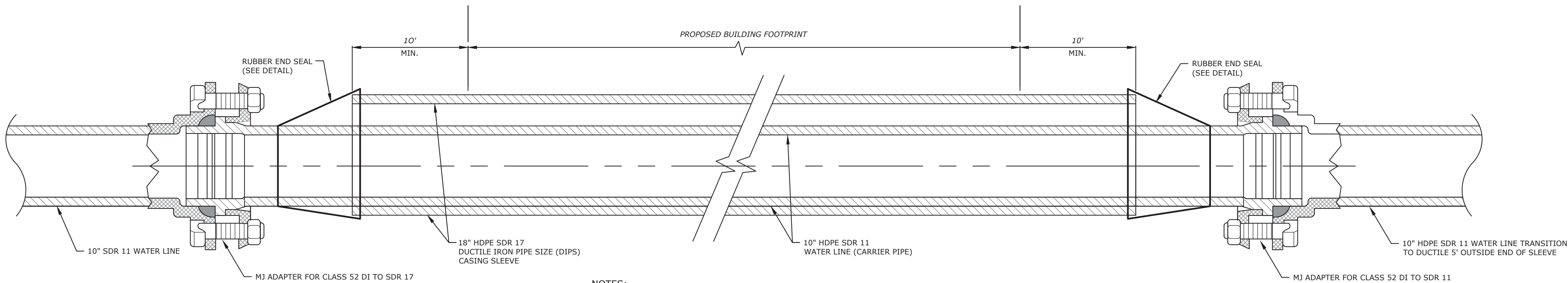
MAP 6443Z LOTS 27 & 28

**34 TO 56 NORTH MAIN STREET
CONCORD, NEW HAMPSHIRE**

OWNER: PHENIX HALL, LLC.
& CIBOROWSKI ASSOCIATES, LLC
18 NORTH MAIN STREET, SUITE 202
CONCORD, NH 03301



DATE: OCT. 2025
PROJ.: 19017.1
SCALE: AS SHOWN
SHEET: 10 OF 11

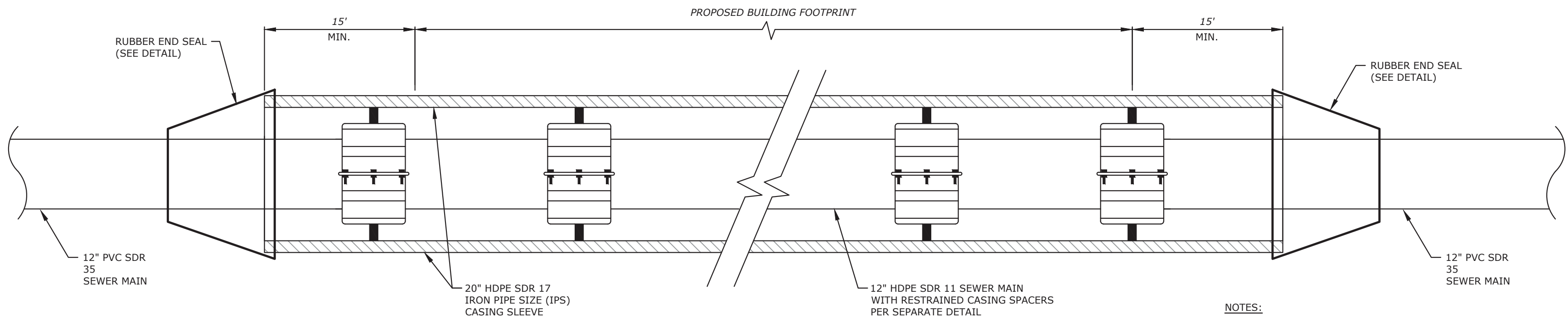


NOTES:

- 1) 10" HDPE WATER LINE (CARRIER PIPE) SHALL REST ON BOTTOM OF 18" HDPE CASING SLEEVE.
- 2) SLEEVE SHALL EXTEND A MINIMUM OF 10-FEET BEYOND THE OUTSIDE EDGE OF BUILDING FOUNDATION WALLS.

WATER LINE SLEEVE & FITTING DETAIL

-NOT TO SCALE-

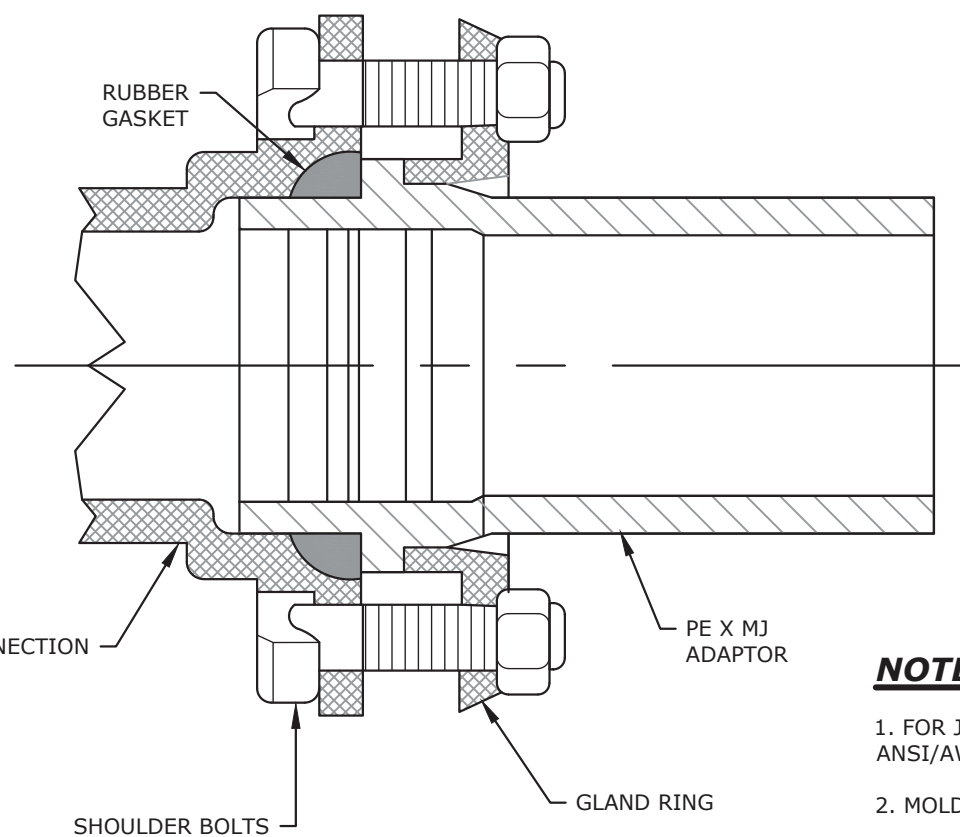


NOTES:

1. SLEEVE SHALL EXTEND A MINIMUM OF 15-FEET BEYOND THE OUTSIDE EDGE OF BUILDING FOUNDATION WALLS.

SEWER MAIN SLEEVE DETAIL

-NOT TO SCALE-

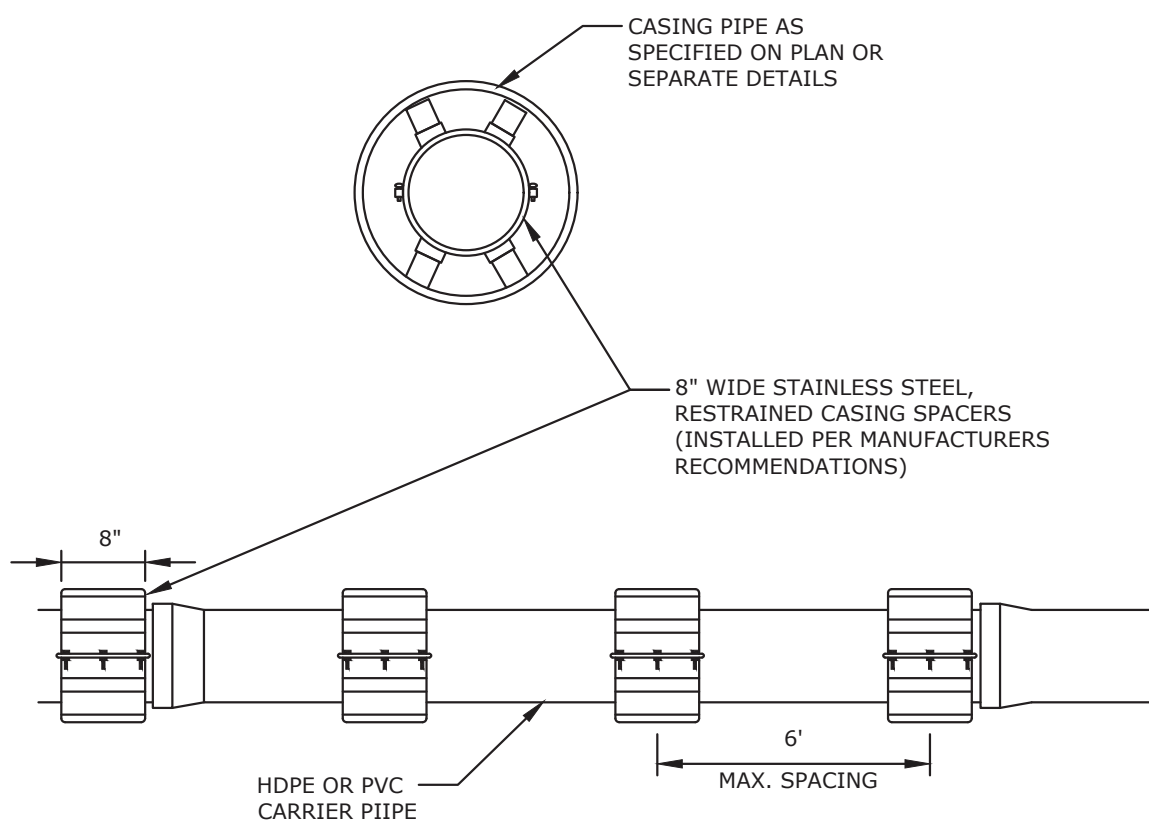


NOTES:

1. FOR JOINING IPS OR DI SIZE POLYETHYLENE PIPE TO ANY ANSI/AWWA C153 DUCTILE IRON COMPACT FITTING AND VALVE.
2. MOLDED FROM A NSF LISTED HIGH DENSITY RESIN.
3. FULLY COMPLIES WITH AWWA C901, 906.
4. POLYETHYLENE MJ ADAPTORS REQUIRE LONGER T-HEAD BOLTS FOR EASE OF ASSEMBLY.

POLYETHYLENE MJ ADAPTOR

-NOT TO SCALE-

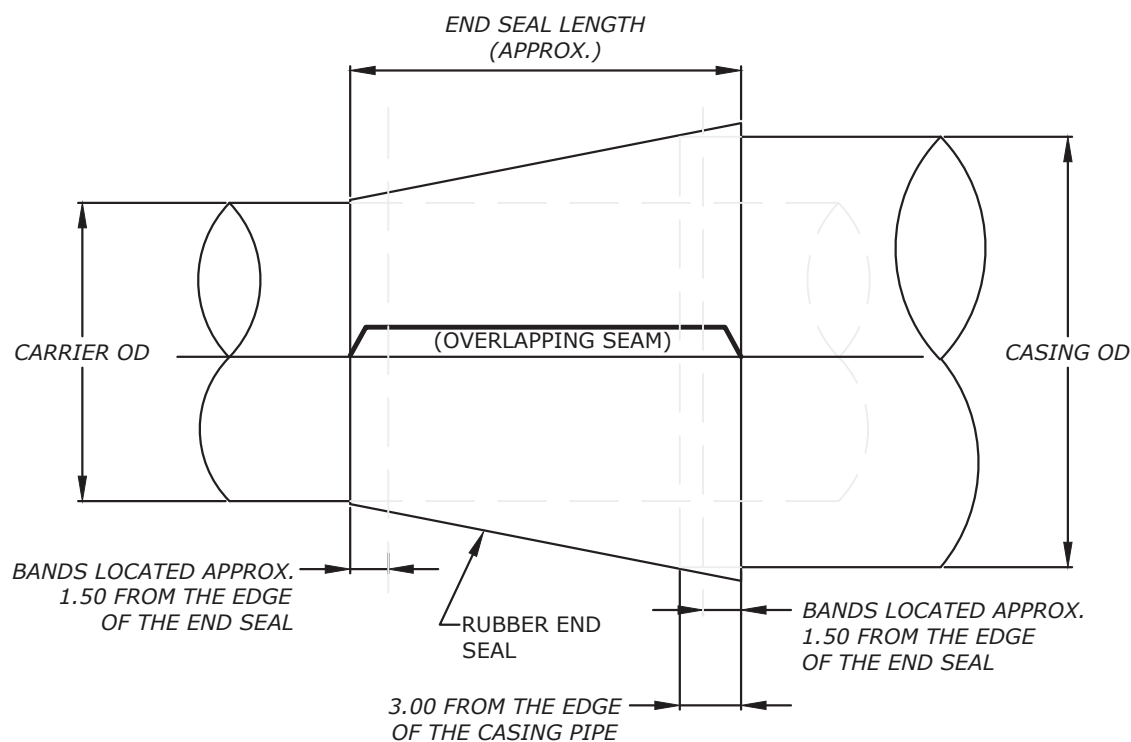


CASING SPACER DETAIL

-NOT TO SCALE-

CASING SPACERS (STAINLESS STEEL) SPECIFICATIONS

CASING SPACER SHALL BE A TWO-PIECE SHELL PER CARRIER PIPE AND MADE FROM T-304 STAINLESS STEEL OF A MINIMUM 14 GAUGE THICKNESS. EACH SHELL SECTION SHALL BE LINED WITH A 0.090" THICK, RIBBED PVC EXTRUSION WITH A RETAINING SECTION THAT OVERLAPS THE EDGES OF THE SHELL AND PREVENTS SLIPPAGE. BEARING SURFACES (RUNNERS) SHALL BE ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE (UHMW) TO PROVIDE ABRASION RESISTANCE AND A LOW COEFFICIENT OF FRICTION (0.12). THE RUNNERS SHALL BE ATTACHED TO SUPPORT STRUCTURES (RISERS) AT APPROPRIATE POSITIONS TO PROPERLY SUPPORT THE CARRIER PIPE WITHIN THE CASING PIPE AND TO EASE INSTALLATION. THE RUNNERS SHALL BE MECHANICALLY BOLTED TO THE RISER. THE BOLT HEADS ARE WELDED TO THE INSIDE OF THE RISERS FOR STRENGTH. RISERS SHALL BE MADE OF T-304 STAINLESS STEEL OF A MAXIMUM 10 GAUGE. ALL RISERS SHALL BE MIG WELDED TO THE SHELL. BOTTOM RISERS 6" AND OVER IN HEIGHT SHALL BE REINFORCED. ALL REINFORCING PLATES SHALL BE 10 GA. T-304 STAINLESS STEEL AND SHALL BE MIG WELDED TO MATING PARTS. **RESTRAINED POSITIONING WITHIN THE CASING PIPE** SHALL BE SIZED SUCH THAT THE CARRIER RESTS NEAR THE BOTTOM OF THE CASING PIPE AND THE HEIGHT OF THE RISERS AND RUNNERS ARE TO PROVIDE A BOTTOM CLEARANCE NOT LESS THAN ONE-HALF INCH BETWEEN THE CASING PIPE AND THE EXTREME OUTSIDE DIAMETER OF THE JOINT (BELL, SEAM WELD, JOINT CLAMP, ...) OF THE CARRIER PIPE AND A TOP CLEARANCE OF THREE-FOURTHS INCH MINIMUM. CASING SPACERS SHALL BE MODEL CCS AS MANUFACTURED BY CASCADE WATERWORKS MFG. CO. OF YORKVILLE, IL OR APPROVED EQUAL.



CASCADE MODEL CCES END SEALS

PULL OVER THE CASING AND CARRIER PIPES AFTER INSTALLATION TO PROVIDE A BARRIER TO BACKFILL DEBRIS AND SEEPAGE.

MODEL SPECIFICATIONS:

SEAL - NEOPRENE
BANDS - T-304 STAINLESS STEEL

RUBBER END SEALS SPECIFICATIONS

RUBBER END SEALS SHALL BE A PULL-OVER TYPE CONSTRUCTION AND MADE FROM NEOPRENE WITH T-304 STAINLESS STEEL BANDS FOR SECURING THE ENDS OF THE END SEAL TO THE CASING PIPE AND CARRIER PIPE. CASING SPACER END SEALS SHALL BE MODEL CCES AS MANUFACTURED BY CASCADE WATERWORKS MFG. CO. OF YORKVILLE, IL OR APPROVED EQUAL

RUBBER END SEALS DETAIL

-NOT TO SCALE-

PRELIMINARY
-NOT FOR CONSTRUCTION-

CONSTRUCTION DETAILS

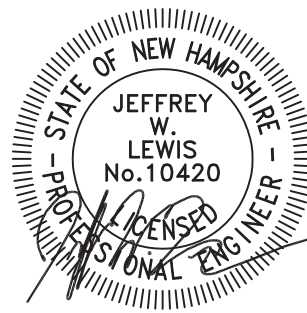
PREPARED FOR:

PHENIX BLOCK REDEVELOPMENT

(MBL 6443Z - 28 & 28A; 6443Z - 27)

34 TO 56 NORTH MAIN STREET
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.
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DATE: OCT. 2025
PROJ.: 19017.1
SCALE: AS SHOWN
SHEET: 11 OF 11

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
BACK GRADE_Planar	0.0	10.0	0.0	N.A.	N.A.
FRONT GRADE_Top	0.0	3.9	0.0	N.A.	N.A.
OPEN LOBBY	13.1	49.4	1.4	9.4	35.3
pass thru stair_Planar	12.5	18.4	7.3	1.7	2.5

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 - 2) CALCULATIONS MAY or MAY NOT SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
 - 3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE WITHOUT REFLECTIONS OR OBSTRUCTIONS UNLESS OTHERWISE INDICATED.
 - 4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO EXPOSURE/ESS AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.
 - 5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REP.
 - 6) THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 - 7) DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY APPEAR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.



NOTICE: THE INTENT OF THIS LIGHTING LAYOUT IS TO SUGGEST BEST UTILIZATION OF LIGHTING FIXTURES INDICATED. THIS LAYOUT IS PROVIDED USING IES DATA FILES PROVIDED BY THE MANUFACTURER. ANY VARIATION IN PERFORMANCE OR RESULTS IS NOT THE RESPONSIBILITY OF THE MANUFACTURER, EXPOSURE/ESS OR ITS EMPLOYEES.



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COMMENTS	
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SITE LIGHTING LAYOUT	

FL50-GEN2 COLOR CHANGING OUTER MIXING

FL series | Generation 2 | Architectural Spot and Flood Light

PRODUCT SPECIFICATION SHEET

DESCRIPTION

FL50-GEN2-08 is the second generation flood and spot luminaire in the FL product series. Built on the new streaming COLOR-STREAM™ platform, FL50-GEN2-08 is capable of color-changing speeds up to 16 times faster than DMX, liquid-on-chip dimming, and seamless transitions. GVA's COLOR-STREAM™ technology delivers up to three times the light output compared to traditional multichannel luminaires. FL50-GEN2-08 enables outstanding flexibility to realize creative vision for architectural wall-washing, grazing, and spot lighting applications.

KEY FEATURES

- High-power color mixing achieved via 38 diodes/high-power LEDs.
- Up to 4,434 delivered lumens per channel enabled through COLOR-STREAM™.
- Ultra-narrow beam angles as narrow as 4°.
- COLOR-STREAM™ platform delivers high-speed communication (9.25 Mbps), up to 120 frames per second refresh rate, and 12-bit dimming resolution.
- Up to 19,150 GEN2 fixtures in a single continuous run enabled by GVA's INFINITY™ technology.
- Up to 160 meter (528 ft) leader and jumper cables.
- Power/data through wiring via sealed push-lock connectors.
- Operating temperatures -40°C (-40°F) to +50°C (122°F).
- Robust, ruggedized thermal protection.
- Meets ANSI C136.3-2018 Vision Standard for Bridge and Overpass Applications.
- Compact size of 228mm x 231mm x 84mm (9.0 in x 9.1 in x 3.3 in).
- Lightweight at 4.5 kg (9.9 lbs).
- Highly weatherable AIAA 2804 compliant powder coating.
- 5-year limited warranty.
- IP68.

OPTIONS

- Color Changing configurations: RGBW18K, RGBW24K, RGBW28K, RGBW32K, RGBW36K, RGBW40K, RGBW44K, RGBW48K, RGBW52K, RGBW56K, RGBW60K, RGBW64K, RGBW68K, RGBW72K, RGBW76K, RGBW80K, RGBW84K, RGBW88K, RGBW92K, RGBW96K, RGBW100K, RGBW104K, RGBW108K, RGBW112K, RGBW116K, RGBW120K, RGBW124K, RGBW128K, RGBW132K, RGBW136K, RGBW140K, RGBW144K, RGBW148K, RGBW152K, RGBW156K, RGBW160K, RGBW164K, RGBW168K, RGBW172K, RGBW176K, RGBW180K, RGBW184K, RGBW188K, RGBW192K, RGBW196K, RGBW200K, RGBW204K, RGBW208K, RGBW212K, RGBW216K, RGBW220K, RGBW224K, RGBW228K, RGBW232K, RGBW236K, RGBW240K, RGBW244K, RGBW248K, RGBW252K, RGBW256K, RGBW260K, RGBW264K, RGBW268K, RGBW272K, RGBW276K, RGBW280K, RGBW284K, RGBW288K, RGBW292K, RGBW296K, RGBW300K, RGBW304K, RGBW308K, RGBW312K, RGBW316K, RGBW320K, RGBW324K, RGBW328K, RGBW332K, RGBW336K, RGBW340K, RGBW344K, RGBW348K, RGBW352K, RGBW356K, RGBW360K, RGBW364K, RGBW368K, RGBW372K, RGBW376K, RGBW380K, RGBW384K, RGBW388K, RGBW392K, RGBW396K, RGBW400K, RGBW404K, RGBW408K, 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